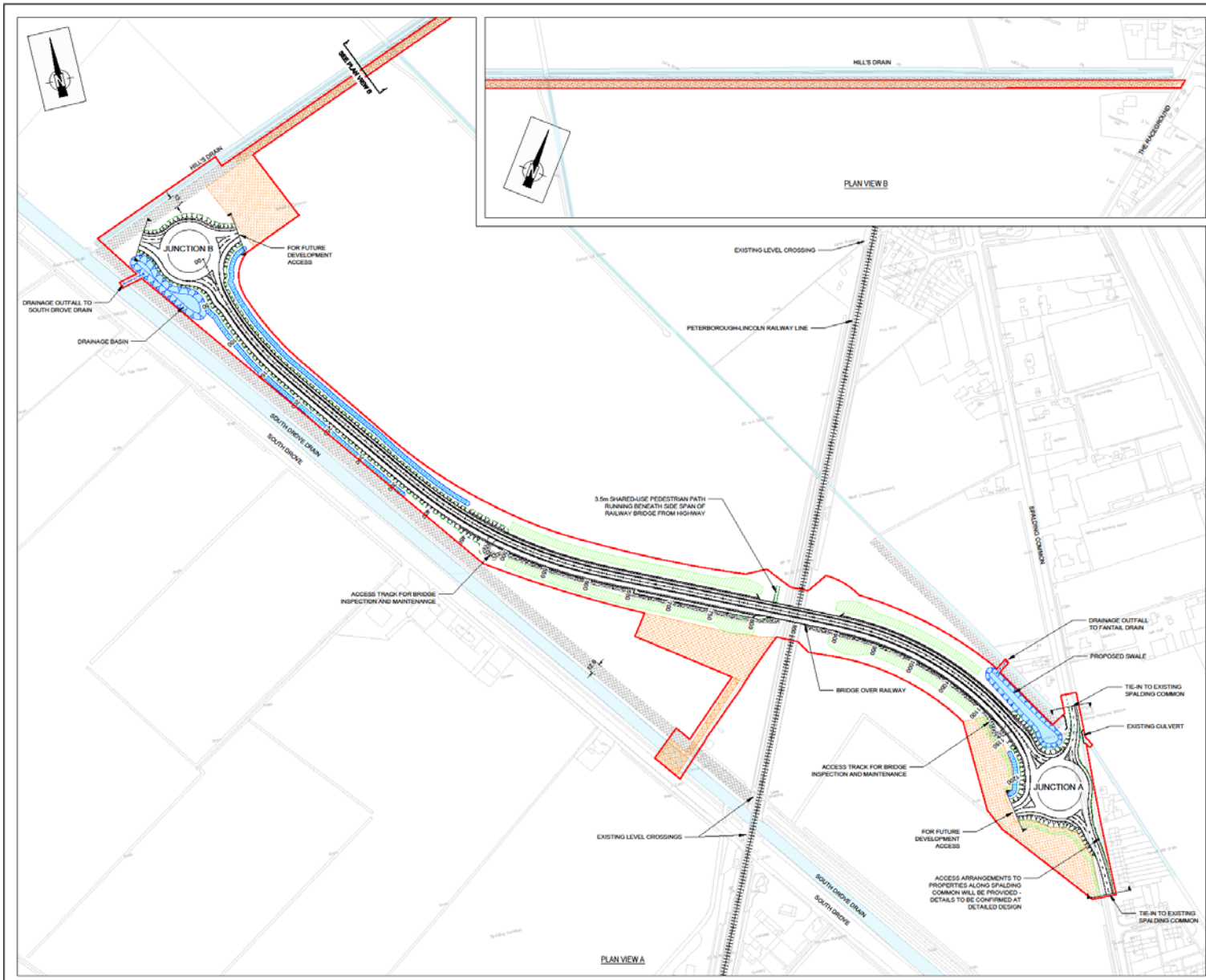


Welcome to the
Planning
Committee



X-Ribs & Blocks used in this Drawing
 A-10 Base
 A-10 Angles
 X-Rib Line Boundary
 A-100

- NOTES
- THE INTERNAL DRAINAGE BOARD (IDB) OWN A STRIP OF LAND EXTENDING FROM THE TOP OF BANK OF THE FOLLOWING WATERCOURSES (WIDTH OF STRIP ALSO STATED):
 - HILL'S DRAIN - 13.5m (TOP OF SOUTH BANK)
 - SOUTH GROVE DRAIN - 12.5m
 - FANTAL DRAIN - 5m
 - 1 IN 3 BARTHWORKS TO TRANSITION TO REINFORCED BARTH RETAINING WALL AT POINT WHERE PROPOSED LEVEL REACHES 2m ABOVE EXISTING GROUND LEVEL.
 - VERTICAL ALIGNMENT OVER RAIL LINE IS BASED ON A CLEARANCE OF 6.5m FROM RAIL TO BRIDGE SOFFIT, PLUS 1.5m DEPTH OF BRIDGE AND AN ALLOWANCE FOR ROAD CONSTRUCTION.
 - ALL ROAD MARKINGS ARE INDICATIVE AND WILL BE CONFIRMED AT DETAIL DESIGN.
 - CONTRACTORS WORKING AREA SHOWN FOR INDICATIVE PURPOSES ONLY.

- KEY
- RED LINE BOUNDARY
 - EXISTING WATERCOURSE
 - IDB LAND OWNERSHIP
 - EXISTING RAILWAY LINE
 - 3.5m PERMANENT ACCESS TRACK FOR BRIDGE INSPECTION AND MAINTENANCE
 - PROPOSED DRAINAGE DITCH - REFER TO DRAINAGE ENGINEERS DRAWINGS
 - LANDSCAPE MITIGATION - REFER TO LANDSCAPE ARCHITECTS DRAWINGS
 - CONTRACTORS WORKING AREA
 - SITE ACCESS TRACK OPTION

FOR PLANNING
 DRAFT FOR CONSTRUCTION

FOR THIRD PARTY USE THE DRAWING SHALL BE DENIED CURRENT ONLY AT THE GATE OF APPROVAL PLEASE CHECK FOR AMENDMENTS BEFORE USE

FOR PLANNING APPROVAL	IM	LM	JA	DM
P04 For Statutory Notice and Comment				
P02 Tax Submission				
P01 Design Freeze Issue				

Amendment Details

No	Description	Date
1	Original Issue	22/02/19

Scale: 1:2000 (Do not scale from this drawing)
 Country: N/A



Scheme Reference	Originator	Volume	Location
70047264	- WSP	- HGN	- S1
	- DR	- CH	- 0001

Purpose: FOR PLANNING APPROVAL
 P04 S4
 Alternative Scheme Code: Road No.

Parish: SPALDING WESTERN RELIEF ROAD SECTION 1
 Site Ref:

