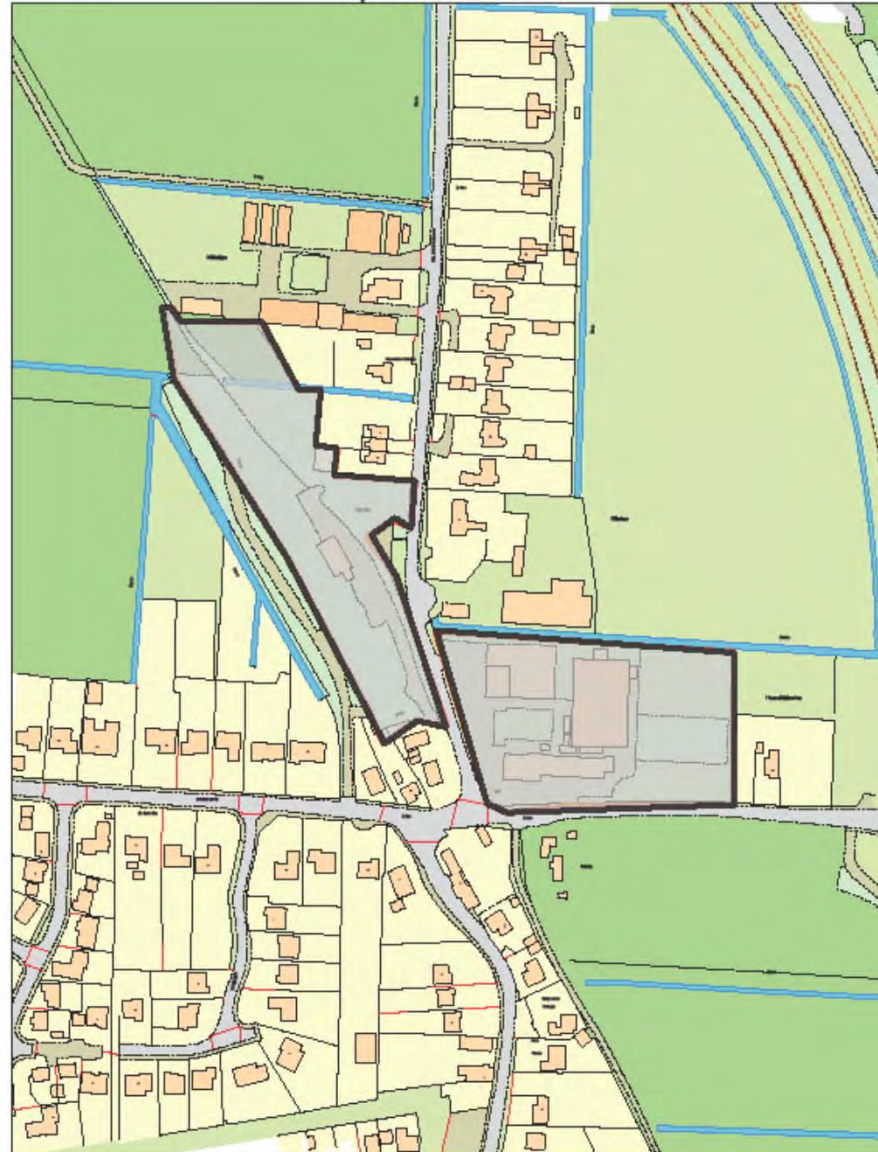


Welcome to the Planning Committee

MapThat Scale Print Title



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MAP SCALE 1:2000
CREATED DATE: 04/12/2018
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DEVELOPMENT INCORPORATING STATION YARD & CROFT HOUSE NURSERY



NOTES:

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All dimensions to be checked before site or off-site installation by the contractor, the Surveyor or the client.

Do not mark points - use figure or grid dimensions where given. Any deviation from the drawing is to be notified in the signature immediately.

Structural, structural members & geotechnical investigations are to be carried out & approved by the approved Structural Engineer. Any deviations to these elements are to be reported to the approved contractor immediately.

BY THE ENGINEER:

| | | |
|----|--------------|------|
| NO | FIELD NUMBER | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |

MESSRS N & D BACON & J DRURY



PROJECT: DEVELOPMENT INCORPORATING STATION YARD & CROFT HOUSE NURSERY

DRAWING: SITE LOCATION PLAN

Drawn: JHT Date: JULY 2018

Checked: LPR Date: JULY 2018

Scale: A32 Date: 1:1250 @ A2

Drawing Number: 3338-TD-COW-XX-DRG-AR-0001-P0

SITE LOCATION PLAN

DEVELOPMENT INCORPORATING STATION YARD & CROFT HOUSE NURSERY



PROPOSED MILL DROVE SOUTH TO STONEGATE JUNCTION



NOTES:

1. All dimensions are to the center of the road.
2. All dimensions are to the center of the road.
3. All dimensions are to the center of the road.
4. All dimensions are to the center of the road.
5. All dimensions are to the center of the road.
6. All dimensions are to the center of the road.
7. All dimensions are to the center of the road.
8. All dimensions are to the center of the road.
9. All dimensions are to the center of the road.
10. All dimensions are to the center of the road.

| | |
|-------------|--|
| DATE | |
| BY | |
| CHECKED BY | |
| APPROVED BY | |

Templeman DESIGN

STATION YARD & CROFT HOUSE NURSERY
 DEVELOPMENT INCORPORATING STATION YARD & CROFT HOUSE NURSERY
 PROPOSED MILL DROVE SOUTH TO STONEGATE JUNCTION

DATE: 10/10/2023
 BY: JAMES BIRD
 CHECKED BY: JAMES BIRD
 APPROVED BY: JAMES BIRD

TEAM: CIVIL & LANDSCAPE ARCHITECTS

DEVELOPMENT INCORPORATING STATION YARD CROFT HOUSE NURSERY



NOTES:

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The drawings are not to be used for any other purpose without the written consent of the author.

The drawings are not to be used for any other purpose without the written consent of the author.

INDICATIVE SITE LAYOUT

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

MESSRS H & D BACON & J O'NEILL



DEVELOPMENT INCORPORATING STATION YARD CROFT HOUSE NURSERY

INDICATIVE SITE LAYOUT

| DATE | DESCRIPTION |
|----------------|-------------|
| 10th JULY 2016 | PRELIMINARY |
| 10th JULY 2016 | PRELIMINARY |
| 10th JULY 2016 | PRELIMINARY |
| 10th JULY 2016 | PRELIMINARY |

3328 TD-COM-AX-0105-AS-6892-F8

































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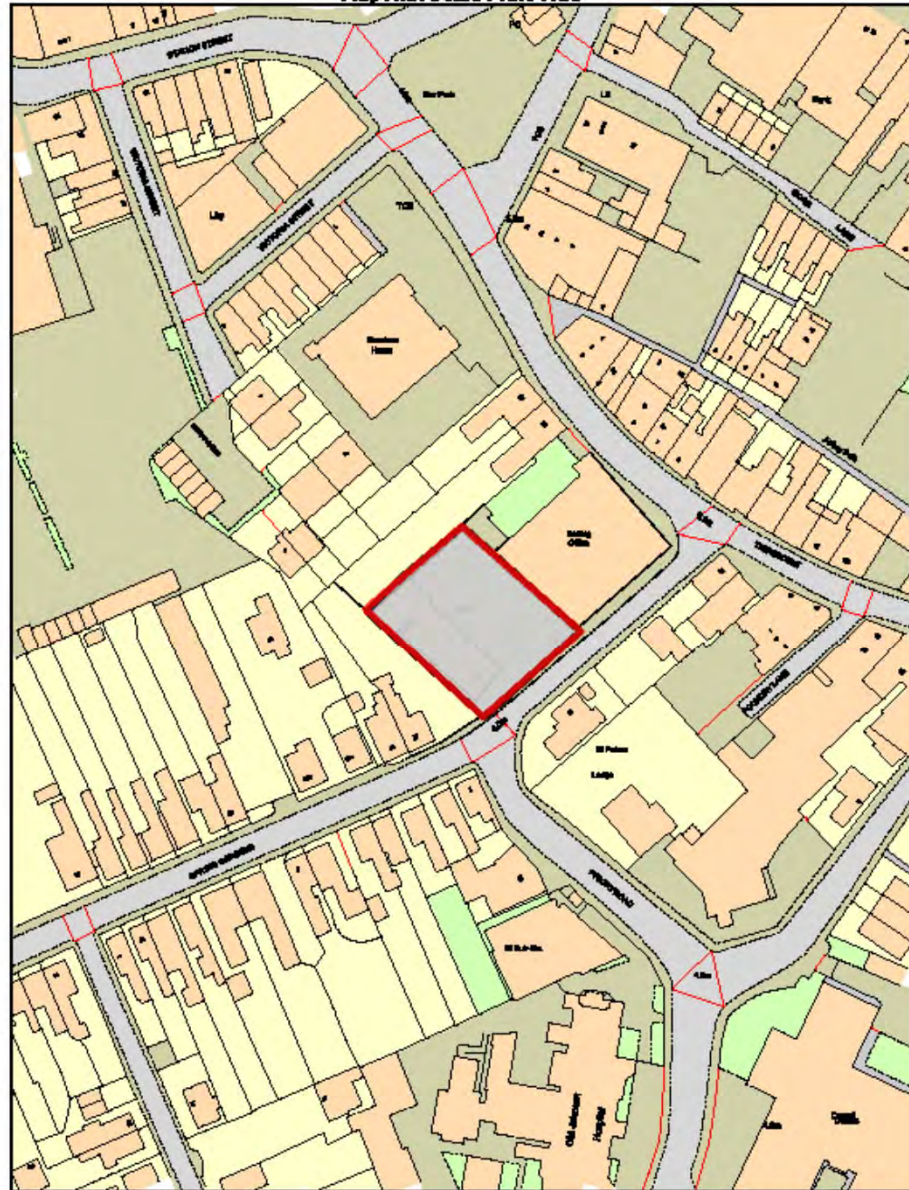
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H O I L A N D
F O R E S T & B O U L D E R S

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MAP SCALE 1:2000
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MAP SCALE 1:1000
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Location Plan: North:

Legend:

-  Assisted site.
-  Adjacent sites in same ownership.



Project:
**Proposed New and Conversion
Apartments**
Project Address:
Spring Gardens, Spalding, Lincolnshire

Jackson Design Associates
Lattimer House, Lattimer Way,
Sherwood Energy Village,
Ollerton, Nottinghamshire, NG22 9QW
Telephone: (01623) 863 222
Facsimile: (01623) 863 555
www.jacksondesign.co.uk

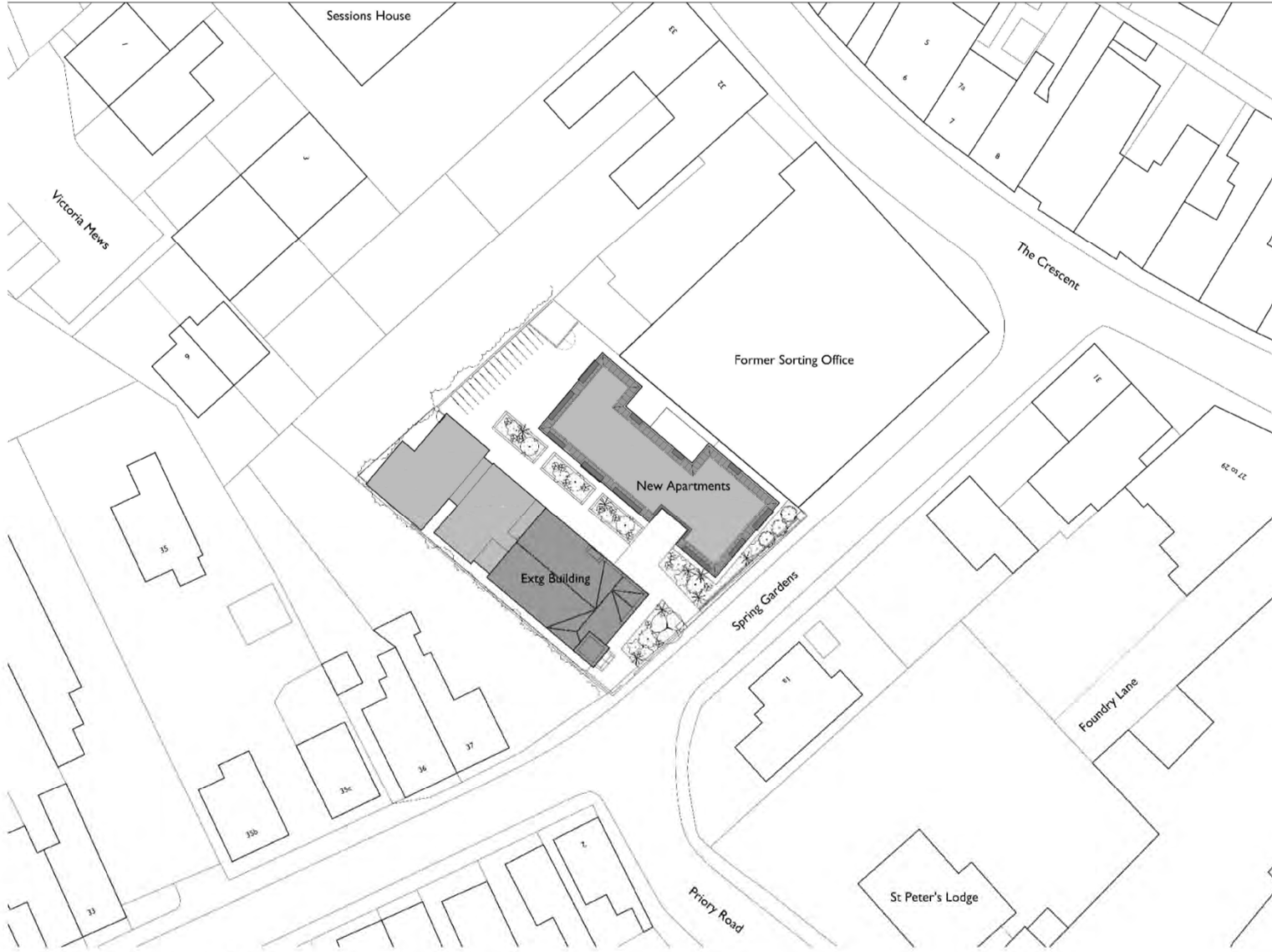


Client:
Minster Developments Ltd
Additional Client Details:
Scale (Size): 1:1250 @ A4
Date: May 2018
Ref (Rev): 18/2158/LP/001

ARCHITECTURE • DESIGN • MANAGEMENT

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Notes:
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Proposed Site Layout:

Being the proposed site layout for the development of the site at Spring Gardens, Spalding, Lincolnshire.
 The proposed site layout is shown in the attached site plan.



| | | | | |
|------|----------|----------------------------|--------|----------|
| C | NOI/2016 | Issued date: | 27 | 14 |
| B | NOI/2016 | Issued to extend drawings: | 28 | 14 |
| A | NOI/2016 | Issued to extend drawings: | 29 | 14 |
| Ref: | Date: | Description: | Drawn: | Checked: |

Jackson Design Associates
 Limited
 100, 101, 102, 103, 104
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 NG22 2JQ
 Telephone: (01533) 843333
 Fax: (01533) 843333
 www.jacksondesign.co.uk



ARCHITECTURE - DESIGN - MANAGEMENT

Project:
 Proposed Residential Development:
 New Build Apartments & Conversion of Existing Building.