SECTION 1
 SITE LAYOUT

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Section 2

Section 1

Mon005

Little
Lambert

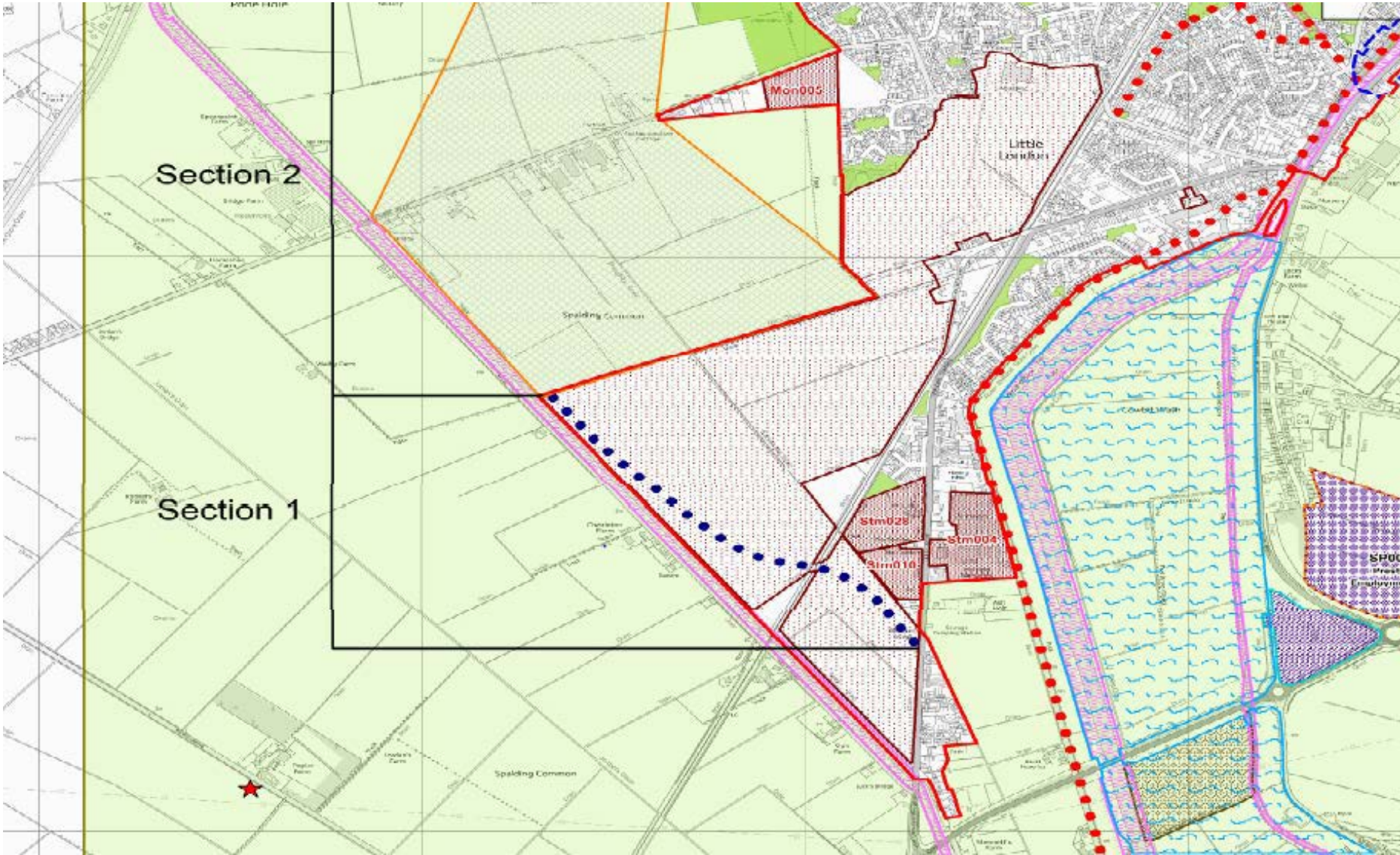
Spalding Common

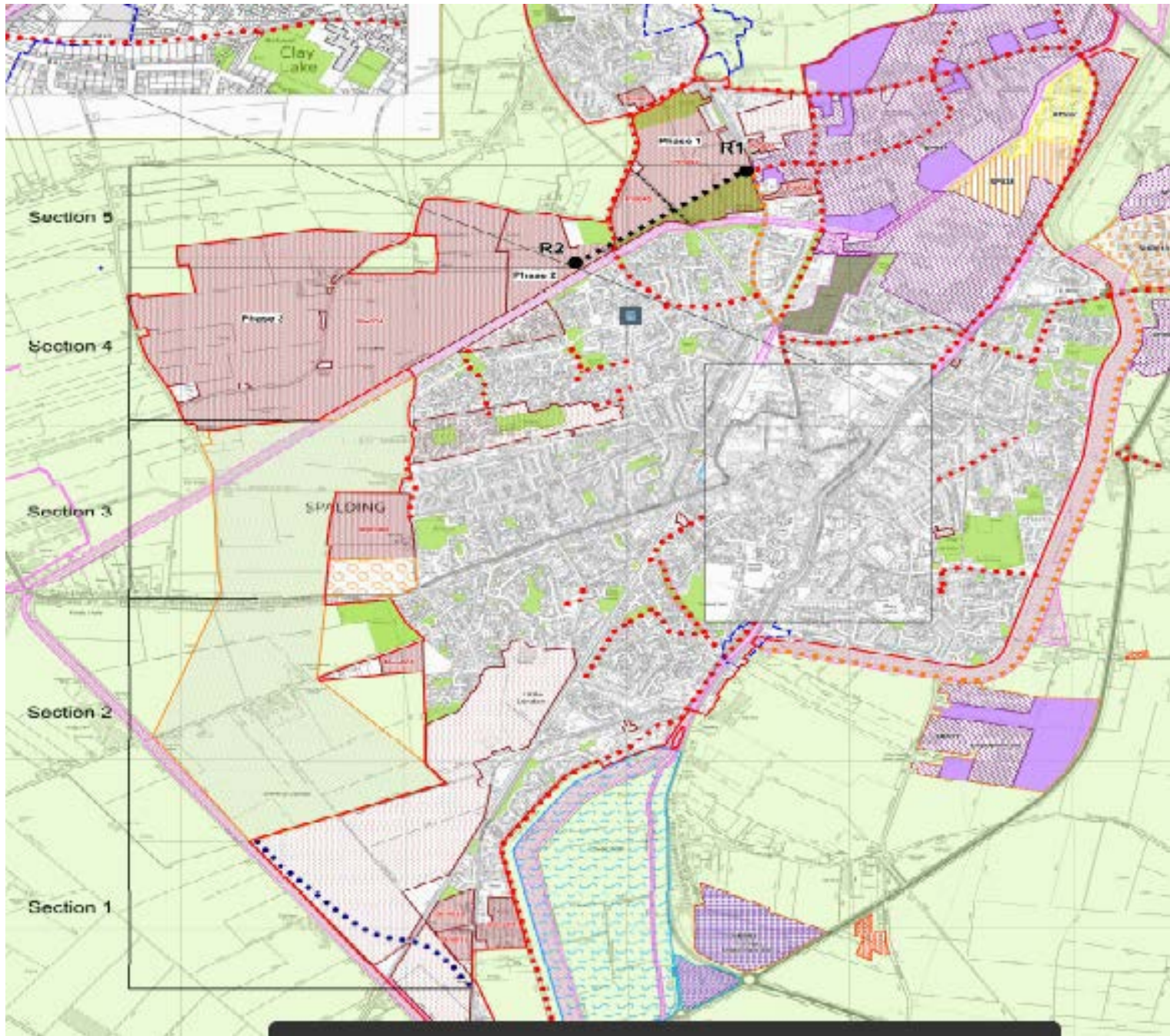
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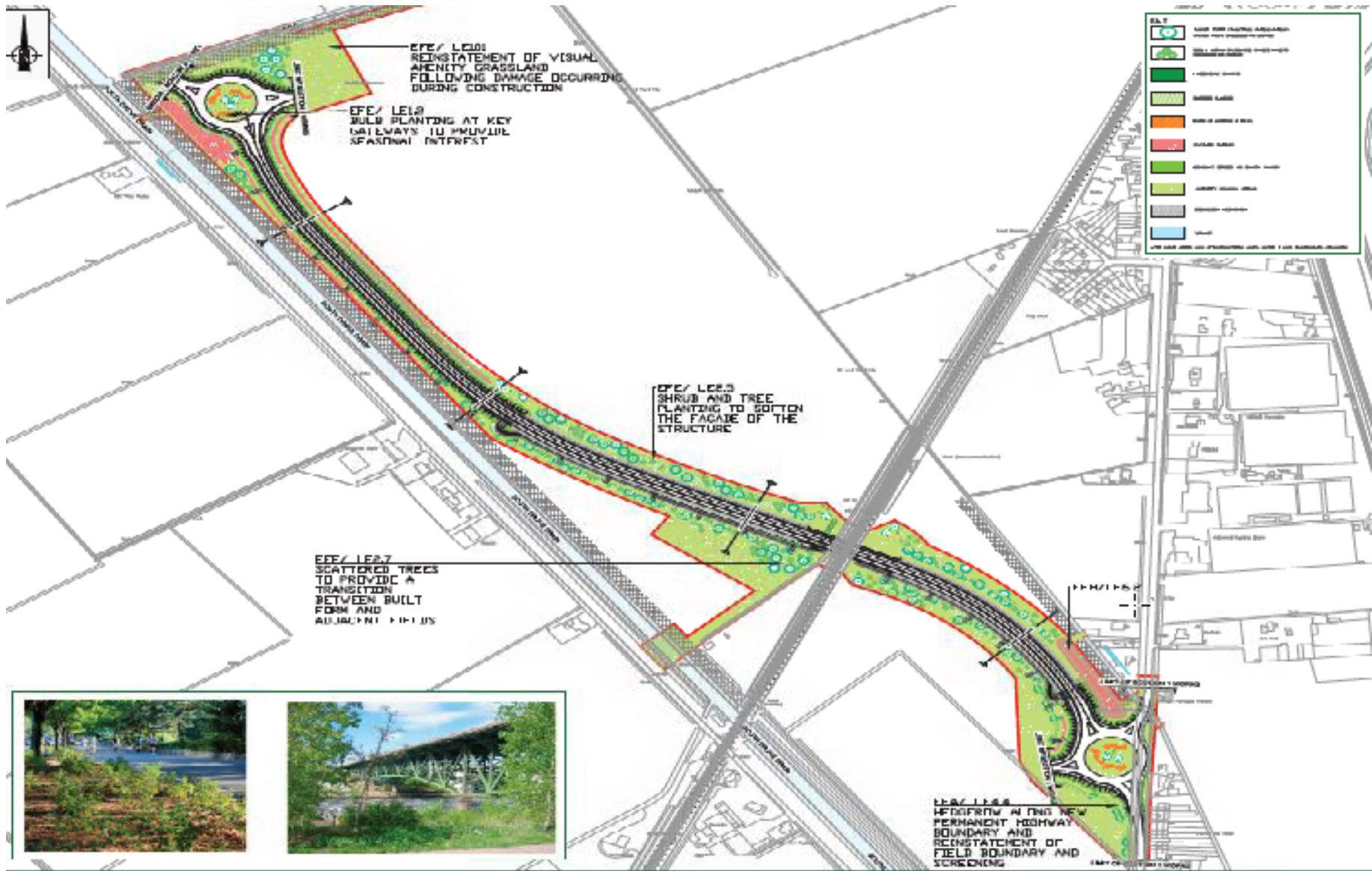
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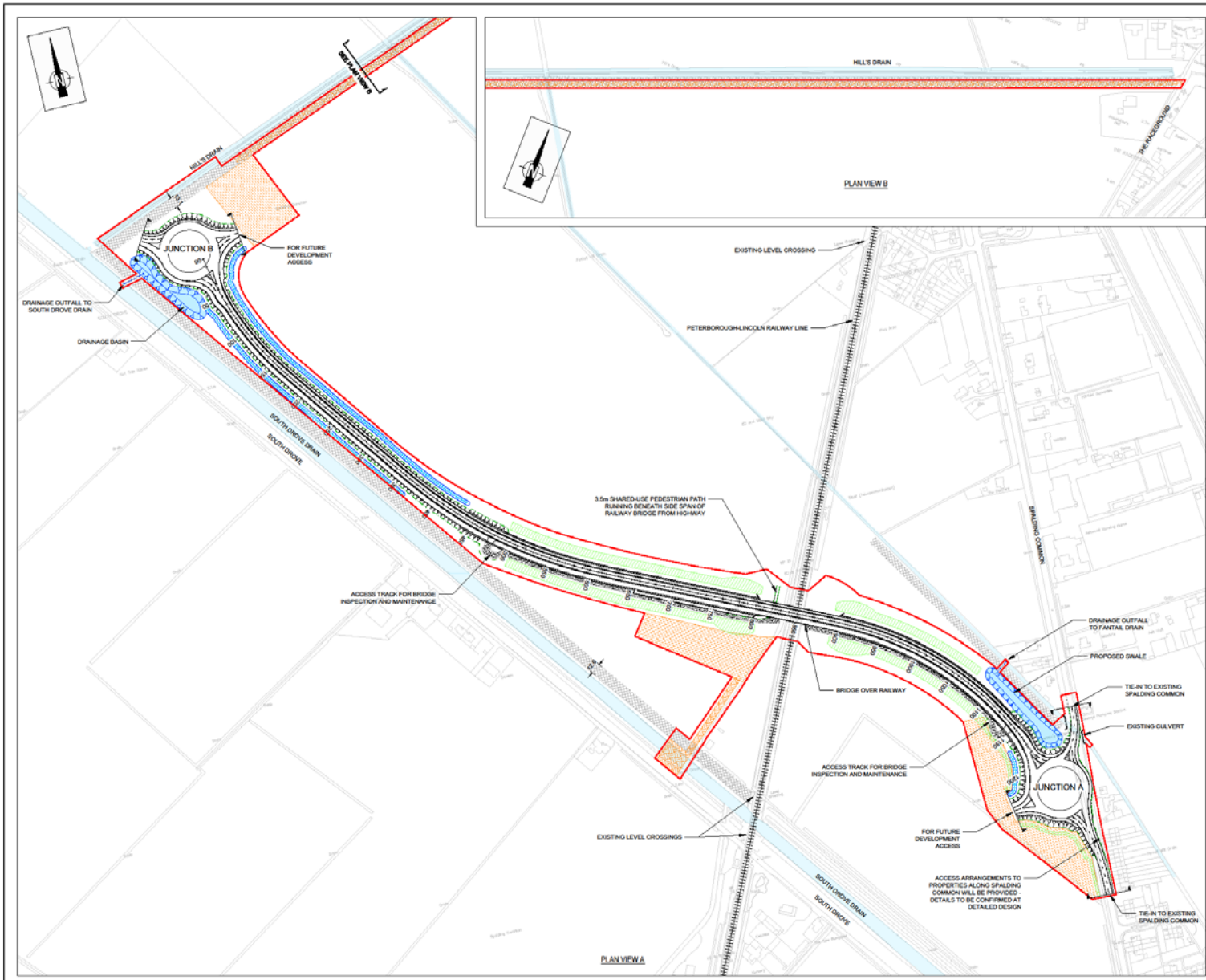
Stm010