Drawing Title:
 Proposed Site Layout.

Project Address:
 Land at Spring Gardens,
 Spalding, Lincolnshire.

Client:
 Minster Developments Ltd.

| | | | |
|--------|----------|---------------|----------|
| Drawn: | Checked: | Scale (mm): | Date: |
| LH | DG | 1:250 (as A1) | May 2016 |

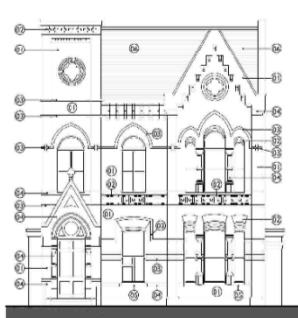
18 / 2158 / (90) / 001 C

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Notes:

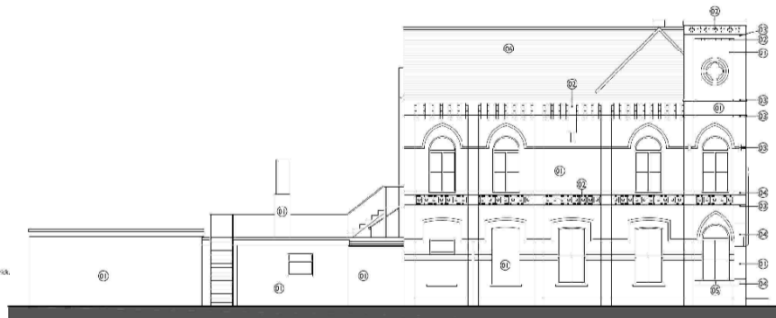
All works to be carried out in accordance with the current Building Regulations, British Standards and Codes of Practice and to the satisfaction of the Local Authority Building Inspector.
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As Existing Front Elevation (South East):

0m 1m 2m 3m 1:100 (A1)

- Legend:**
1. Brick
 2. Brick heads
 3. Cotswold brick
 4. Stone dress
 5. Stone cill
 6. Stone



As Existing Side Elevation (South West):

0m 1m 2m 3m 1:100 (A1)



As Existing Rear Elevation (North West):

0m 1m 2m 3m 1:100 (A1)



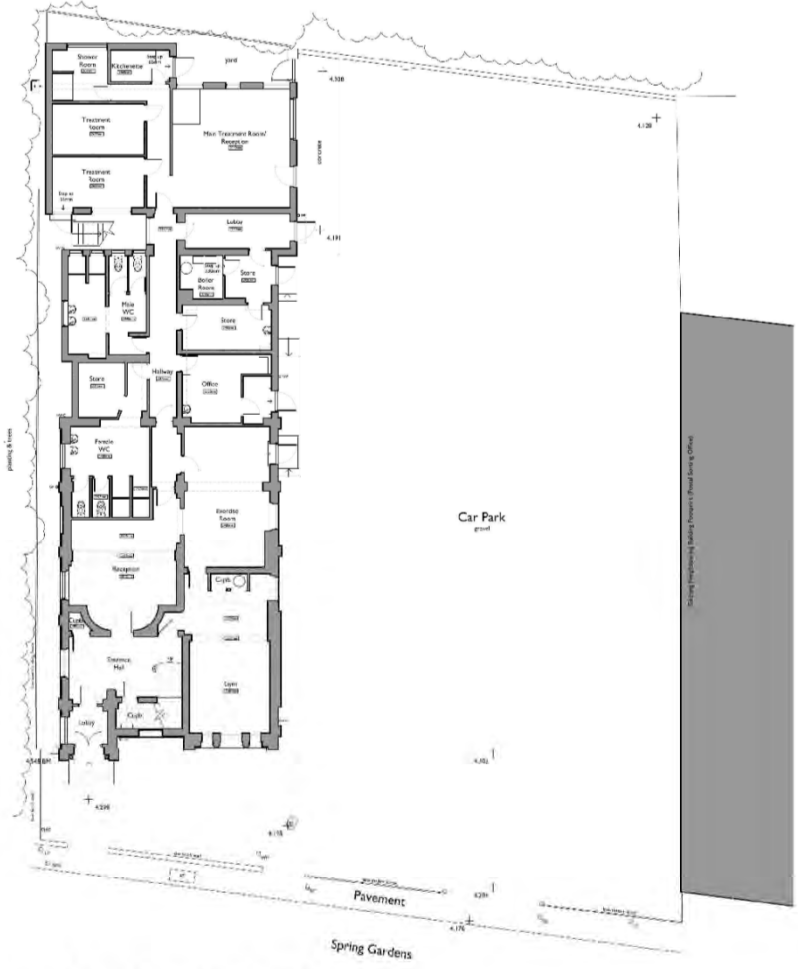
As Existing Side Elevation (North East):

0m 1m 2m 3m 1:100 (A1)

| | | |
|---|---|---|
| <p>Jackson Design Associates Central House, Lutterworth, Leicestershire Telephone: 01533 643222 Fax: 01533 643233 www.jacksondesign.co.uk</p> | |  |
| <p>ARCHITECTURE • DESIGN • MANAGEMENT</p> | | |
| <p>Project: Proposed Residential Development: New Build Apartments & Conversion of Existing Building.</p> | | |
| <p>Drawing Title: As Existing Elevations (Existing Building).</p> | | |
| <p>Project Address: Land at Spring Gardens, Spalding, Lincolnshire.</p> | | |
| <p>Client: Minster Developments Ltd.</p> | | |
| <p>Drawn: DW</p> | <p>Checked: LJA</p> | <p>Date: 11/06 (A1)</p> |
| <p>Project No.: 18 / 2158 / (22) / 101</p> | | <p>Sheet No.: A</p> |
| <p>PLANNING</p> | | |

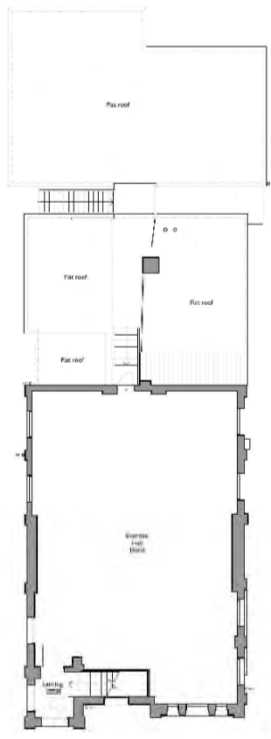
Notes:

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All dimensions are to be checked on site prior to the commencement of the works. Any discrepancies to be reported prior to the commencement of the relevant work.
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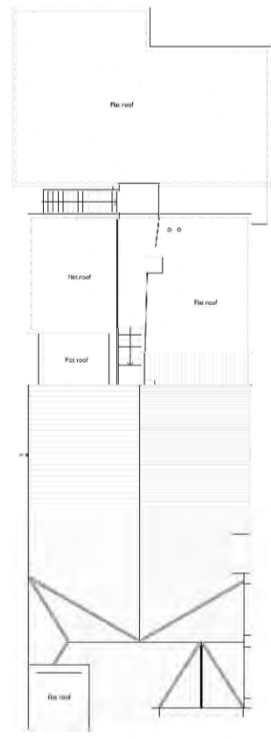
As Existing Ground Floor Layout / Site Layout:

Scale: 1:100 (A1)
Date: 18/04/16



As Existing First Floor Layout:

Scale: 1:100 (A1)



As Existing Roof Layout:

Scale: 1:100 (A1)

| | | | |
|--|---------------|-----------------------------|--------------------|
| Project Name | | Client | |
| Project No. | | Drawn | |
| Revision | | Checked | |
| Jackson Design Associates Limited House, Lutterworth, Warwickshire, Leicestershire, LE17 9JF Telephone: (01454) 843222 Fax: (01454) 843221 www.jacksondesign.co.uk | | | |
| ARCHITECTURE • DESIGN • MANAGEMENT | | | |
| Project: Proposed Residential Development: New Build Apartments & Conversion of Existing Building | | | |
| Client: As Existing Layouts (Existing Building) | | | |
| Project Address: Land at Spring Gardens, Spalding, Lincolnshire. | | | |
| Client: Minster Developments Ltd. | | | |
| Drawn DK | Checked LH | Date Drawn 11/04/16 (A1) | Date April 2016 |
| 18 / 2158 / (22) / 100 A | | | |
| PLANNING | | | |
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- Legend:**
1. Dark stained floor joistwork.
 2. Unstained timber cladding (beams not under or similar).
 3. Reclaimed stone walls (stone).
 4. Zinc / zinc effect roofing.
 5. Zinc / zinc effect window surrounds.
 6. Blue brick (as below floor).



Side Elevation (South-West):
 Scale: 1:100 (at A1)



Rear Elevation (North-West):
 Scale: 1:100 (at A1)



Rear Elevation (North-West):
 Scale: 1:100 (at A1)



Front / Street Elevation (South-East):
 Scale: 1:100 (at A1)

Blue brickwork extension of new front wall with contemporary metal railing gates.

| | | | | |
|---|---------|---------------------------------|----|-----|
| 0 | REVISED | Revised drawing | BY | LJA |
| 1 | REVISED | Issued for building information | DK | LJA |
| 2 | REVISED | Issued for final development | DK | LJA |
| 3 | REVISED | Final drawing | DK | LJA |

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ARCHITECTURE • DESIGN • MANAGEMENT

Proposed Residential Development:
 New Build Apartments & Conversion of Existing Building.
Proposed Elevations (New Build).

Project Name:
 Land at Spring Gardens,
 Spalding, Lincolnshire.

Client:
 Minster Developments Ltd.

Drawn: LJA
Checked: DCG
Date: 11/04/16 (at A1)
Scale: As Shown

18 / 2 / 158 / (02) / 004 D

PLANNING

Notes
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 DO NOT SCALE OFF THIS DRAWING.



Proposed Ground Floor Layout:



Proposed First Floor Layout:



Proposed Second Floor Layout:



Proposed Third Floor Layout:



| | | | | |
|---|---------|---------------------------|----|----|
| 1 | REVISED | Revised details | 07 | 04 |
| 2 | REVISED | Revised to match drawings | 08 | 14 |
| 3 | REVISED | Added to the drawings | 08 | 14 |
| 4 | REVISED | Revised details | 08 | 14 |

Jackson Design Associates
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 LN1 1AB
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 Fax: 01522 461112
 www.jacksondesign.co.uk



ARCHITECTURE • DESIGN • MANAGEMENT

Project:
Proposed Residential Development:
 New Build Apartments & Commercial of Existing Building.

Client:
Proposed Layouts (New Build).

Project Address:
 Land at Spring Gardens,
 Spalding, Lincolnshire.

Client:
 Minster Developments Ltd.

| | | | |
|--------|----------|---------------|------------|
| Drawn: | Checked: | Scale: | Date: |
| UH | DS | 1:100 (as A1) | April 2018 |

18 / 2158 / (02) / 003 D

PLANNING

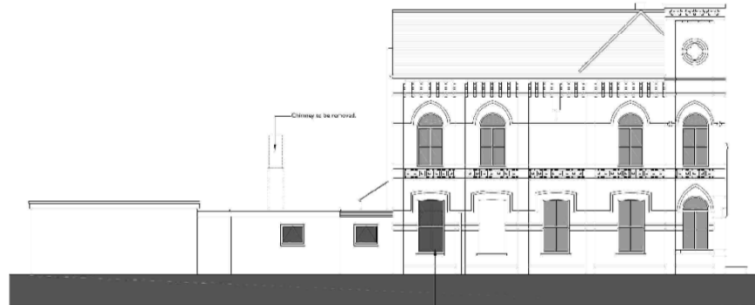
Notes

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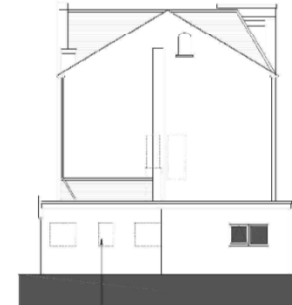
Proposed Front Elevation (South East):

Scale: 1:100 (at A1)



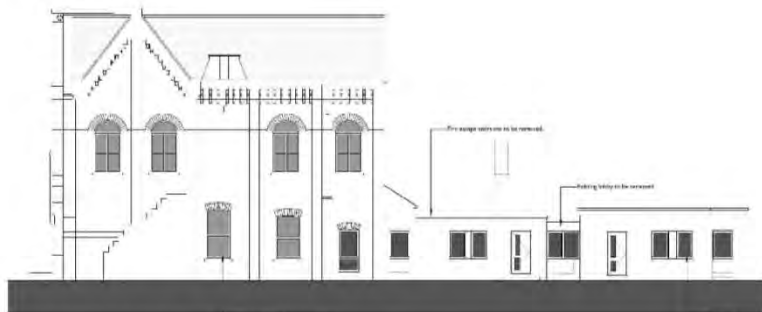
Proposed Side Elevation (South West):

Scale: 1:100 (at A1)



Proposed Rear Elevation (North West):

Scale: 1:100 (at A1)



Proposed Side Elevation (North East):

Scale: 1:100 (at A1)

| | | | | |
|-----|----------|---------------|-------|------|
| # | 10152018 | Access sheets | BT | L1 |
| # | 10152018 | Planning | SK | L4 |
| Rev | | Description | Issue | Date |

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 01530 820000
 01530 820000
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ARCHITECTURE • DESIGN • MANAGEMENT

**Proposed Residential Development:
 New Build Apartments & Conversion of Existing Building.**

Proposed Elevations (Existing Building).