SPOT
Elevation









X-Ribs & Blocks used in this Drawing
 A-10 Base
 A-10 Angles
 X-Rib Line Boundary
 A-100

- NOTES
- THE INTERNAL DRAINAGE BOARD (IDB) OWN A STRIP OF LAND EXTENDING FROM THE TOP OF BANK OF THE FOLLOWING WATERCOURSES (WIDTH OF STRIP ALSO STATED):
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 - CONTRACTORS WORKING AREA
 - SITE ACCESS TRACK OPTION

FOR PLANNING
 DRAFT FOR CONSTRUCTION

FOR THIS PROJECT THE DRAWING SHALL BE DENIED CURRENT ONLY AT THE GATE OF APPROVAL. PLEASE CHECK FOR AMENDMENTS BEFORE USE.

FOR PLANNING APPROVAL	IM	LM	JA	DM
P04 For Statutory Notice and Comment	IM	LM	JA	DM
P02 Tax Submission	IM	LM	JA	DM
P01 Design Freeze Issue	IM	LM	JA	DM

Amendment Details

No.	Description	Date
1	Original Issue	22/02/19

Scale: 1:2000 (Do not scale from this drawing)
 Country: N/A



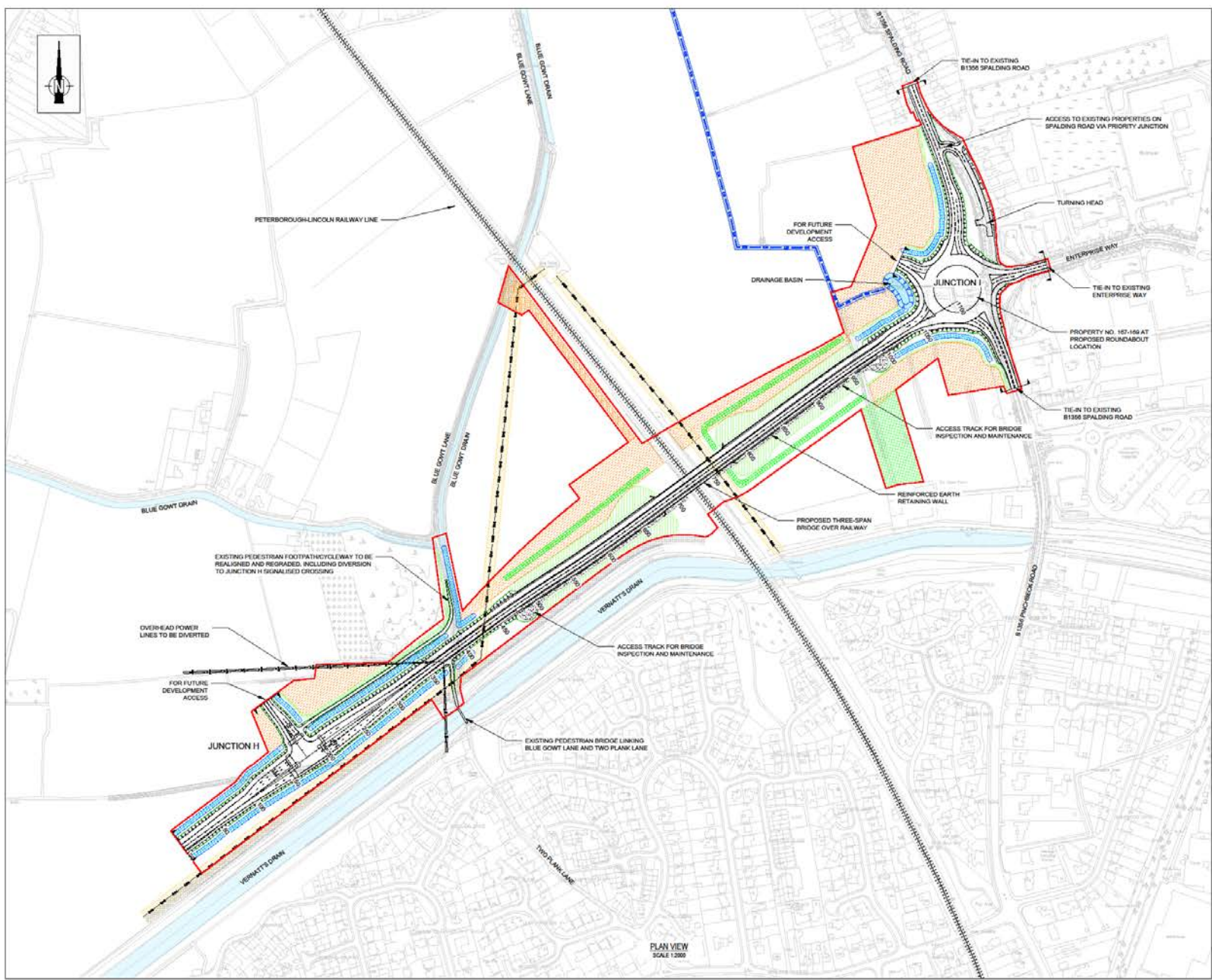
Scheme Reference	Originator	Volume	Location
70047264	- WSP	- HGN	- S1
	- DR	- CH	- 0001

Purpose: FOR PLANNING APPROVAL P04 S4
 Alternative Scheme Code: Road No.

Parish: SPALDING WESTERN RELIEF ROAD SECTION 1
 Site Ref:

SECTION 1
 SITE LAYOUT

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PLAN VIEW
SCALE 1:2000

X-Refs & Blocks used in this Drawing
 X_01 on Area
 X_02 on Area
 X_Line Line Boundary
 X_TOTO

- NOTES
1. TO FACILITATE MAINTENANCE, THE INTERNAL DRAINAGE BOARD (IDB) REQUIRE A 6m EASEMENT WIDTH FROM THE LANDWARD TOE OF EARTHWORKS NORTH OF VERANT'S DRAIN.
 2. THE GAS MAIN LOCATIONS HAVE BEEN DETERMINED BY GPR SURVEY CARRIED OUT BY WSP. CADENT GAS REQUIRE A 6m EASEMENT EITHER SIDE OF GAS MAINS.
 3. IN 3 EASTWORKS TO TRANSITION TO HEIN'DRICED EARTH RETAINING WALL AT POINT WHERE PROPOSED LEVEL REACHED 2m ABOVE EXISTING GROUND LEVEL.
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 5. ALL ROAD MARKINGS ARE INDICATIVE AND WILL BE CONFIRMED AT DETAILED DESIGN.
 6. CONTRACTOR'S WORKING AREA SHOWN FOR INDICATIVE PURPOSES ONLY.

- KEY
- RED LINE BOUNDARY
 - EXISTING WATERCOURSE
 - IDB CASING
 - EXISTING GAS MAIN WITH 12m EASEMENT
 - EXISTING OVERHEAD LINES
 - EXISTING RAILWAY LINE
 - PROPOSED DRAINAGE DITCH - REFER TO DRAINAGE ENGINEER'S DRAWINGS.
 - PROPOSED HABITAT CREATION DITCH
 - PERMANENT MAINTENANCE ACCESS TRACK
 - CONTRACTOR'S WORKING AREA
 - SITE ACCESS TRACK OPTION
 - LANDSCAPE MITIGATION - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS
 - AREA FOR ECOLOGY HABITAT CREATION
 - RIPIARIAN WATERCOURSE FOR DRAINAGE OUTFALL

FOR PLANNING
 2020/21 USE OF CONSTRUCTION

FOR THIRD PARTY USE THIS DRAWING SHALL BE DEEMED CURRENT ONLY AT THE DATE OF APPROVAL. PLEASE CHECK FOR AMENDMENTS BEFORE USE

NO	DESCRIPTION	DATE	BY	FOR
PO1	FOR PLANNING APPROVAL	22/02/19	AJ	DM
PO4	FOR Internal Review and Comment	22/02/19	DM	DM
PO3	TAX Submission	22/02/19	DM	DM
PO2	Design Freeze Issue	22/02/19	DM	DM
PO1	Internal Issue	22/02/19	DM	DM

Amendment Details:

1st Approval by:	AJ	Date:	22/02/19
Drawn/Designed by:	DM	Checked By:	DM
		Date:	22/02/19

Scale: 1:2000
 (Do not scale from this drawing)