**Project Address:
 Land at Spring Gardens,
 Spalding, Lincolnshire.**

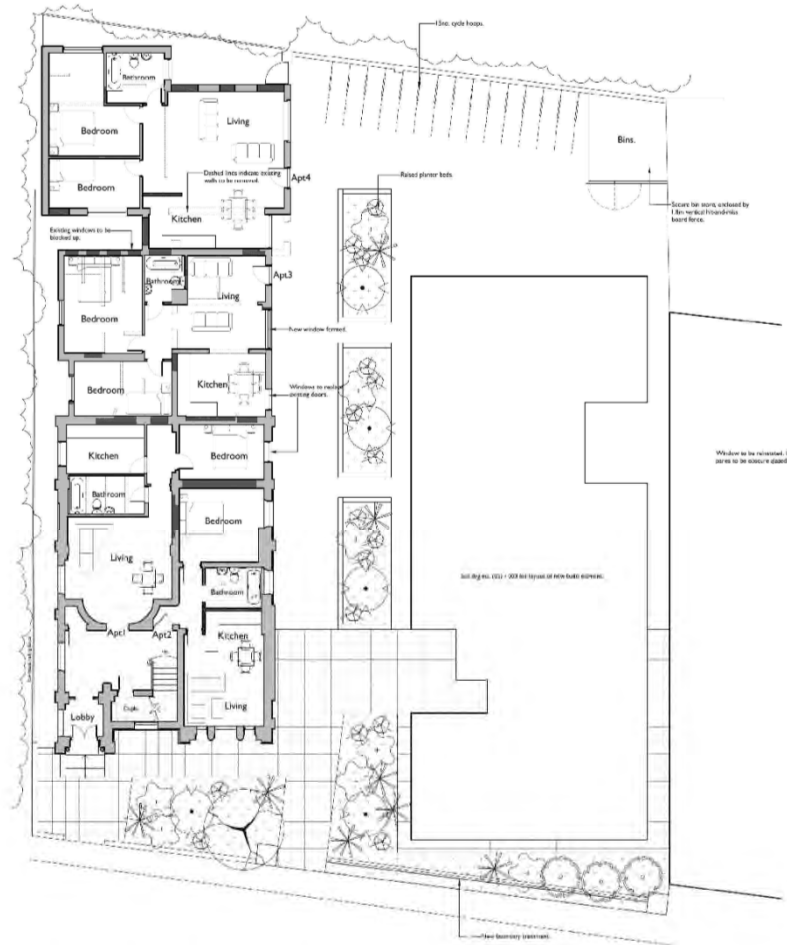
**Client:
 Minster Developments Ltd.**

| | | | | |
|-------|-----|---------|---------------|------------|
| Drawn | CHK | Checked | Scale (mm) | Date |
| | | | 1:100 (at A1) | April 2018 |

18 / 2158 / (22) / 103 B

PLANNING

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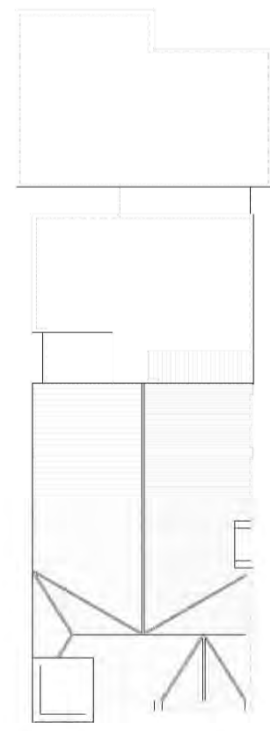
Proposed Ground Floor Layout / Site Layout:

1:100 (0.1m = 100mm)
 0 10 20 30 40 50 60 70 80 90 100 (0.1m)



Proposed First Floor Layout:

1:100 (0.1m = 100mm)



Proposed Roof Layout:

1:100 (0.1m = 100mm)

Notes
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|-----|------------|-------------|--------|---------|
| # | 10/10/2018 | Issue 01 | 01 | 01 |
| A | 10/10/2018 | Printed | 06 | 14 |
| Rev | Issue | Description | Author | Checked |

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 01522 511111
 Telephone: (01522) 843223
 Fax: (01522) 843224
 www.jacksondesign.co.uk

ARCHITECTURE • DESIGN • MANAGEMENT

Project:
**Proposed Residential Development:
 New Build Apartments & Conversion of Existing Building**

Client:
Proposed Layouts (Existing Building).

Project Address:
**Land at Spring Gardens,
 Spalding, Lincolnshire.**
 Client:
Minster Developments Ltd.

| | | | |
|-------------------------------|----------|-----------------|------------|
| Drawn: | Checked: | Date (Rev): | Date: |
| DK | LAT | 11/09/2018 (A1) | April 2018 |
| 18 / 2158 / (22) / 102 | | B | |
| PLANNING | | | |

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3.5 Context

Sequential Views

The illustrations on this and the facing page show the context of the proposals in missing form so demonstrate the impact of the proposals on various glimpsed views towards two listed buildings: the Police Station (tinted blue) and the Sessions House (tinted yellow). The sequence of images, from the top, is as follows:

- Photograph, showing the view in full, with the benefit of screening from walls, trees and other features;
- Missing model, recreating the scene; etc
- Missing model with the proposals incorporated (tinted pink).

These sequential views confirm that some of the glimpsed views from Spring Gardens, Spring Street and Friary Road will be reduced due to the development. However, the photographs make it clear that the historical glimpses of the listed buildings are already limited by walls, trees and other features and so the impact is not considered to cause significant harm. There will remain a glimpsed view to the Police Station between the new and existing building.

It should also be noted that the glimpsed views through the gap between the existing building and the former postal Sorting Office and of only recent vintage: the gap was created as a result of the demolition of 39 Spring Gardens.







View one, looking north-west along Spring Gardens from the junction with Spring Street.





View two, looking south-west along Spring Gardens.

























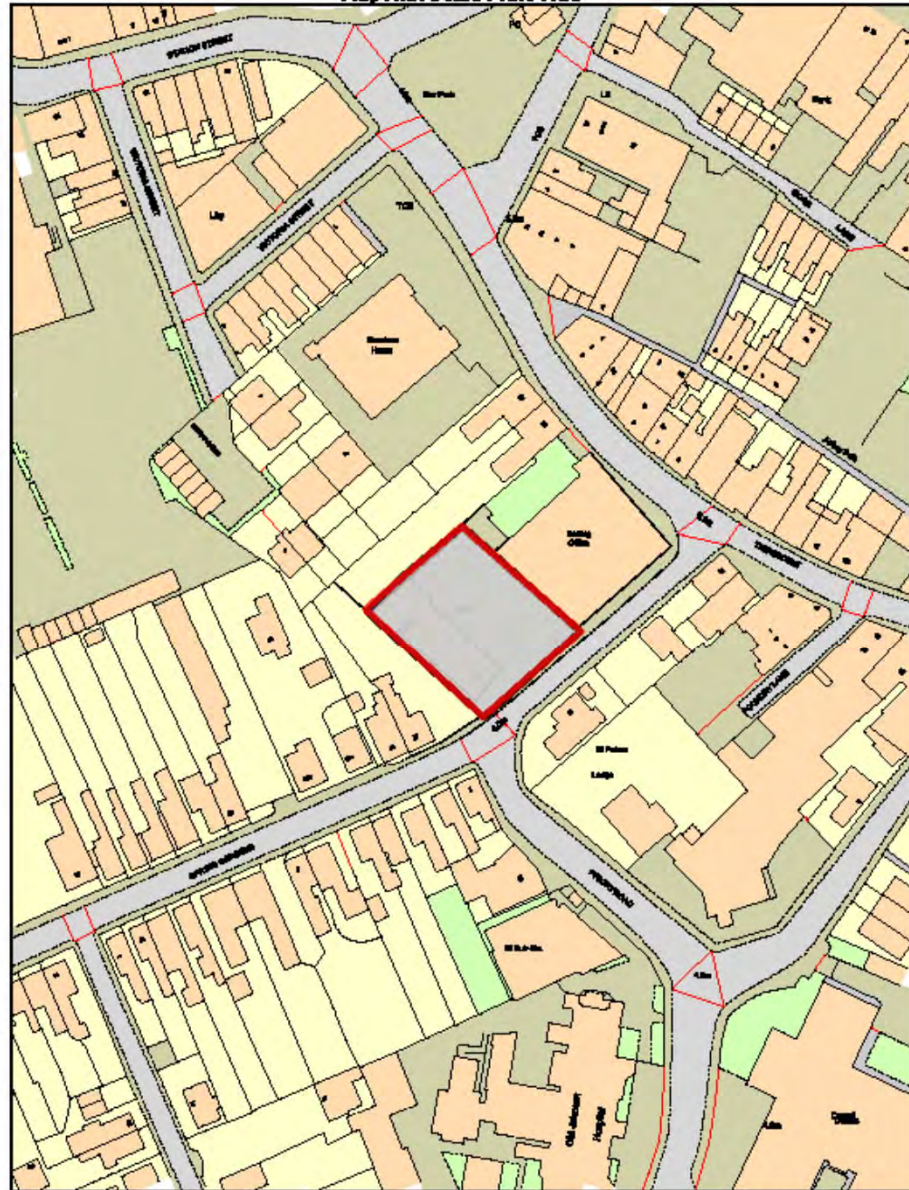








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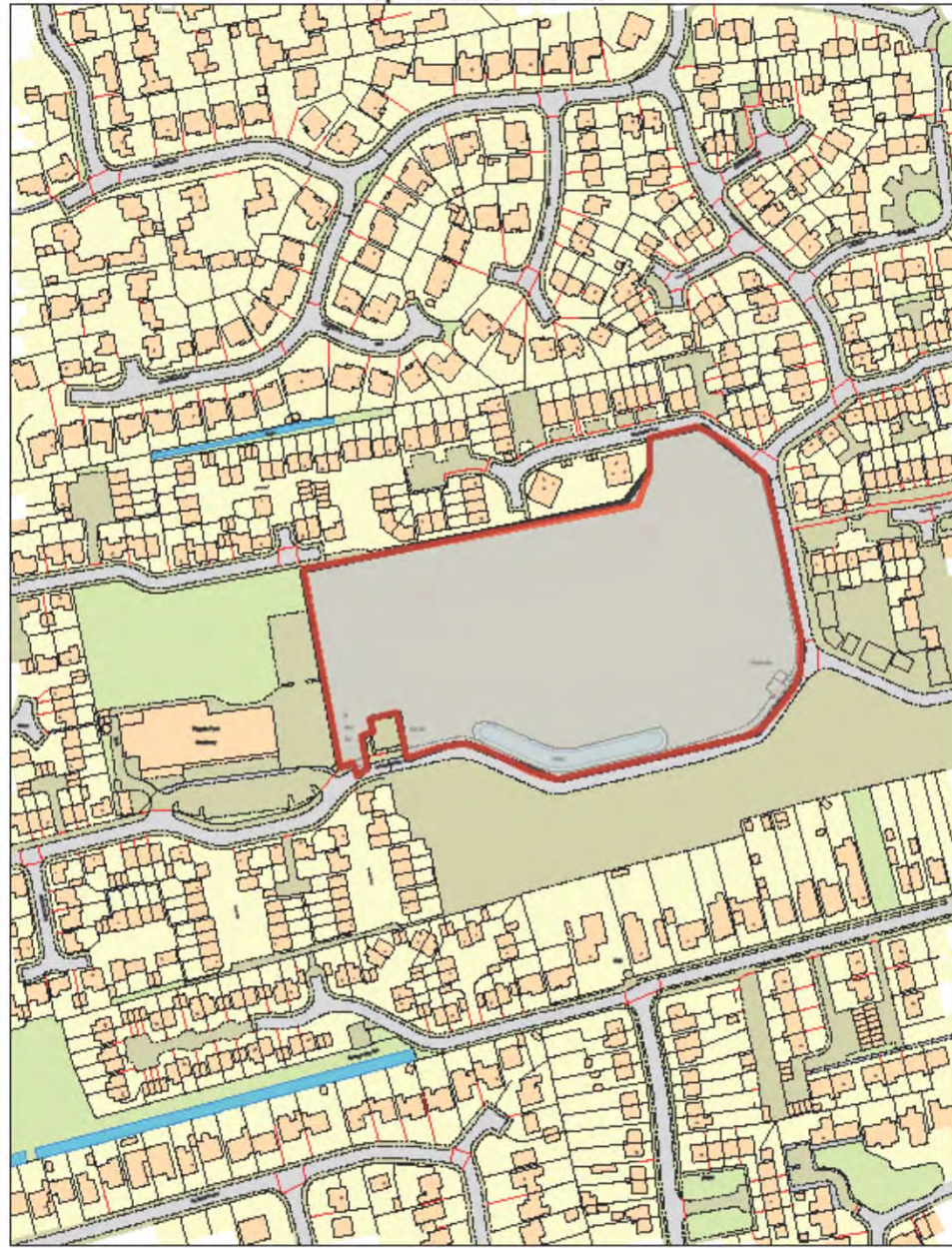
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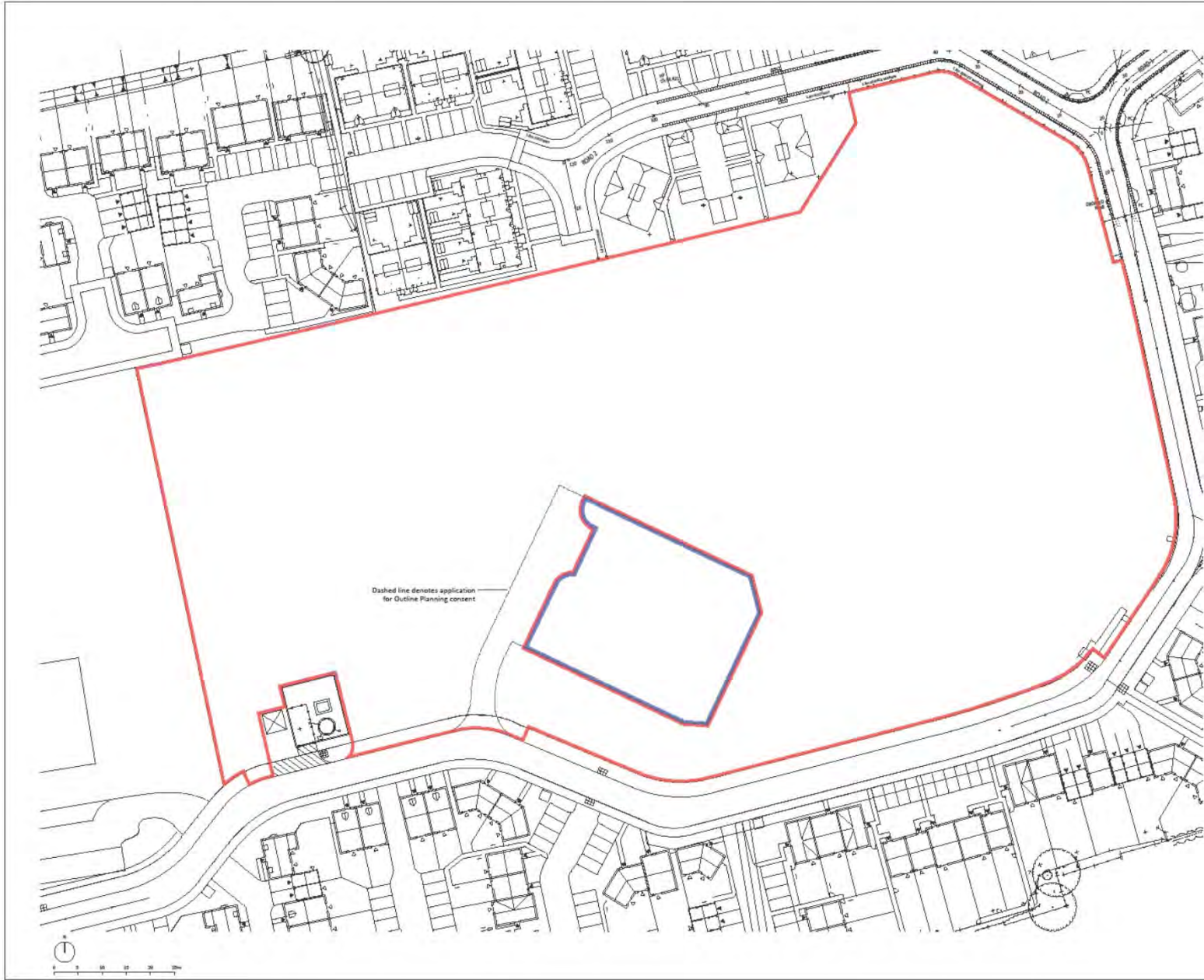


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 Consultancy

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 Shefford, Lincolnshire, NG34 0BA
 Tel: 01529 421646
 Email: admin@rdc-tenapan.co.uk
 Web: www.rdc-tenapan.co.uk

Client
 Kier Living Ltd

Project
 Central Open Space
 Wygate Park, Spalding

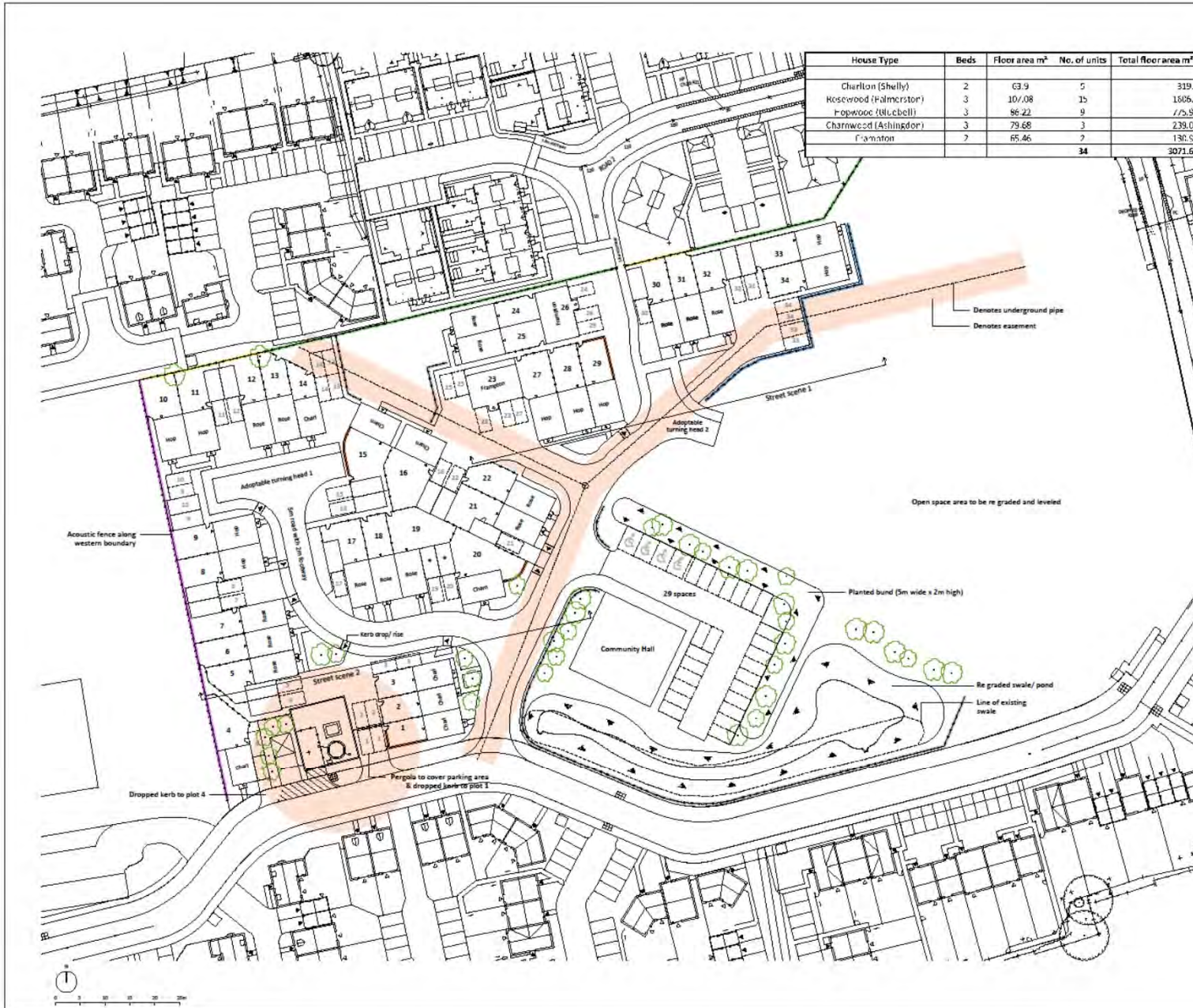
Drawing
 Existing Block Plan

| | |
|----------------------|------------------|
| Scale @ A2 1: 500 | Date 23/10/18 |
|----------------------|------------------|

| | |
|----------------|--------------------|
| Drawn By WW | Checked By RJCD |
|----------------|--------------------|

| | | |
|-----------------------|--------------|------------------------------|
| Job Number 520-247 | Status PL | Purpose of Issue Planning |
|-----------------------|--------------|------------------------------|

| | |
|---------------------------------|----------|
| Drawing No. 520-247_PL_BP101 | Rev - |
|---------------------------------|----------|



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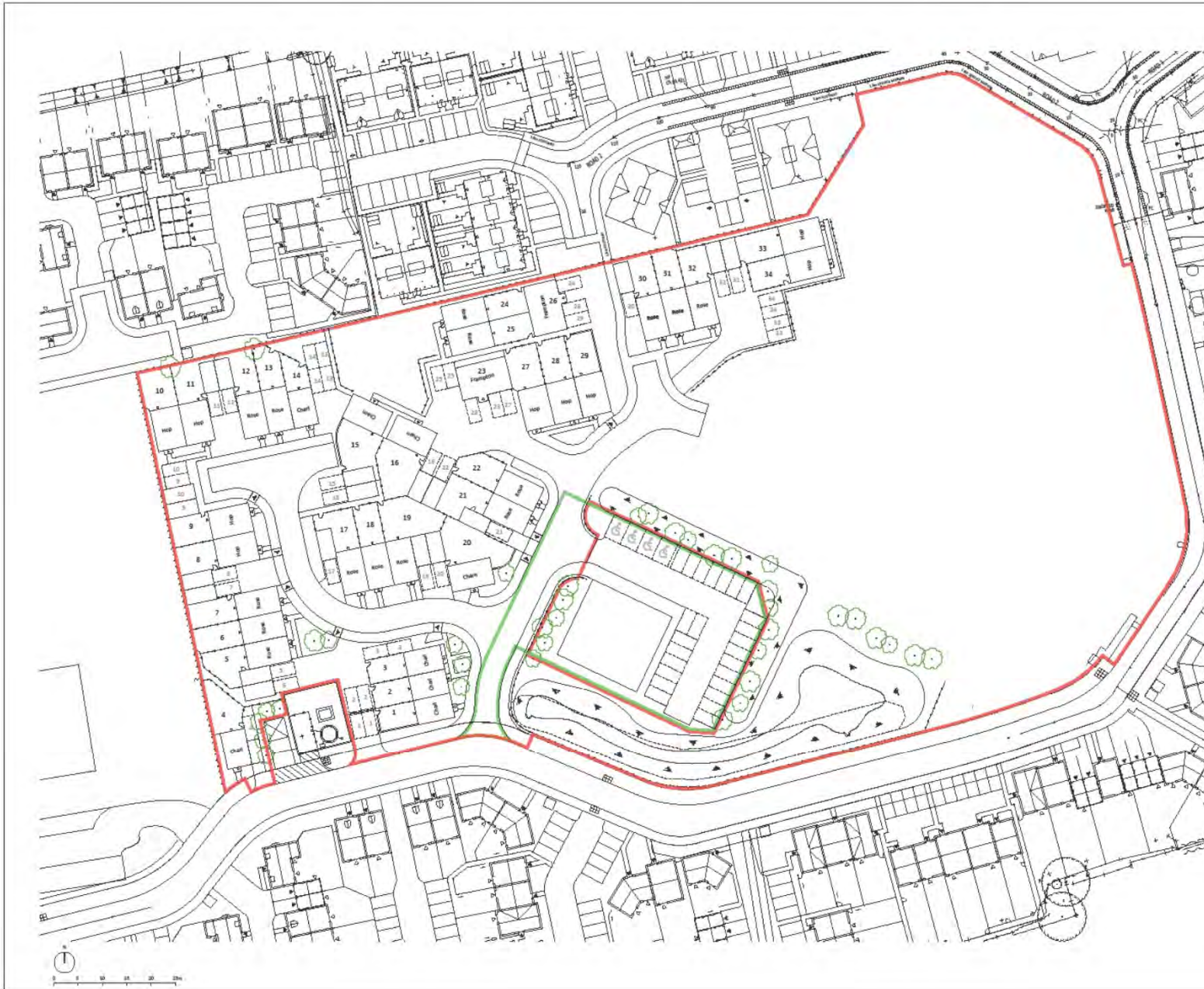
- * Denotes garage
- Boundary Treatments Key**
- 1.8m high close boarded fence
- 1.8m high acoustic fence
- 1.2m high post & rail fence
- 0.5m high knee rail fence
- 1.8m high garden wall
- Existing metal fence
- Existing metal fence to be replaced or retained with the addition of a 1.8m high close boarded fence

| Rev | Description | Date |
|-----|-------------|------|
| | | |

rdc
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 32 High Street, Hespington
 Sleaford, Lincolnshire, NG34 6BA
 Tel: 01535 432646
 Email: admin@rdc-consultancy.co.uk
 Web: www.rdc-consultancy.co.uk

Client
 Kier Living Ltd
 Project
 Central Open Space
 Wygate Park, Spalding

| Drawing | | Date |
|-------------|------------------|------------------|
| Site Plan | | 22/10/18 |
| Scale @ A2 | 1:500 | |
| Drawn By | WW | Checked By |
| | | RJCD |
| Job Number | 520-247 | Status |
| | | PL |
| | | Purpose of Issue |
| | | Planning |
| Drawing No. | 520-247_PL_SP101 | Rev |
| | | - |



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- Full application
2.242ha
- Outline application
0.174ha

| Rev | Description | Date |
|-----|-------------|------|
| | | |

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 Email: rdc@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

Client
 Kier Living Ltd

Project
 Central Open Space
 Wygate Park, Spalding

Drawing
 Area: Plan

Scale @ A2
 1:500

Date
 22/10/18

Drawn By
 WW

Checked By
 RICD

Job Number
 520-247

Status
 PL

Purpose of Issue
 Planning

Drawing No.
 520-247_PL_SP103

Rev
 -



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0 10 20 30 40 50m

Rev

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02/18/2018

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| Rev | Description | Date |
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Client
Kor Living Ltd

Project
Central Open Space
Wygate Park, Scolding

Drawing
Coloured site plan

| Scale @ A3 | Date |
|------------|----------|
| 1: 1000 | 23/10/18 |

| Drawn By | Checked By |
|----------|------------|
| WW | RJCD |

| Job Number | Status | Purpose of Issue |
|------------|--------|------------------|
| 520-247 | PL | Planning |

| Drawing No. | Rev |
|------------------|-----|
| 520-247_PL_SP104 | - |

Notes:
 1. This drawing is a conceptual illustration of the proposed development and is not intended to be used for construction purposes.
 2. The proposed development is subject to planning permission and other necessary consents.
 3. The proposed development is subject to the provisions of the relevant planning legislation and other applicable laws.
 4. The proposed development is subject to the provisions of the relevant planning legislation and other applicable laws.