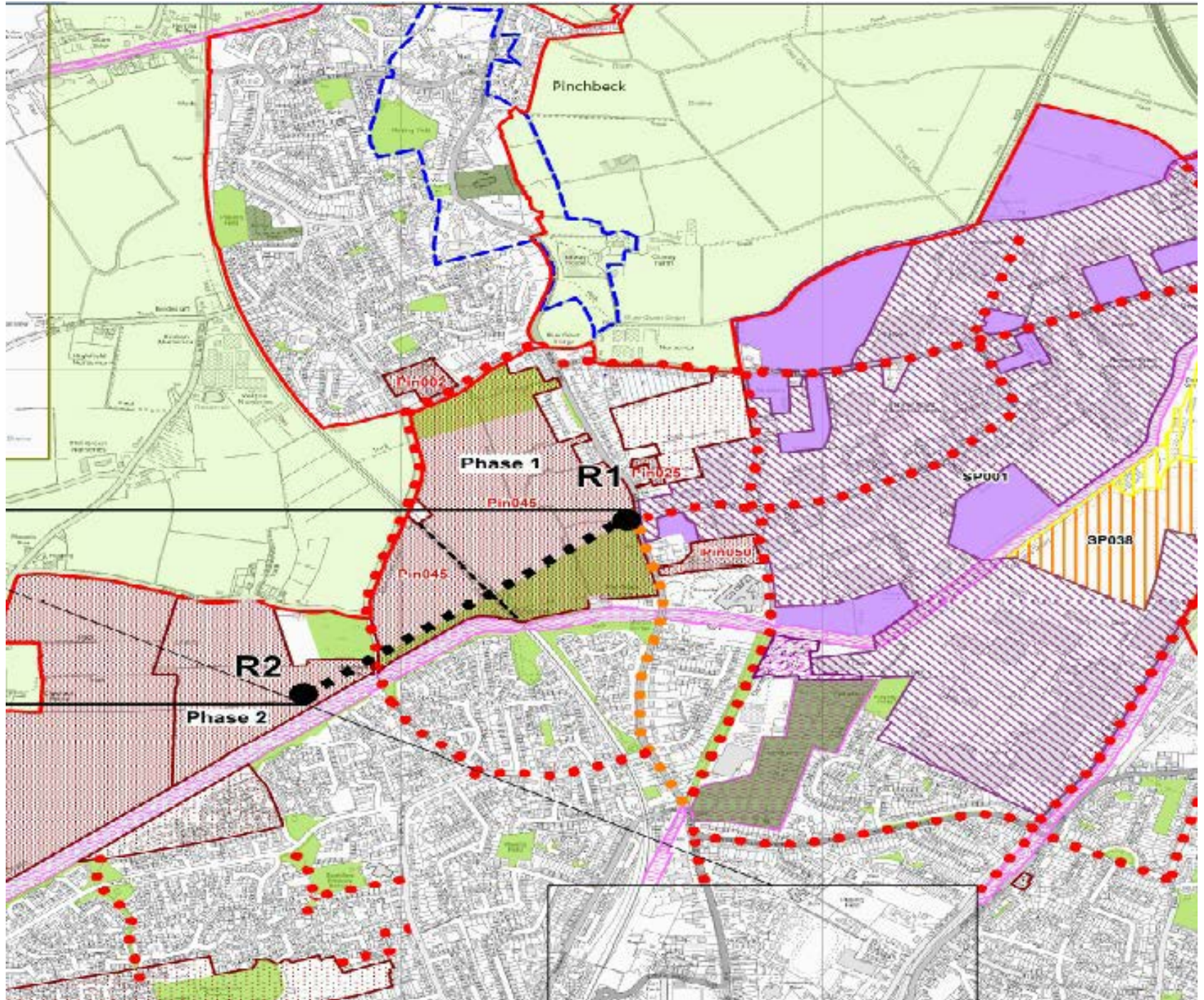


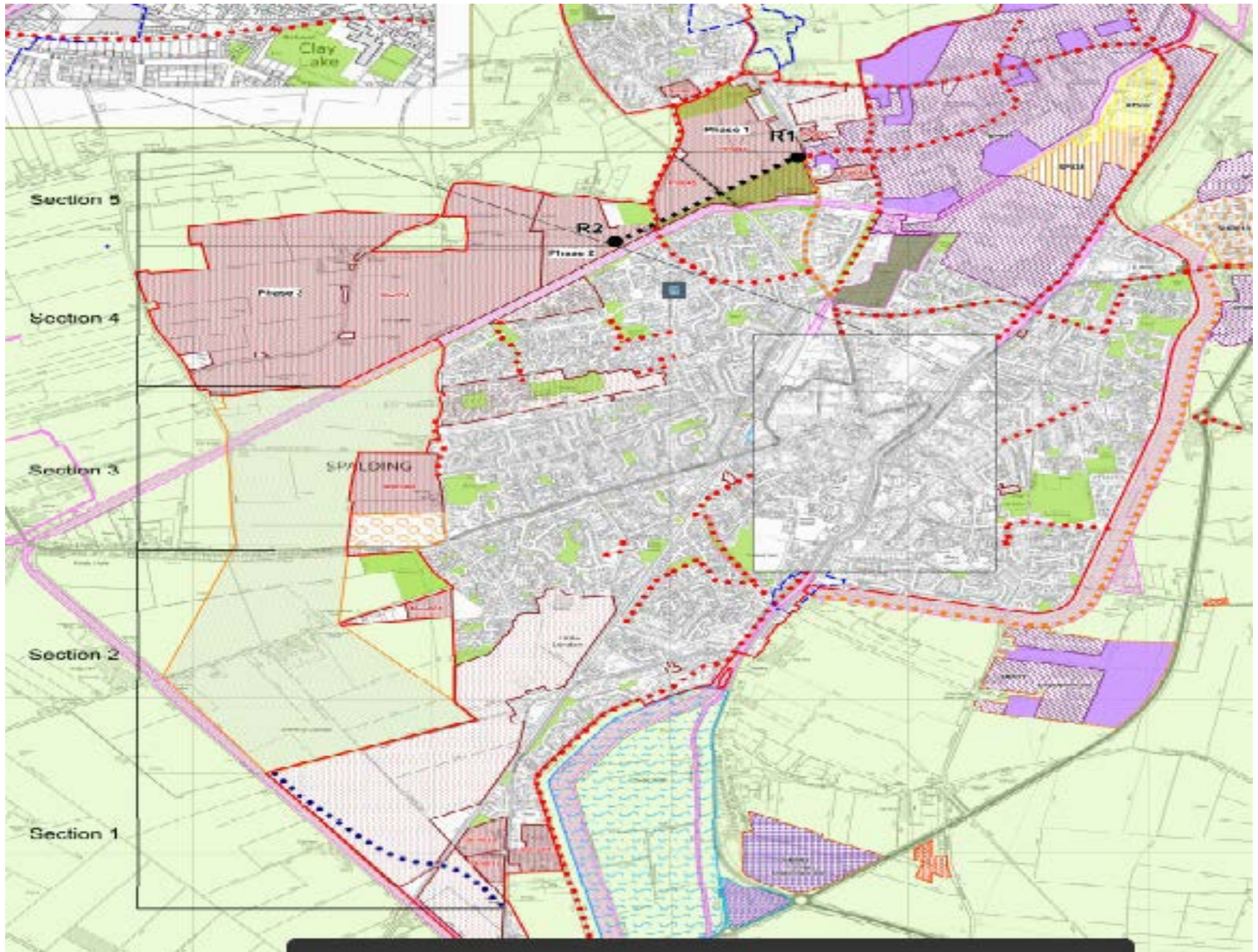
Scheme Reference:	70047277	Originator:	WSP - HGN - S5	Volume:	DR - CH - 0001	Location:	
Type:		Revision:		Number:			

Purpose: FOR PLANNING APPROVAL
 Alternative Scheme Code: PO5
 Road No: S4
 Parish: Spalding

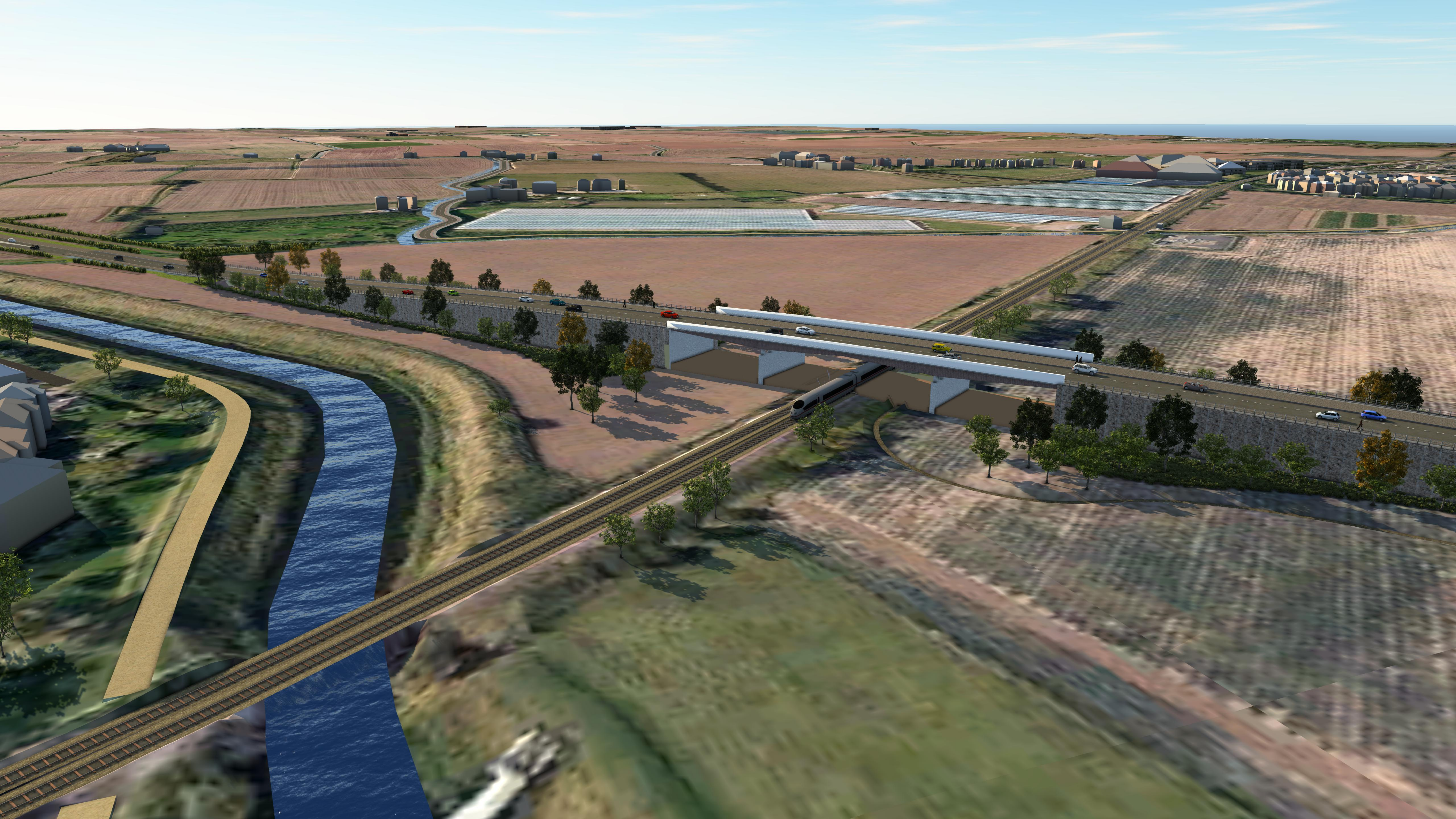
Section No: []
 ECH No: []
 Site No: []
 Description: SPALDING WESTERN RELIEF ROAD
 SECTION 5
 SITE LAYOUT