Illustrative Street Scene 1



Illustrative Street Scene 2

| Rev | Description | Date |
|-----|-------------|------|
|-----|-------------|------|

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Client:
 Kar Living Ltd

Project:
 Central Open Space
 Wygate Park, Stirling

Drawing:
 Proposed Illustrative Street Scenes

| Scale @ A2 | Date |
|------------|----------|
| NTS | 13/10/18 |

| Drawn By | Checked By |
|----------|------------|
| WW | RCD |

| Job Number | Status | Purpose of Issue |
|------------|--------|------------------|
| 520-247 | PL | Planning |

| Drawing No. | Rev |
|------------------|-----|
| 520-247_PL_VS101 | - |



FRONT ELEVATION

SIDE ELEVATION



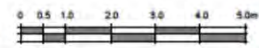
REAR ELEVATION

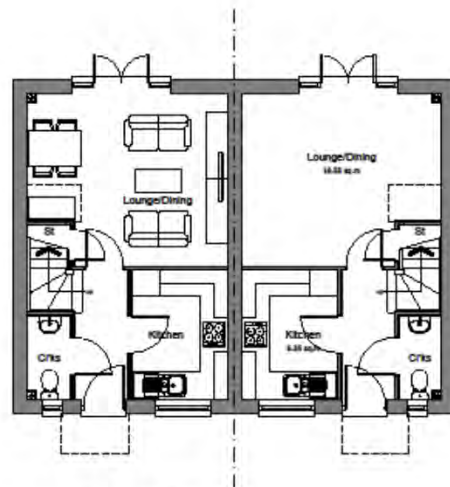
SIDE ELEVATION

ELEVATIONS - BRICK
CHARLTON 2 BEDROOM HOUSE FLOOR AREA = 63.90 m2 (688 sqft)

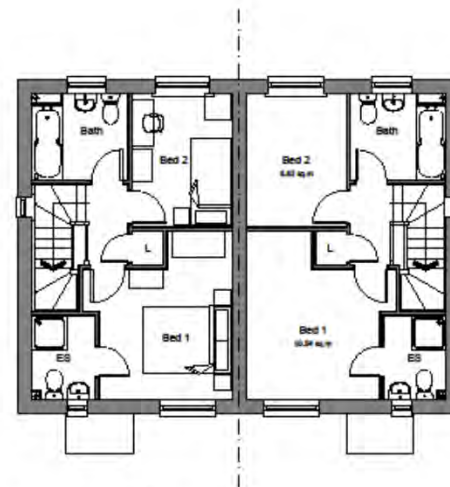
Drawing No - CHARLTON - 02

Scale 1:100@A3





GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR PLANS
CHARLTON

2 BEDROOM HOUSE FLOOR AREA = 63.90 m² (688 sqft)

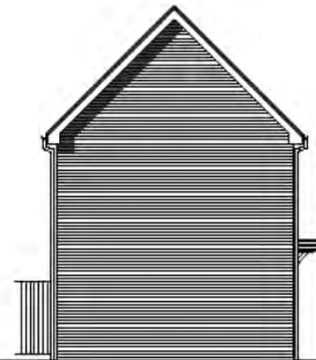
Drawing No - CHARLTON - 01

Scale 1:100@A3





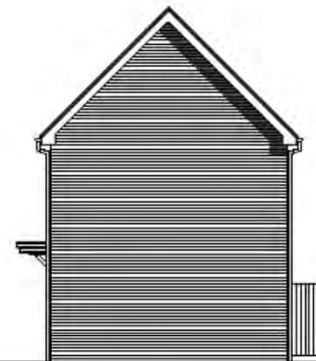
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



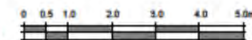
SIDE ELEVATION

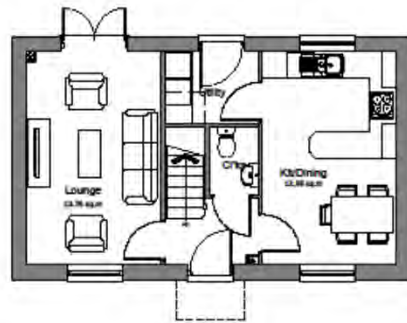
ELEVATIONS - BRICK
CHARNWOOD

3 BEDROOM HOUSE FLOOR AREA = 79.68m² (858 sqft)

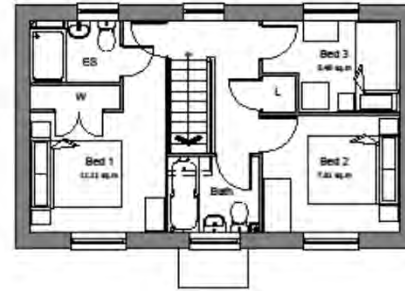
Drawing No - CHARNWOOD - 02

Scale 1:100@A3





GROUND FLOOR PLAN



FIRST FLOOR PLAN

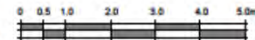
FLOOR PLANS

CHARNWOOD

3 BEDROOM HOUSE FLOOR AREA = 79.68m² (858 sqft)

Drawing No - CHARNWOOD - 01

Scale 1:100@A3





FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

SIDE ELEVATION

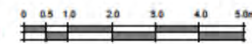
ELEVATIONS - BRICK

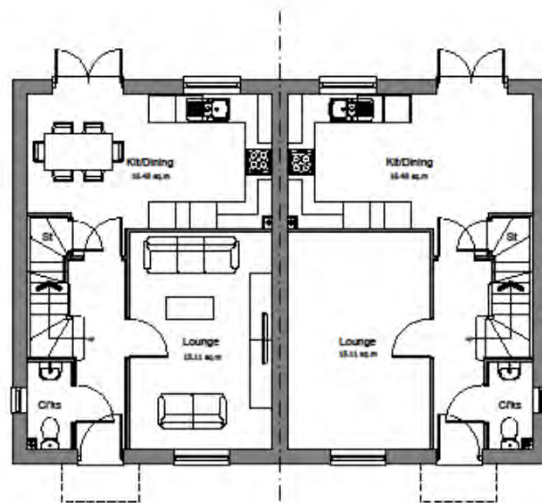
HOPWOOD

3 BEDROOM HOUSE FLOOR AREA = 86.22m² (928 sqft)

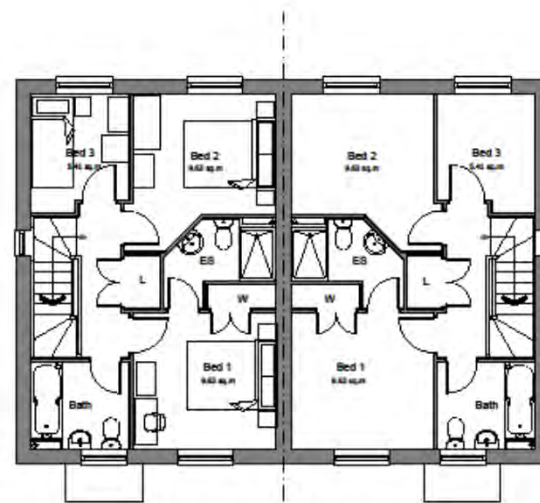
Drawing No - HOPWOOD - 02

Scale 1:100@A3





GROUND FLOOR PLAN



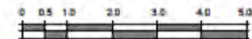
FIRST FLOOR PLAN

FLOOR PLANS
HOPWOOD

3 BEDROOM HOUSE FLOOR AREA = 86.22m² (928 sqft)

Drawing No - HOPWOOD - 01

Scale 1:100@A3





FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

SIDE ELEVATION

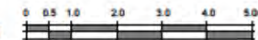
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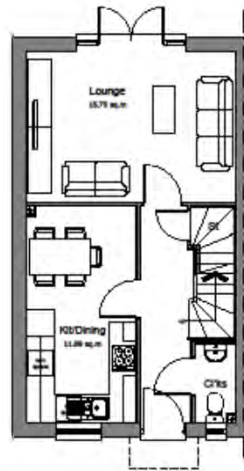
ROSEWOOD

3 BEDROOM HOUSE FLOOR AREA = 107.08 m2 (1153 sqft)

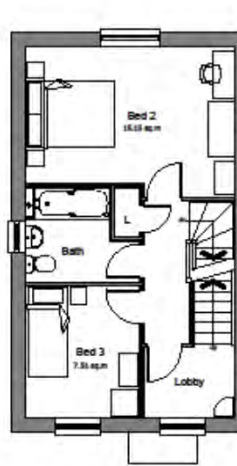
Drawing No - ROSEWOOD - 02

Scale 1:100@A3

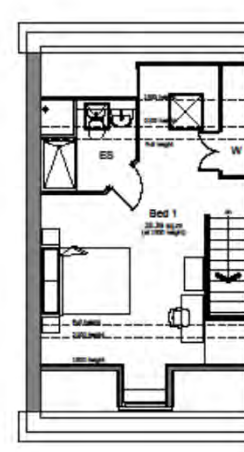




GROUND FLOOR PLAN



FIRST FLOOR PLAN



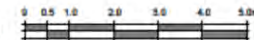
SECOND FLOOR PLAN

FLOOR PLANS
ROSEWOOD

3 BEDROOM HOUSE FLOOR AREA = 107.08 m² (1153 sqft)

Drawing No - ROSEWOOD - 01

Scale 1:100@A3





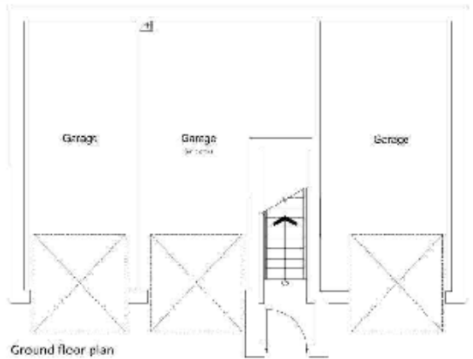
Front elevation

Rear elevation

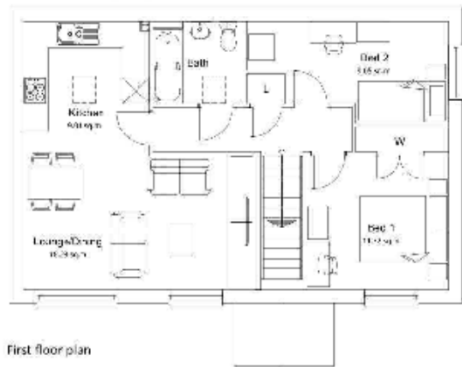


Sub-elevation

Side elevation



Ground floor plan



First floor plan



Notes

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A Bedroom 2 window moved to side elevation 15.01.19

| Rev | Description | Date |
|-----|-------------|------|
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Client
Kier Living Ltd

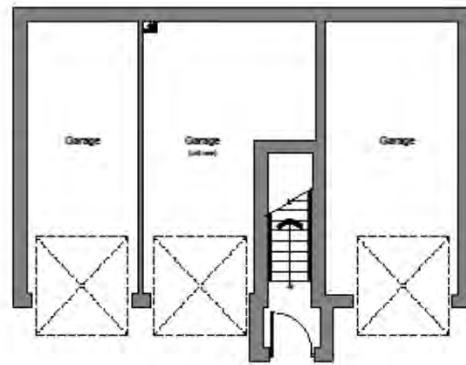
Project
Zone 9
Elsea Park, Bourne

Drawing
Revised Frampton house type

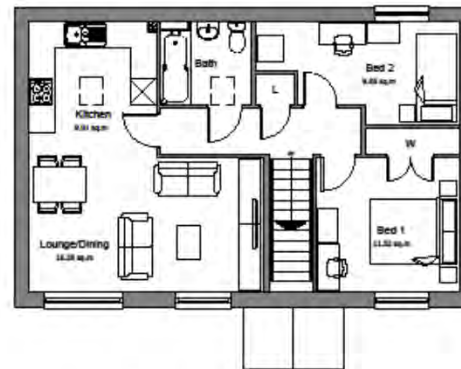
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| Scale @ A3 1: 100 | Date 10/01/19 |
| Drawn By WW | Checked By RJCD |
| Job Number 520-247 | Status PL |
| Purpose of Issue Planning | |

Drawing No.
520-247_PL_GA05

Rev
A



GROUND FLOOR PLAN



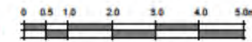
FIRST FLOOR PLAN

FLOOR PLANS
FRAMPTON

2 BEDROOM FOG FLOOR AREA = 65.46 m² (705 sqft)

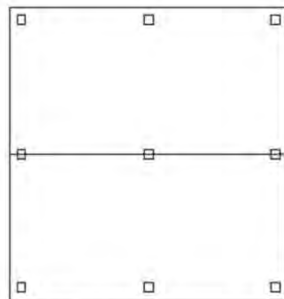
Drawing No - FRAMPTON - 01

Scale 1:100@A3





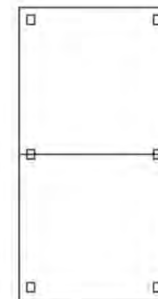
Floor plan



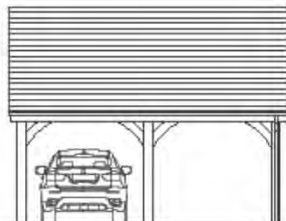
Roof plan



Floor plan



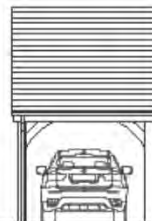
Roof plan



Front elevation



Side elevation



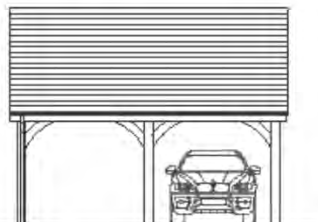
Front elevation



Side elevation



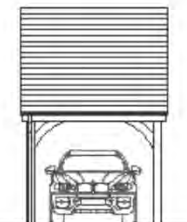
Side elevation



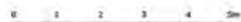
Rear elevation



Side elevation



Rear elevation



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 Web: www.rdc-landplan.co.uk

Client

Kier Living Ltd

Project

Central Open Space
 Wygate Park, Spalding

Drawing

Twin & Single car port

Scale @ A3

1: 100

Date

15/10/18

Drawn By

WW

Checked By

RJCD

Job Number

520-247

Status

PL

Purpose of Issue

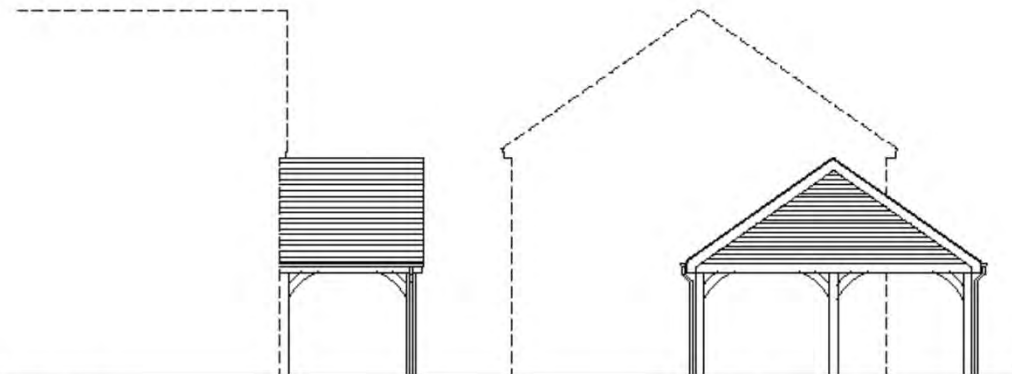
Planning

Drawing No.