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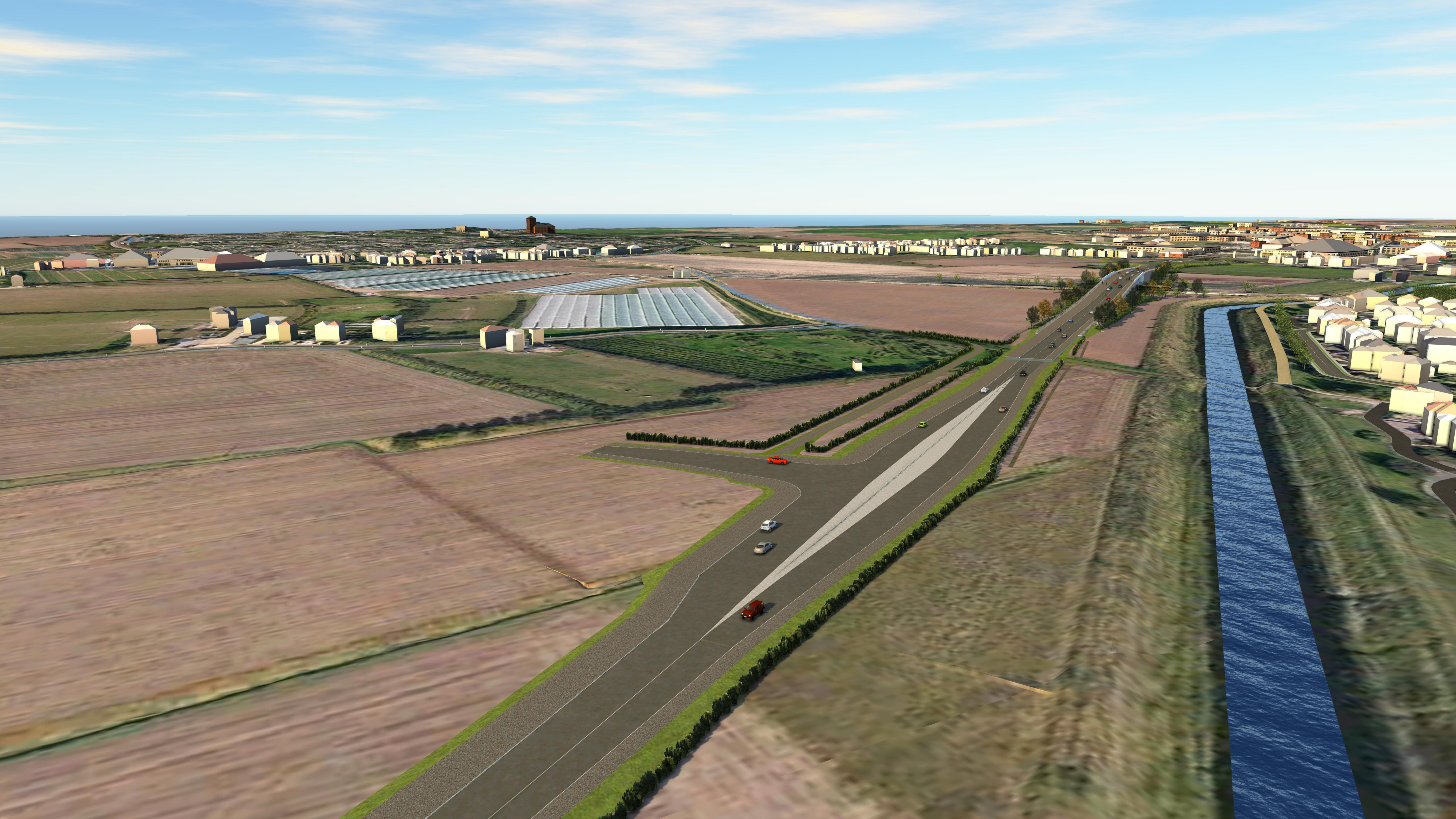








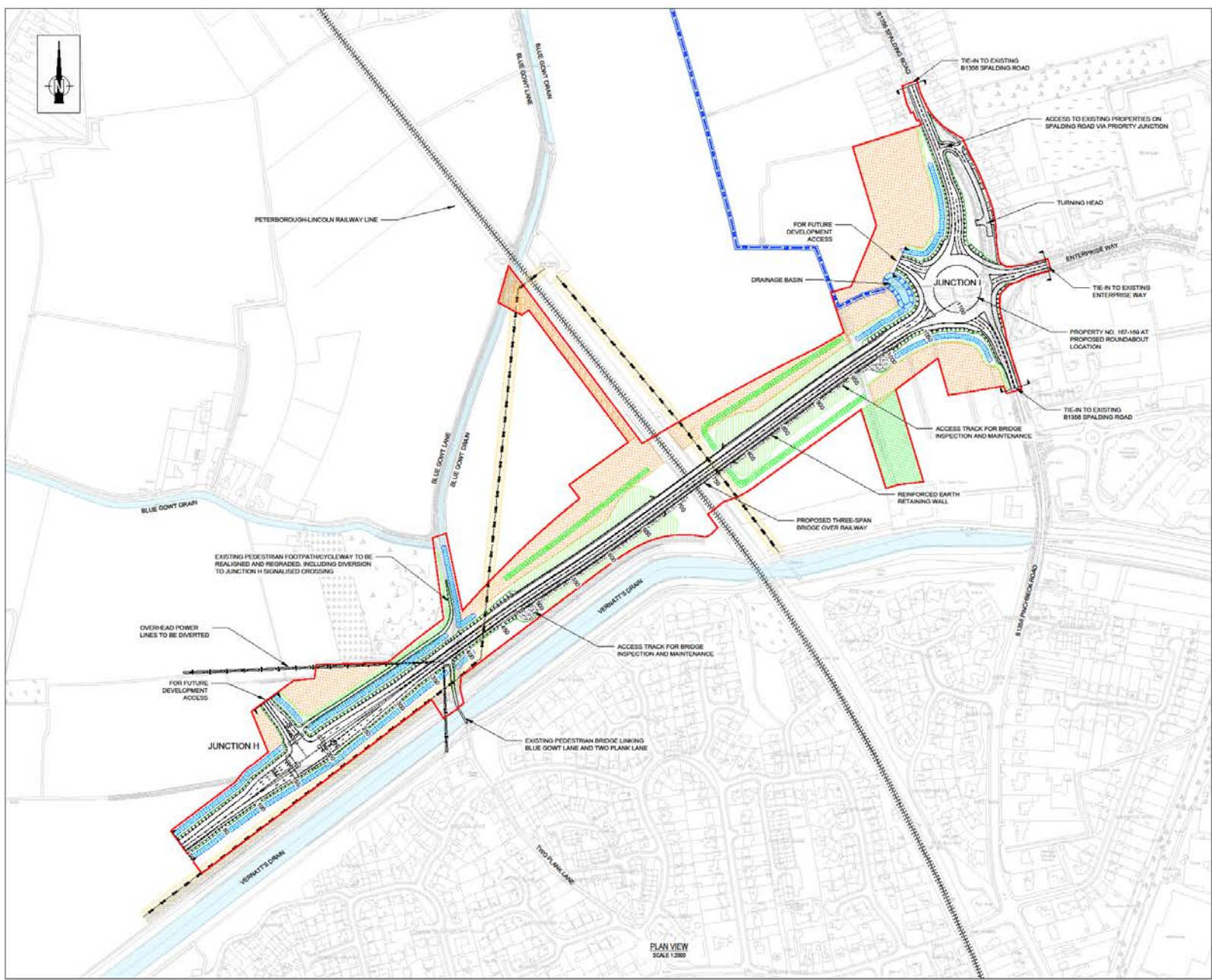












X-Refs & Blocks used in this Drawing
 X_01 on Area
 X_02 on Area
 X_Line Line Boundary
 X_TOTO

- NOTES**
1. TO FACILITATE MAINTENANCE, THE INTERNAL DRAINAGE BOARD (IDB) REQUIRE A 6m EASEMENT WIDTH FROM THE LANDWARD TOE OF EARTHWORKS NORTH OF VERANT'S DRAIN.
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 - IDB CASING
 - EXISTING GAS MAIN WITH 12m EASEMENT
 - EXISTING OVERHEAD LINES
 - EXISTING RAILWAY LINE
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 - PROPOSED HABITAT CREATION DITCH
 - PERMANENT MAINTENANCE ACCESS TRACK
 - CONTRACTOR'S WORKING AREA
 - SITE ACCESS TRACK OPTION
 - LANDSCAPE MITIGATION - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS
 - AREA FOR ECOLOGY HABITAT CREATION
 - RIPIARIAN WATERCOURSE FOR DRAINAGE OUTFALL

FOR PLANNING
 2020/21/02/19/0001

FOR THIRD PARTY USE THIS DRAWING SHALL BE DEEMED CURRENT ONLY AT THE DATE OF APPROVAL. PLEASE CHECK FOR AMENDMENTS BEFORE USE

NO	DESCRIPTION	DATE	BY	FOR
PO1	FOR PLANNING APPROVAL	22/02/19	AJ	DM
PO4	FOR Internal Review and Comment	22/02/19	DM	DM
PO3	TAX Submission	22/02/19	DM	DM
PO2	Design Freeze Issue	22/02/19	DM	DM
PO1	Internal Issue	22/02/19	DM	DM

Amendment Details:
 Drawing 1st Approval
 1st Approval by: AJ Date: 22/02/19
 Drawn/Designed by: DM Checked by: DM Date: 22/02/19