520-247_PL_GA01

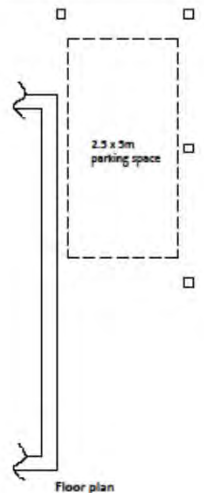
Rev

-

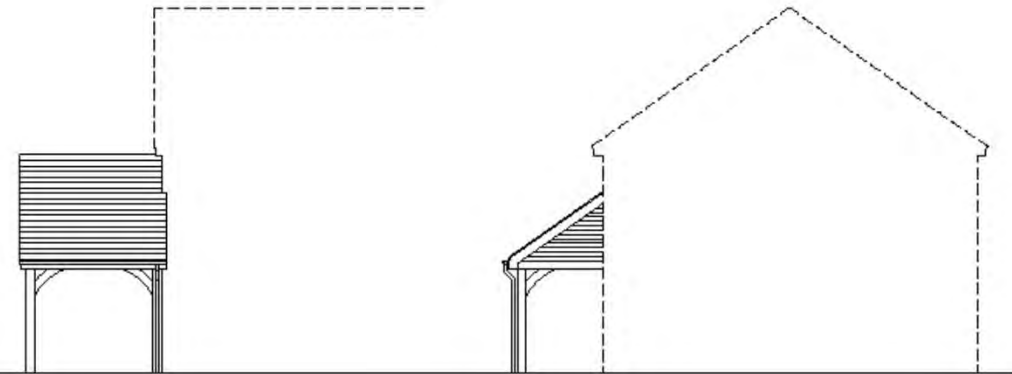


Front elevation

Side elevation

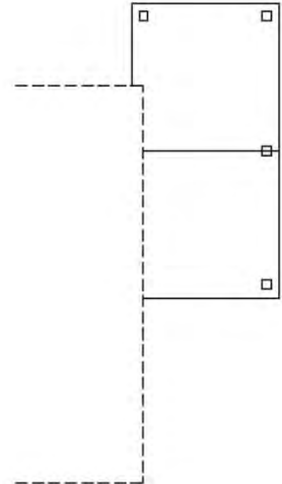


Floor plan



Rear elevation

Side elevation



Roof plan



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 Web: www.rdc-landplan.co.uk

Client
 Kier Living Ltd

Project
 Central Open Space
 Wygate Park, Spalding

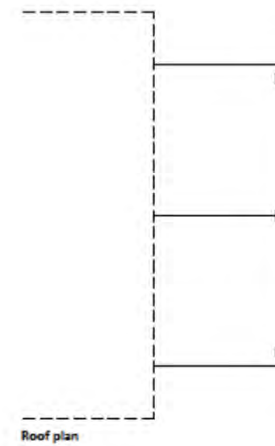
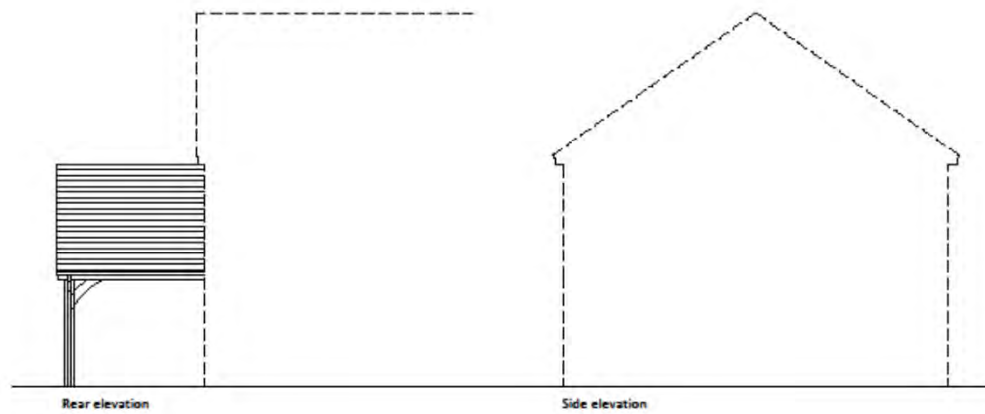
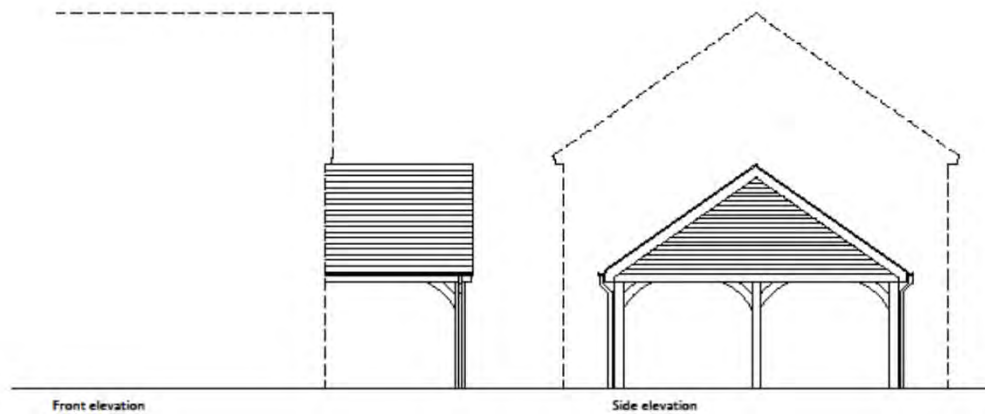
Drawing
 Single car port attached to dwelling - Option 1

| | |
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| Scale @ A3 1: 100 | Date 15/10/18 |
|-----------------------------|-------------------------|

| | |
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| Drawn By WW | Checked By RJCD |
|-----------------------|---------------------------|

| | | |
|------------------------------|---------------------|-------------------------------------|
| Job Number 520-247 | Status PL | Purpose of Issue Planning |
|------------------------------|---------------------|-------------------------------------|

| | |
|---------------------------------------|-----------------|
| Drawing No. 520-247_PL_GA02 | Rev - |
|---------------------------------------|-----------------|



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 Web: www.rdc-landplan.co.uk

Client
 Kier Living Ltd

Project
 Central Open Space
 Wygate Park, Spalding

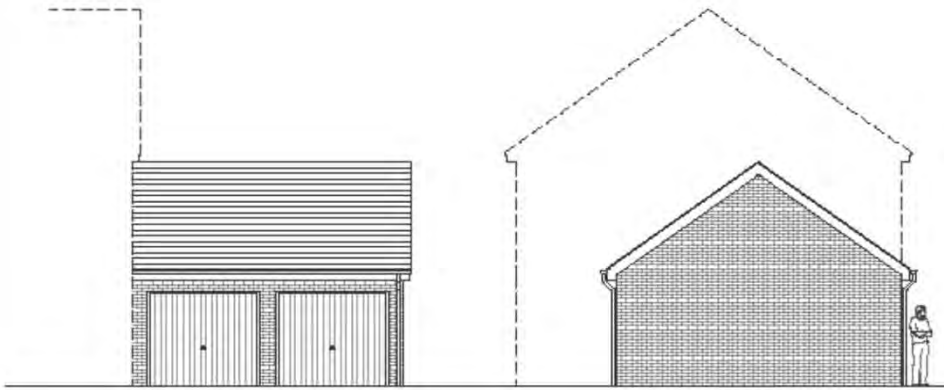
Drawing
 Single car port attached to dwelling - Option 2

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| Drawn By WW | Checked By RJCD |
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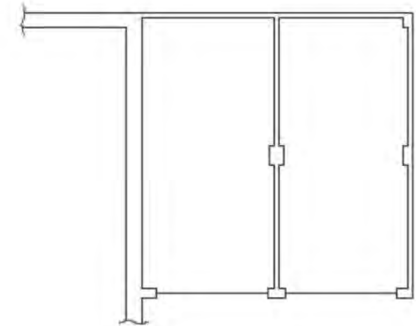
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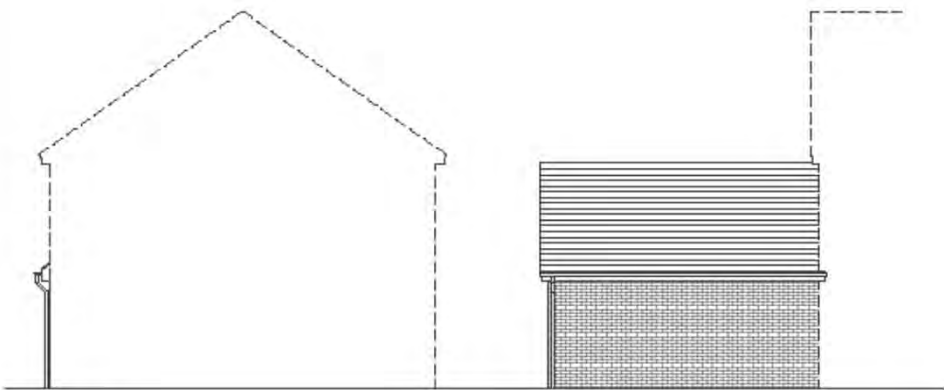


Front elevation

Side elevation

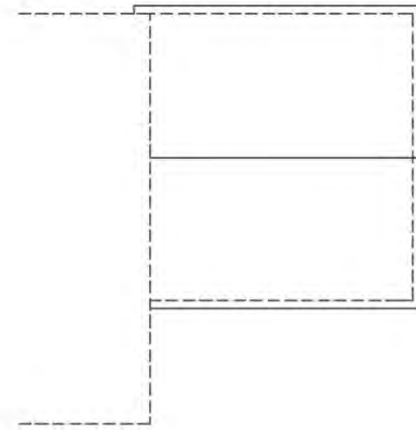


Floor plan



Side elevation

Rear elevation



Roof plan



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 Web: www.rdc-landplan.co.uk

| | | |
|---|--------------------|------------------------------|
| Client Kier Living Ltd | | |
| Project Zone 9 Elsea Park, Bourne | | |
| Drawing Twin garage attached to dwelling | | |
| Scale @ A3 1: 100 | Date 15/10/18 | |
| Drawn By WW | Checked By RJCD | |
| Job Number 520-247 | Status PL | Purpose of Issue Planning |
| Drawing No. 520-246_PL_GA04 | Rev - | |



