Scale: 1:2000 (Do not scale from this drawing)
 Scale: N/A



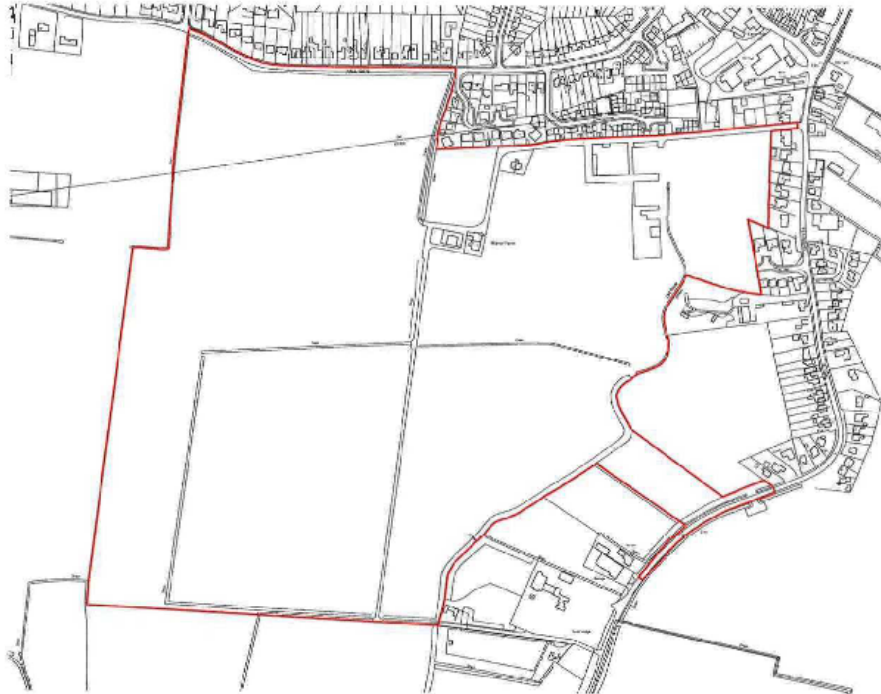
Scheme Reference	Originator	Volume	Location
70047277	WSP - HGN - S5		
	DR - CH - 0001		

Purpose: FOR PLANNING APPROVAL P05 S4
 Alternative Scheme Code: Road No: Parish: Structure No: ECN No: Site No:

Description: SPALDING WESTERN RELIEF ROAD SECTION 5 SITE LAYOUT

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Revision	Date

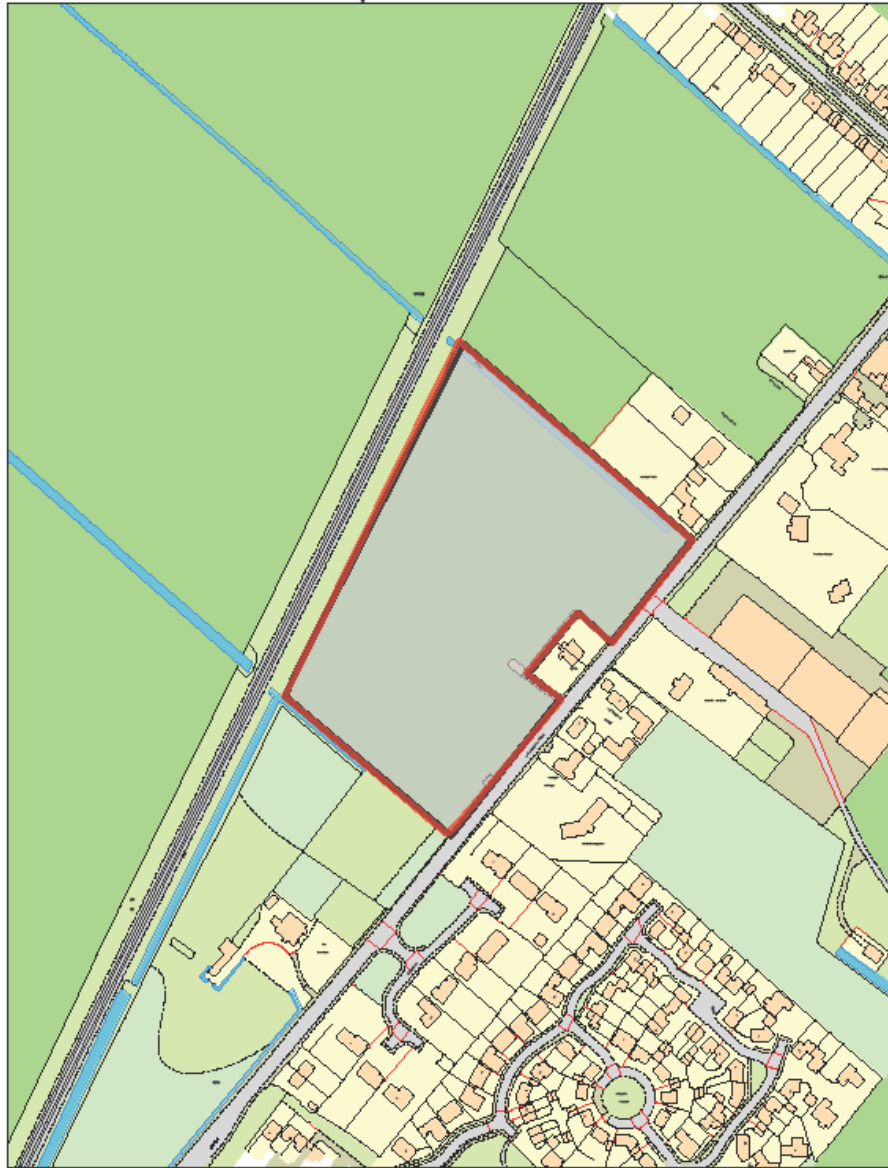


Architects - Project Managers - Quantity Surveyors
 120 New Walk
 Leicester, LE1 7JA
 Tel: 0116 204 5820, Fax: 0116 204 5891
 email: design@rqp.co.uk, www.rqp.co.uk

Project:	Land South of Hel Gate, Hosbrough, Lincolnshire
Client:	Axley King Developments
Street No:	Location Plan 55/95
Ref:	7884 018
Scale:	1:500 @ A3
Date:	May 2014
Drawn:	PK
Checked:	



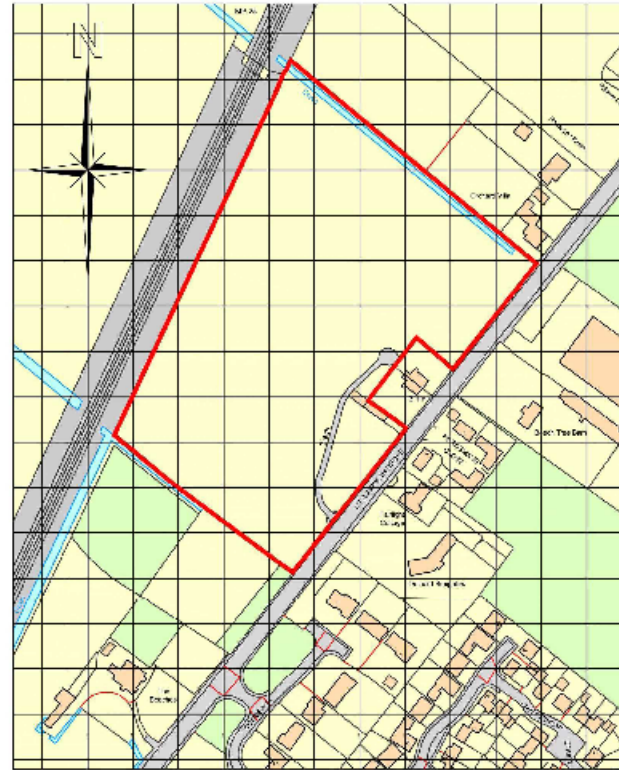
All dimensions to be checked on site. This drawing is the property of the architect, and not to be reproduced without their permission. © Crown Copyright. All rights reserved. Produced with permission of 1000 Digital City/Mapbox. 2014 Ltd. 7884 018



Scale Bar



Do not scale, use figured dimensions only. All discrepancies to be notified to Jelson Homes Limited.
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PROJECT TITLE: LITTLEWORTH DRIVE, DEEPING SAINT NICHOLAS LINCOLNSHIRE	
DRAWING NO.: LOCATION PLAN	
DATE: 12/05/2019	
DESIGNED BY: FL	CHECKED BY: -
DESIGNED FOR: FOR APPROVAL	DATE CHECKED: 18/11/2019
DRAWING NAME: DEE_PHT_PL_00b	DATE APPROVED: -
DESIGN DEPARTMENT	
	
<small>JELSON LTD 201 LITTLEWORTH DRIVE L10 2JL LEICESTER UK</small>	

PROPOSED RESIDENTIAL DEVELOPMENT @ LITTLEWORTH DRIVE, DEEPING

Scale 1:500 @ A1
DEE_PH1_PL_001 - Rev A

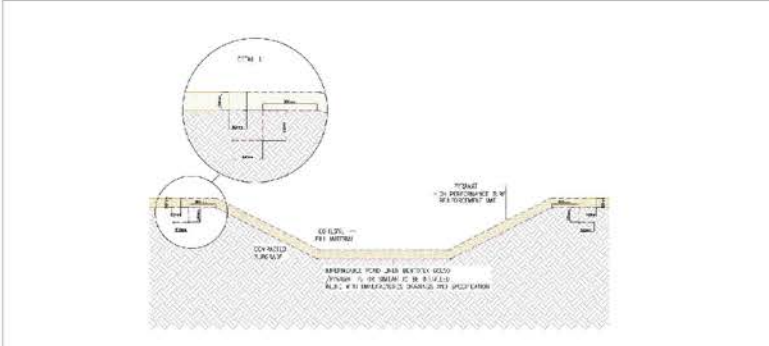
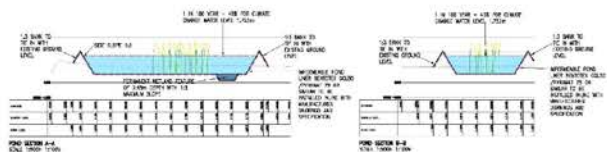


schedule of accommodation

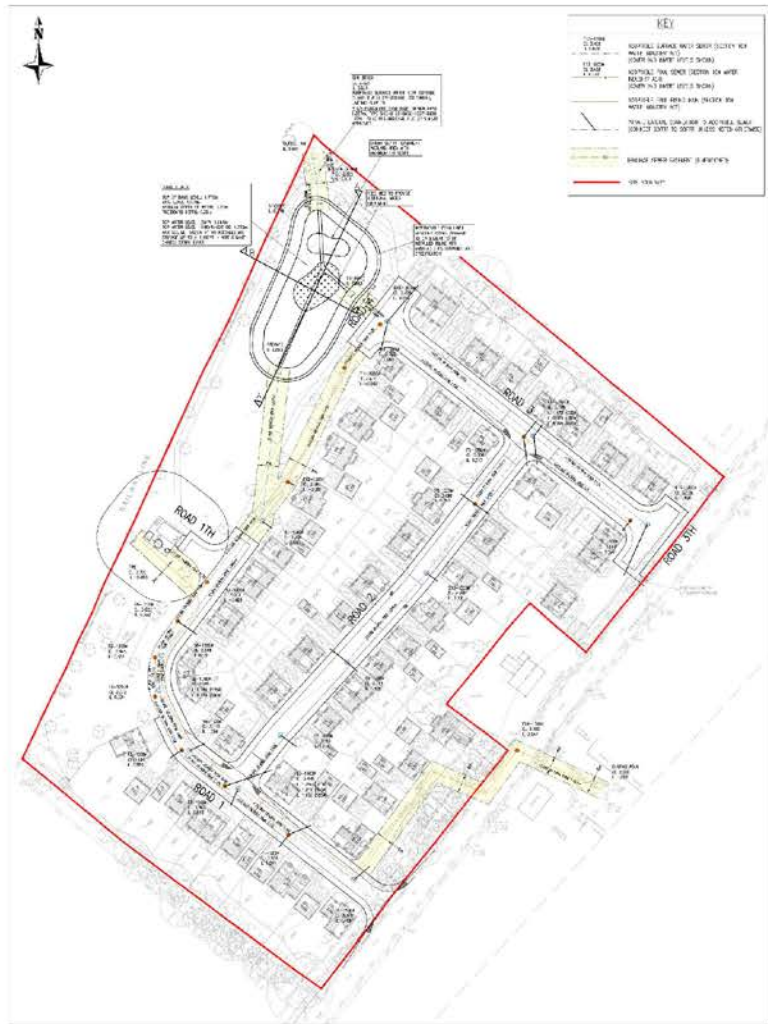
private market	type	no. of beds	no. of units
	1 Bed		
	S201C	2 Bed Semi Detached	10
	S306C	3 Bed Semi Detached	6
	S310C	3 Bed Semi Detached	6
	D011C	3 Bed Detached	4
	D013C	3 Bed Detached	1
	D020C	3 Bed Detached	8
	D031C	3 Bed Detached	2
	4 Bed		
	D021C	4 Bed Detached	2
	D029V	4 Bed Detached	1
	D041C	4 Bed Detached	4
	D021E	4 Bed Detached	4
	D026C	4 Bed Detached	1
sub-total			49no. units
affordable			
(20% of no. development)	1 Bed		
	S129C	1 Bed Semi Detached	4
	2 Bed		
	S249C	2 Bed Terrace	7
	T207C	2 Bed Terrace	3
	3 Bed		
	S334C	3 Bed Semi Detached	1
	S335C	3 Bed Semi Detached	2
	S337C	3 Bed Semi Detached	2
sub-total			17no. units
Total			66no. units

- Private Plots
- Affordable Rent
- Shared Ownership





STANDARD METAL OF POLY LINER
SPE. 113



SIT. PLAN
S.C. 1.150

- NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. THE DRAINAGE SYSTEM IS TO BE CONSTRUCTED AS SHOWN ON THIS PLAN AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH DEPARTMENT.
 3. THE DRAINAGE CANALS SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH DEPARTMENT.
 4. THE DRAINAGE CANALS SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH DEPARTMENT.
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 8. THE DRAINAGE CANALS SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH DEPARTMENT.
 9. THE DRAINAGE CANALS SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH DEPARTMENT.
 10. THE DRAINAGE CANALS SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH DEPARTMENT.

PROJECT NO.	DATE	BY	CHECKED
DEPARTMENT OF HEALTH			
SEAL			
PROJECT NO.			
DATE	BY	AS SHOWN	DATE
FOR INFORMATION / APPROVAL			

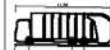
Jelson HOMES

JELSON HOMES
11111 JELSON DRIVE
DALLAS, TEXAS 75244
TEL: 972.346.1111 FAX: 972.346.1112



NOTES:

1. DO NOT SCALE THIS DRAWING.



Quantity: 2 (See Appendix (2) - 150 with 150, 6+1 shown)
Bin Type: 150 Litre
Bin Material: 150 Litre
Bin Colour: 150 Litre
Bin Code: 150 Litre
Bin Status: 150 Litre

REV. AMENDMENTS. DATE. BY.

PROJECT: DEEPING ST NICHOLAS SPALDING

DRAWING TITLE: REFUSE TRACKING PLAN

DRAWING NUMBER: 1001_02_020_03

REVISION	SHEET NO.	SCALE
	A1	1:500

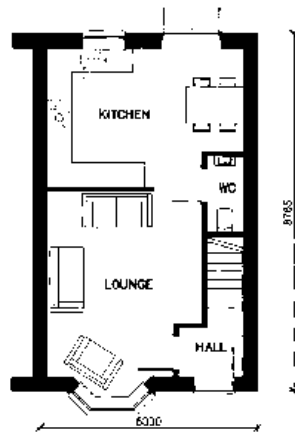
DATE: 24.04.19
DRAWN BY: CG

STATUS: FOR INFORMATION / APPROVAL

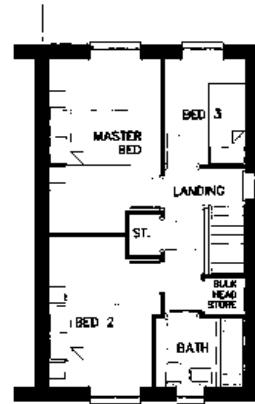


JELSON LTD
870 LINGWOOD ROAD
L16 0JH
Tel: 0151 266541 - Fax: 0151 266488 - Web: www.jelson.co.uk

1001_02_020_03 - Refuse Tracking Plan - Deeping St Nicholas Spalding - 24.04.19



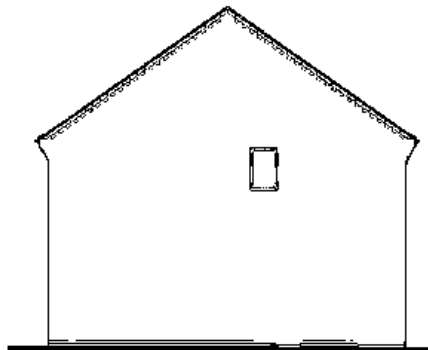
Ground Floor Plan



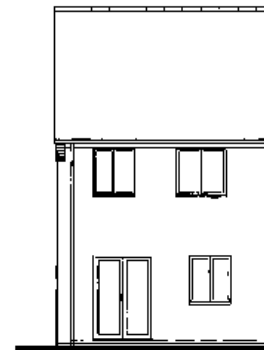
First Floor Plan




Front Elevation

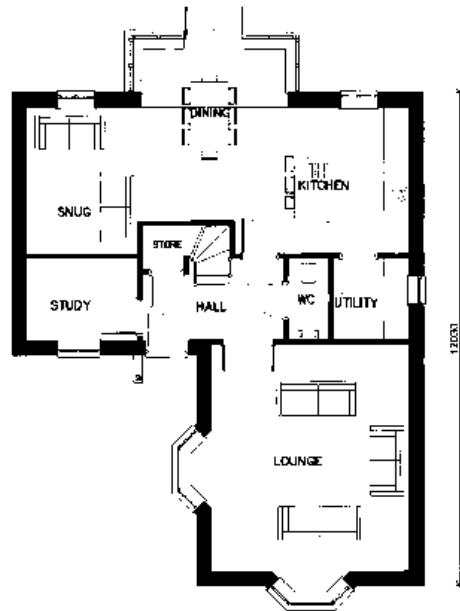


Side Elevation



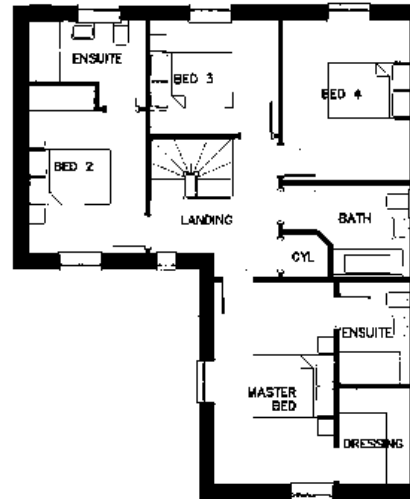
Rear Elevation

PROJECT TITLE: JS31DC-01 (CP) Ground House Type	
Total Floor Area - 78.21m ² (841.84sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: ST	CHECKED BY: _____
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS31DC-01-#01 (CP)	DRAWING REVISION: _____
DESIGN DEPARTMENT	
	
<small>JELSON LTD 215 LAMINGTON ROAD LEICESTER LE4 6PS 14 019 2021041 • Fax 0116 2366561 • Web www.jelson.co.uk</small>	




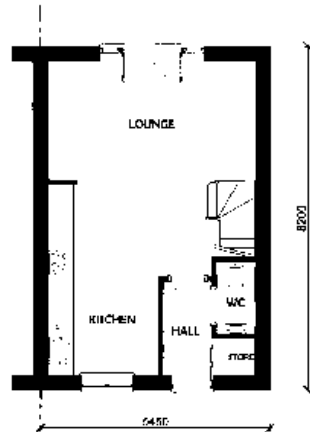
Ground Floor Plan

100110

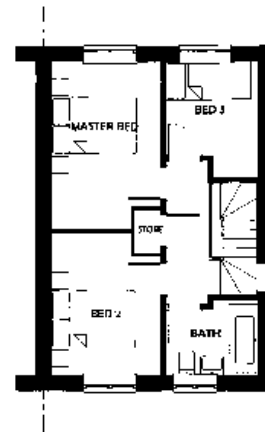


First Floor Plan

PROJECT TITLE: JD425C-01 (OP) Group: House Type	
Total Floor Area - 165.84m ² (1766.85sqm)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SFE	CHECKED BY:
DRAWING STA./US: Planning Drawing	DRAWING DATE: March 23/17
DRAWING NUMBER: JD425C-01-P01 (OP)	DRAWING REVISION:
DESIGN DEPARTMENT	
 Jelson HOMES	
JE-ZEN/17/0 37/ 210-4070/16A ROAD LINDSEY DR 21.50R <small>*AT 0112 266 7441 - FAX: 0117 266 8895 - WWW.JELSON.COM</small>	



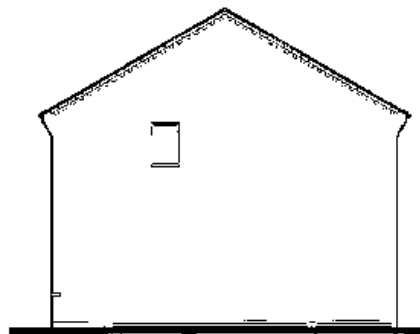
Ground Floor Plan



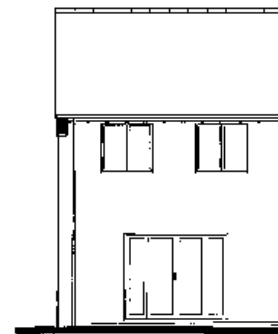
First Floor Plan




Front Elevation



Side Elevation



Rear Elevation

PROJECT TITLE: JS300C 01 (OP) Group House Type	
Total Floor Area - 73.9m ² (795.45sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SFC	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS300C 01.P01 (OP)	DRAWING REVISION:
DESIGN DEPARTMENT	
 Jelson HOMES	
111-114, T3 270 LINDSEY ROAD, CH. FARM FROSTHURST LEICESTER LE16 1PH Tel: 01530 8141 Fax: 01530 81581 Web: www.jelson.com	