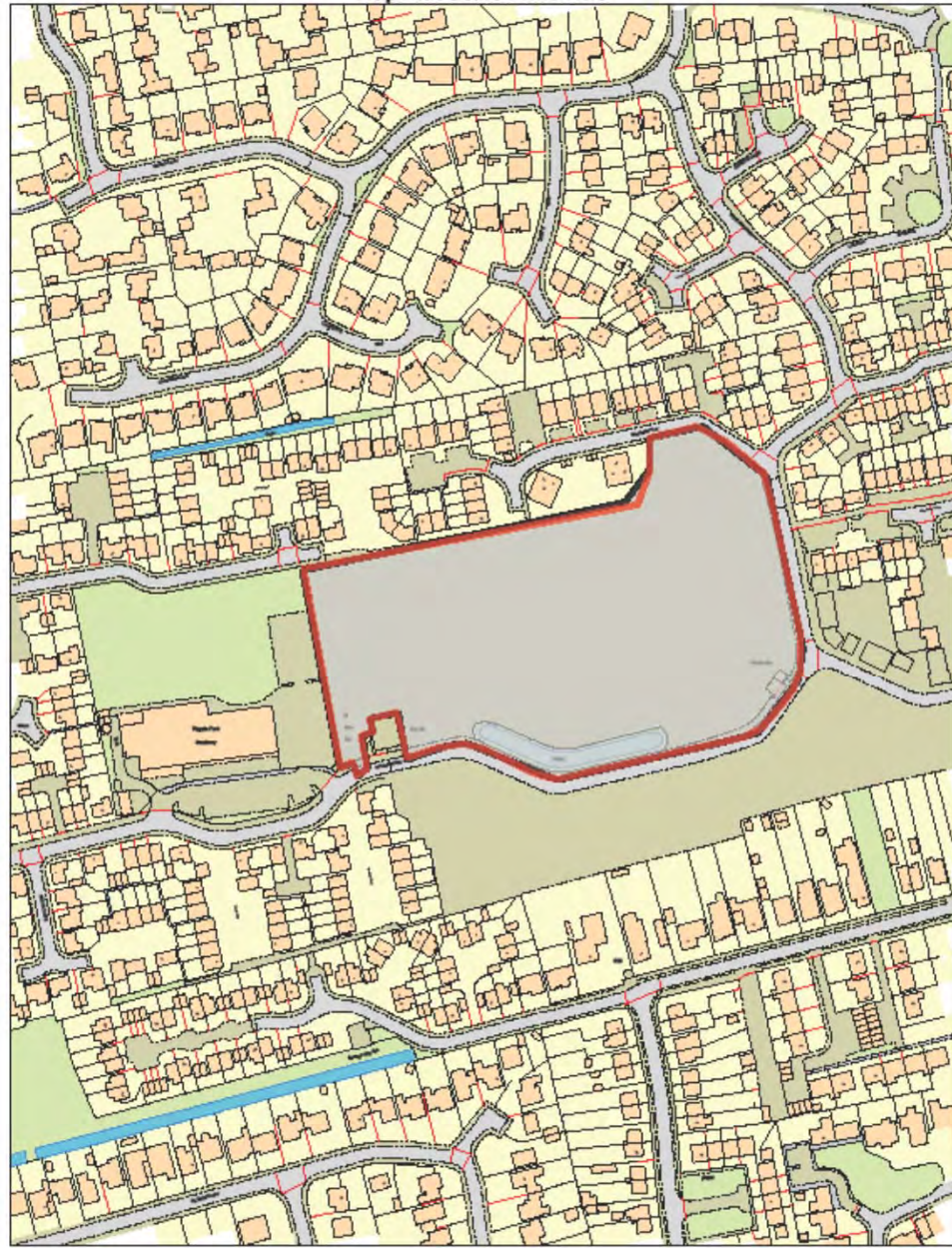








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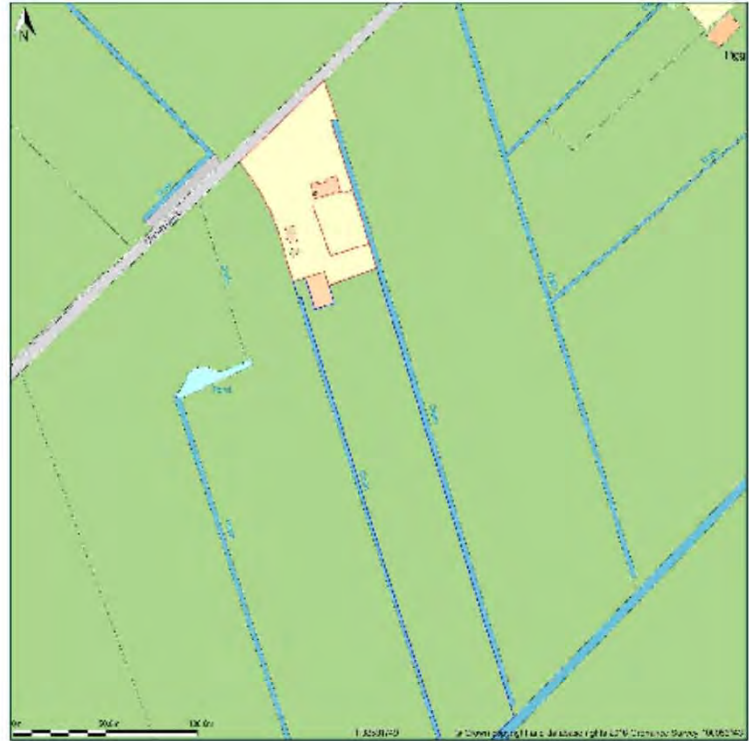
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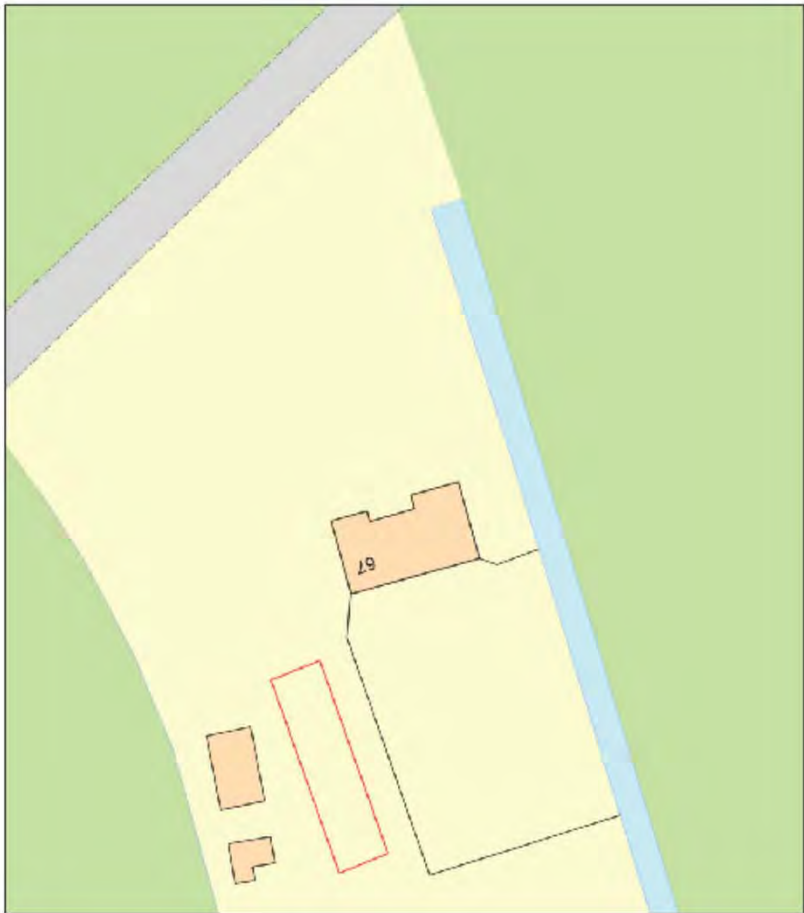


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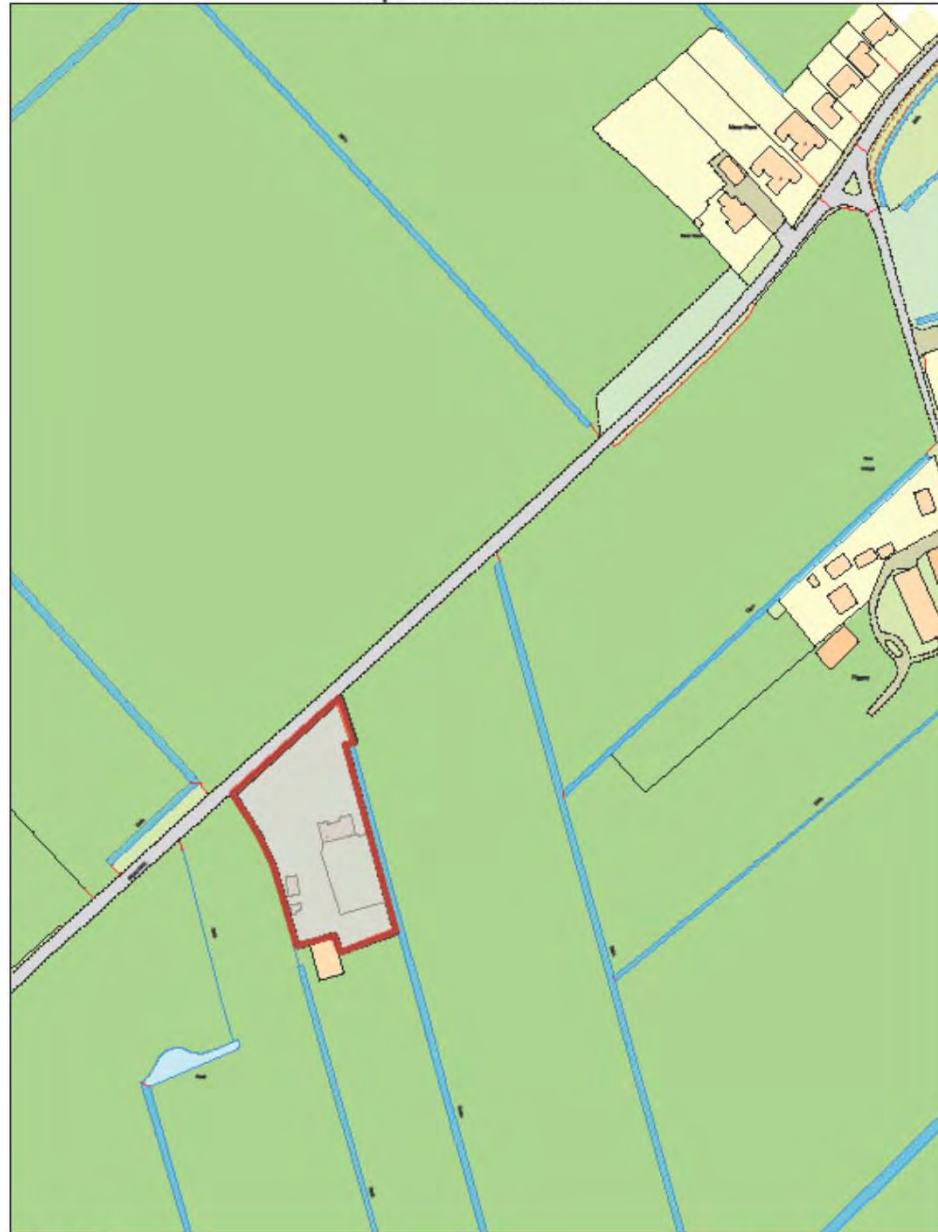
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Kennels



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Date Produced: 25 Oct 2018
Plan Reference Number: TQRQM18298133405397
Scale: 1:500 @ A4

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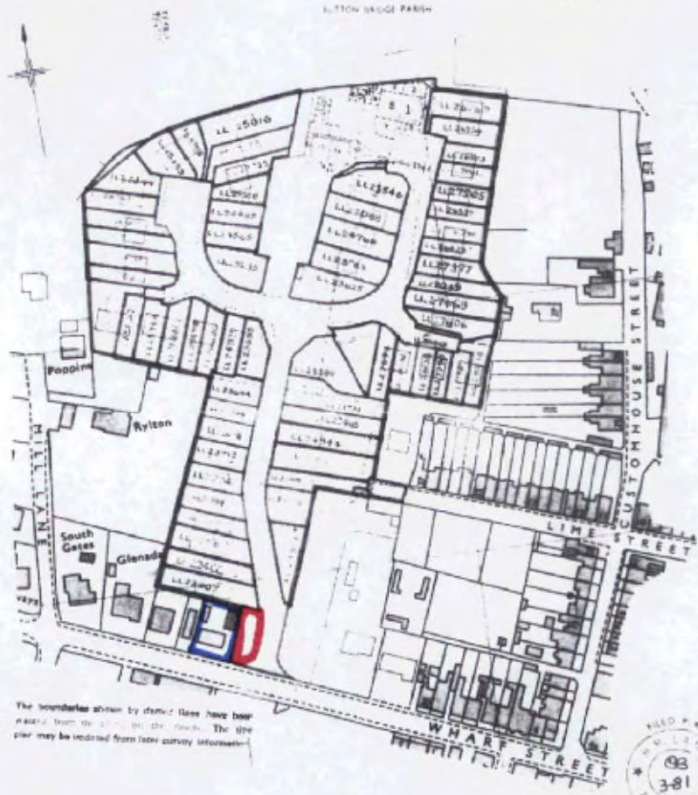
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| | | | LL19875 | |
| ORDNANCE SURVEY | COUNTY | SHEET | NATIONAL GRID | SECTION |
| PLAN REFERENCE | LINCOLNSHIRE | | TF4821 | A |
| Scale: 1/1250 Enlarged from 1/2500 SOUTH HOLLAND (DISTRICT) | | | © Crown copyright 198 | |

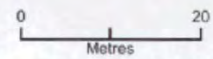
04 Reference: CKLIV 34



The boundaries shown by dotted lines have been made from the 1911 OS plan. The site plan may be updated from later survey information.

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Land corner of Nene Meadows/Wharf street



Plan Produced for: Mr D.B.Stroud
Date Produced: 31 Dec 2018
Plan Number/Project ID: TQRDM18365110232295
Scale: 1:500 @ A4

Picture 1. Fence on Land in question.

Picture 2. Fence in question showing the corner.

Also on opposite side of the road a Brick wall adjacent to the pavement approx. 6ft High.

Picture 3. Fence in question.

Also opposite a wooden fence on a small brick wall. Approx 6ft High.

Picture 4. Fence opposite Land in question.

Picture 5. Fence on Corner of Church Street and Wharf Street, erected approx ~~October~~^{March} 2018. Approx 6ft High Adjacent to the pavement.

Picture 6. Fence in Church Street Adjacent to the Road. Erected Approx November 2018. Approx 6ft High.

Picture 7. The corner of Church Street and Wharf Street showing New build houses built in 2018 with 6ft Fences adjacent to the road.

Picture 8. Brick wall opposite Land in question. Approx 6ft High. (mentioned in picture 2).

①



Fence

6 FOOT IN HEIGHT
98 FOOT IN LENGTH.

TIMBER FENCE WITH
TIMBER POSTS.

②



3



④



5



6



⑦



8









































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S O U T H

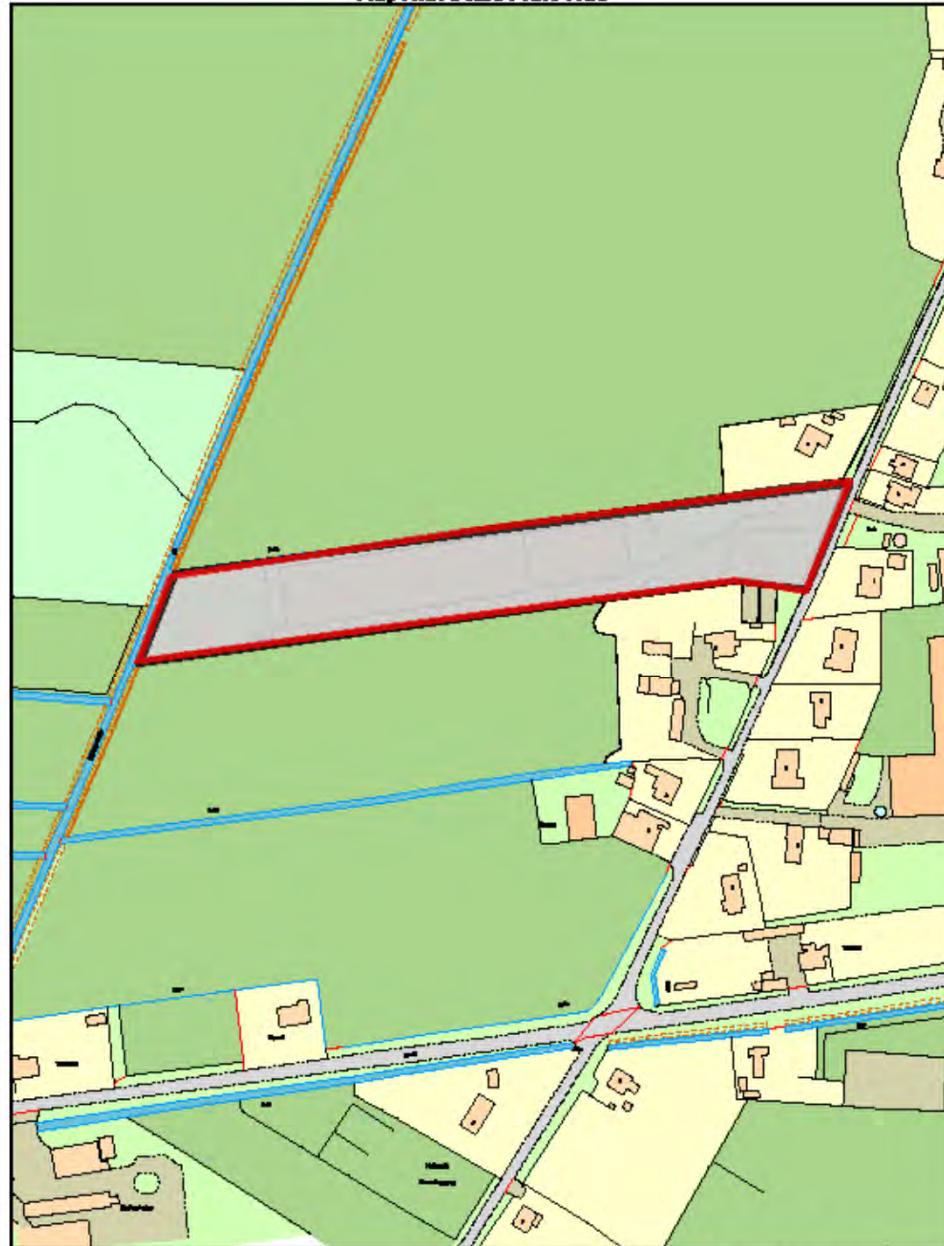
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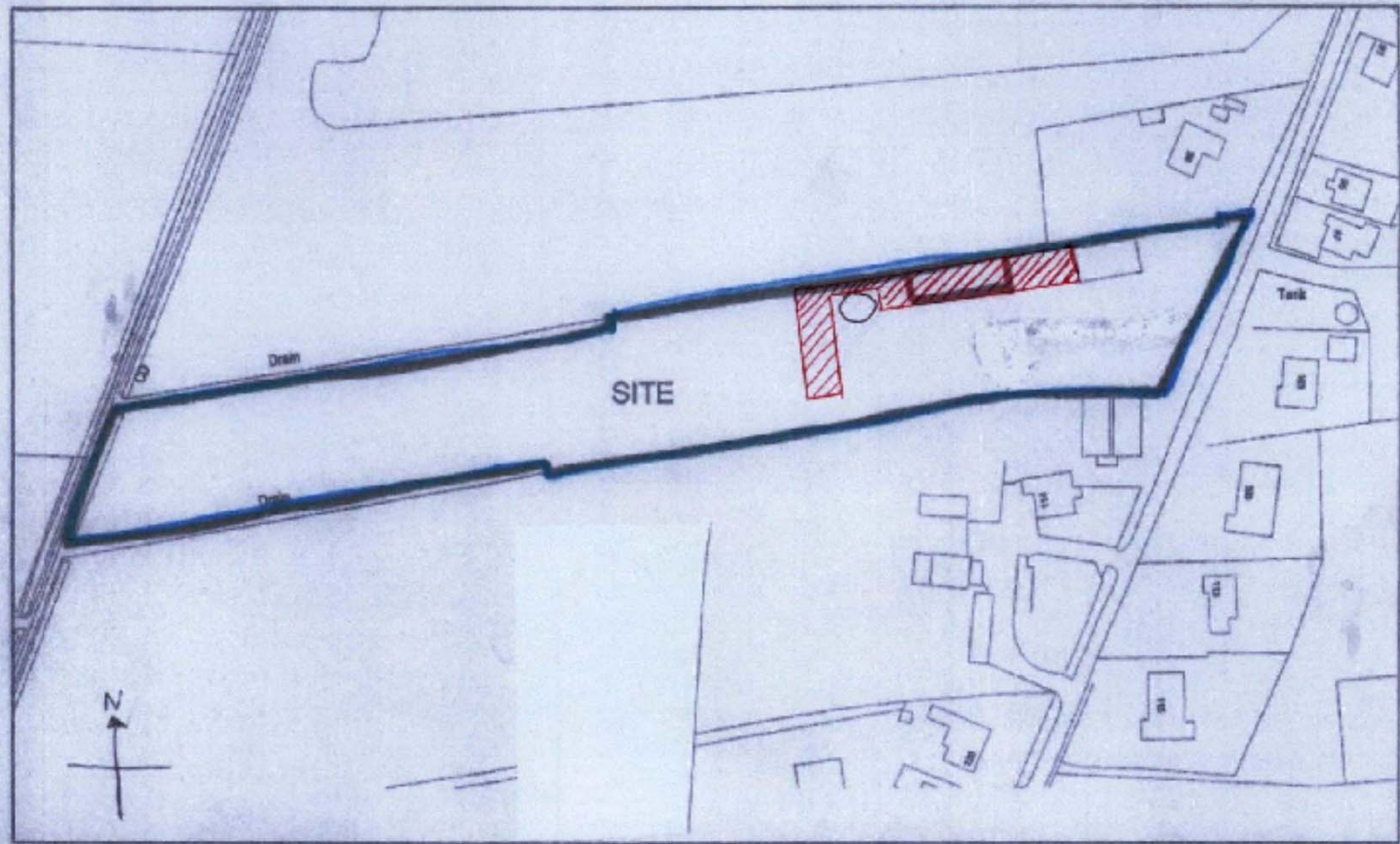


SOUTH

HOLLAND
JUSTICE

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LOCATION DI AN



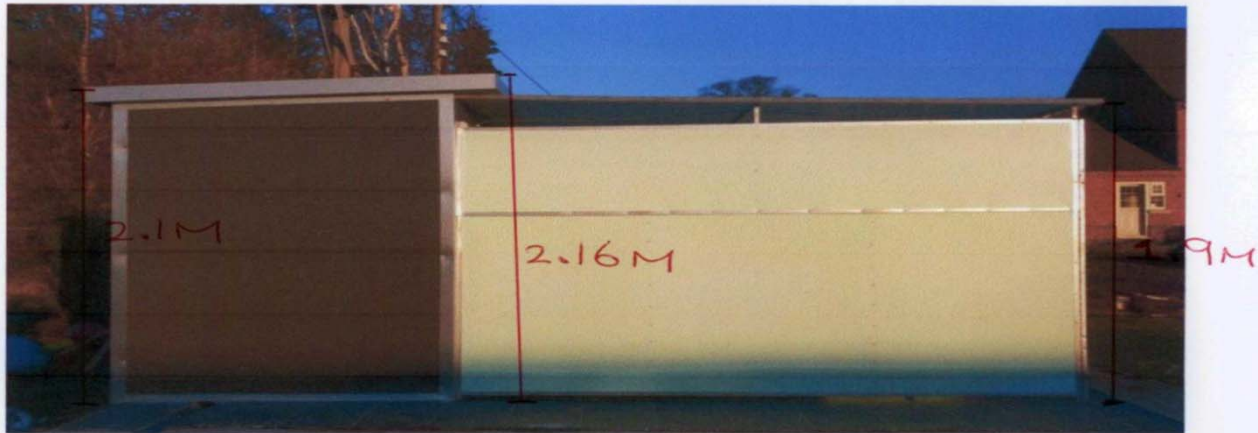
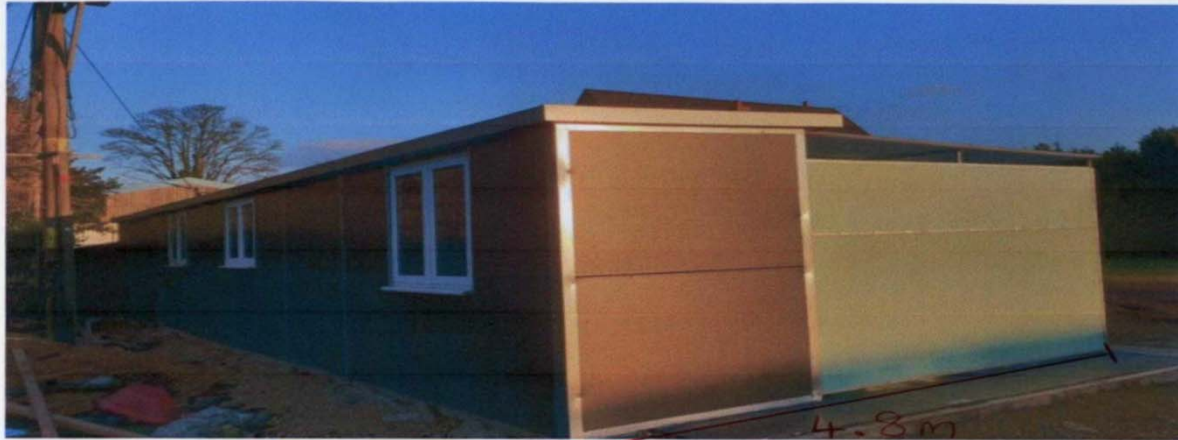
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2.1m

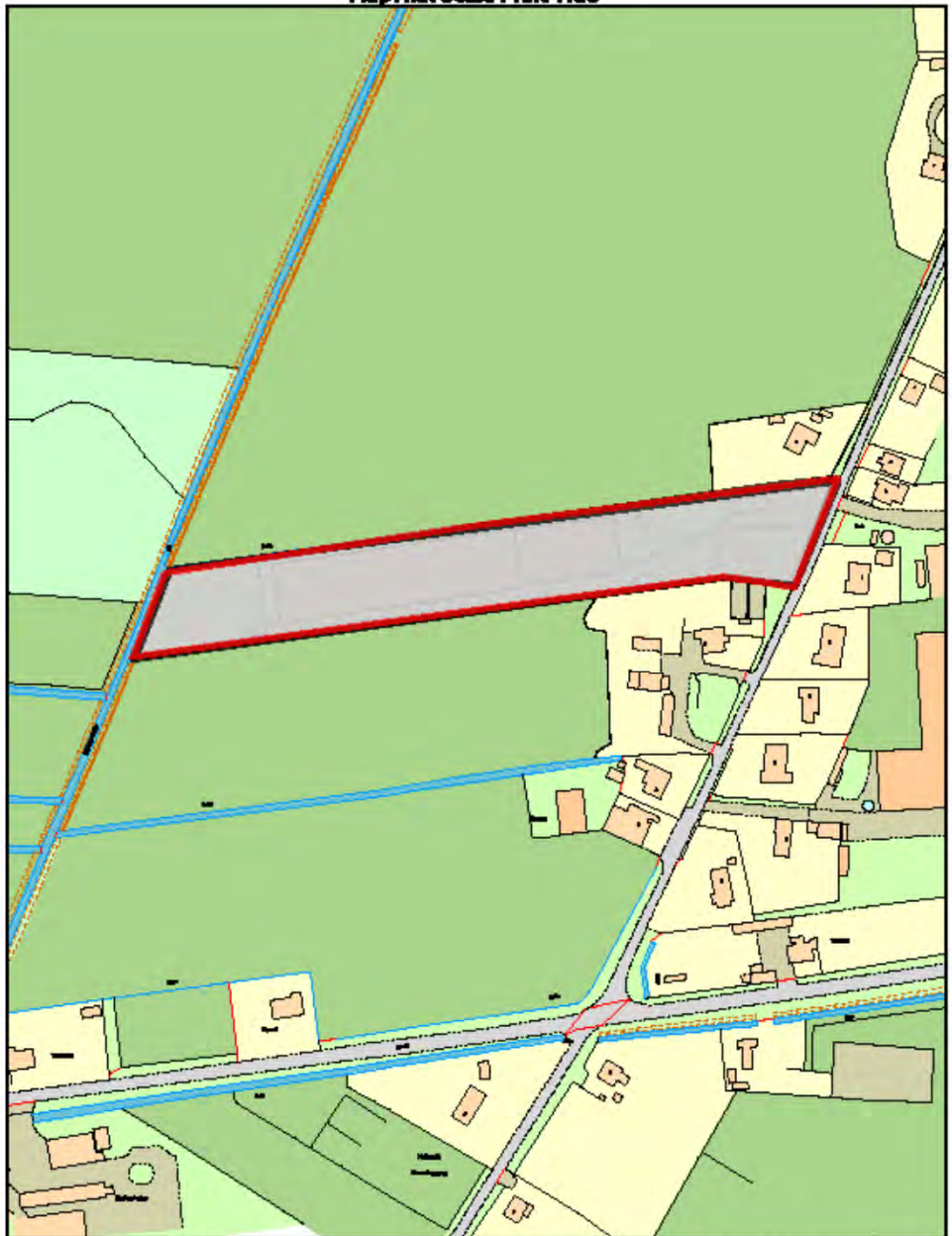
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