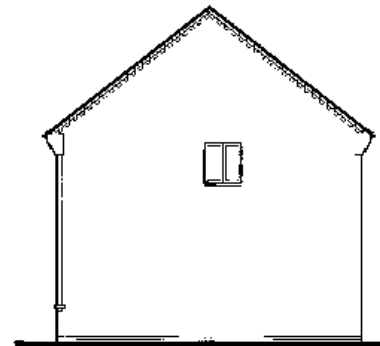
Front Elevation




Side Elevation

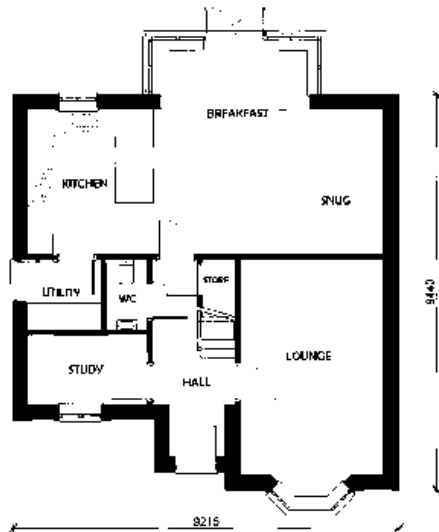


Rear Elevation

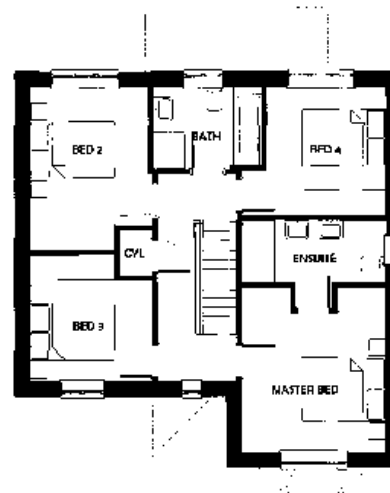


Side Elevation


PROJECT TITLE JD331C-01 (A5) Group House Type	
Total Floor Area: 91.87sq' (849.86sq'ft)	
DRAWING TITLE: Proposed Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: S-E	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD331C-01-P02 (A5)	DRAWING REVISION:
DESIGN DEPARTMENT	
	
6755110 370 LOUKHRECHSLEIP RD., NJ 07049 TEL: 973-286-1641 FAX: 973-286-4186 Web: www.jelson.com	



Ground Floor Plan

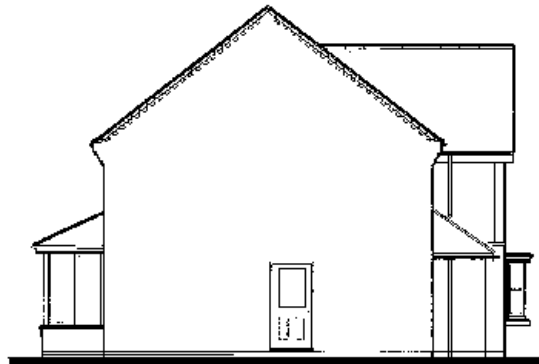


First Floor Plan

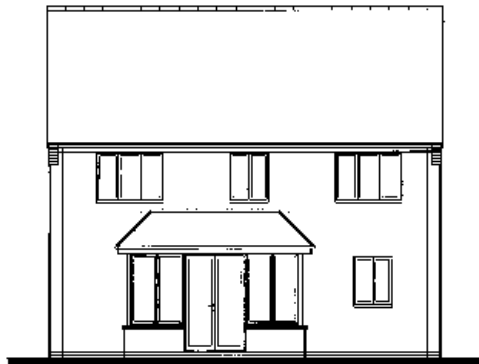
PROJECT TITLE: JD41-C-01 (01) Group House Type	
Total Floor Area = 69,35m ² (1489,35sqm)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: S/E	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
URGENT NUMBER: JD411C.01.FM (01)	DRAWING REVISION: Rev B
DESIGN DEPARTMENT	
	
<small> 2007-17 510 CUSHINGBOURGH ROAD LONDON W12 8PP Tel: 01-83261541 Fax: 01-83269988 - 433 www.jelson.co.uk </small>	



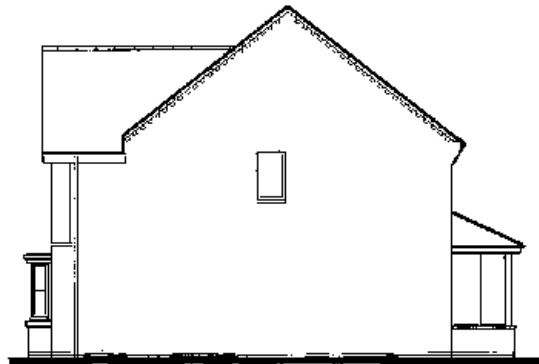
Front Elevation




Side Elevation

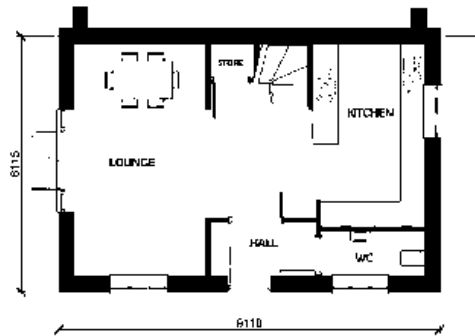


Rear Elevation



Side Elevation

PROJECT TITLE: JD4-10-01 [OP] Group House Type	
Total Floor Area - 130.35m ² (1409.55sqft)	
DRAWING TITLE: Preliminary Elevation	
DRAWING SCALE: 1"=00' @ A3	
DRAWN BY: S/E	CHECKED BY:
DRAWING STATUS: Planning Draw 10	DRAWING DATE: MAR 2017
DRAWING NUMBER: JD4-10-01 P02 [OP]	DRAWING REVISION: Rev 0
DESIGN DEPARTMENT	
	
<small>JELSON LTD. SUITE 101, 2500 WILSON AVENUE L4C 3G7 L4C 3P7 Tel: 313 222 1241 Fax: 416 222 4553 Web: www.jelson.com</small>	



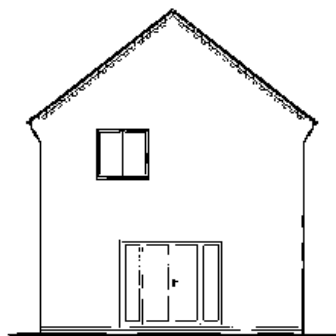
Ground Floor Plan



First Floor Plan



Front Elevation



Side Elevation



Side Elevation

PROJEC TITLE: JS394C 01 JAS Group House Type	
Total Floor Area - 94.04m ² (1012.21sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SFE	CHECKED BY: -
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS394C-01-P01 (AS)	DRAWING REVISION: -

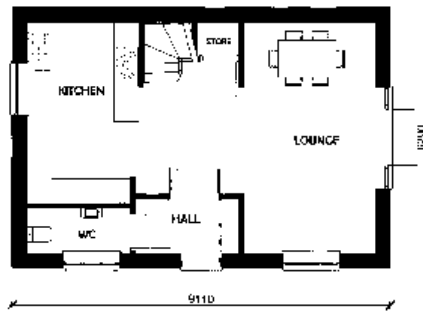
DESIGN DEPARTMENT



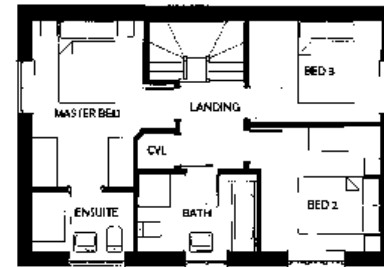
JS394C 01
1012.21 SQ FT
1:100 @ A3
161 0112 2007 SA - Pac 0112 2007 SA - 02
161 0112 2007 SA - Pac 0112 2007 SA - 02 WWW.JELSON.CO.UK



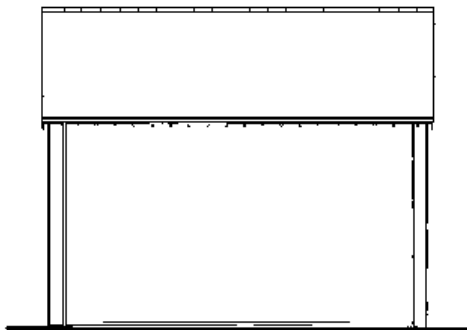
Front Elevation



Ground Floor Plan



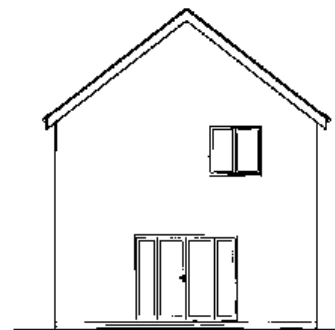
First Floor Plan



Rear Elevation



Side Elevation



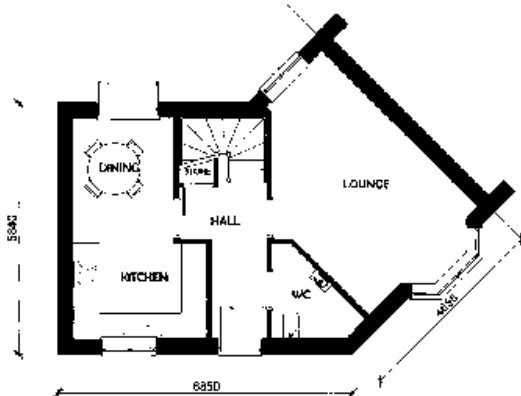
Side Elevation

PROJECT TITLE: JD326C-01 (OP) Group House Type	
Total Floor Area - 94.04m ² (1012 24sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SIC	CHECKED BY:
DRAWING STATUS: Preliminary	DRAWING DATE: March 2017
DRAWING NUMBER: JD326C-01 P01 (OP)	DRAWING REVIEW:

DESIGN DEPARTMENT



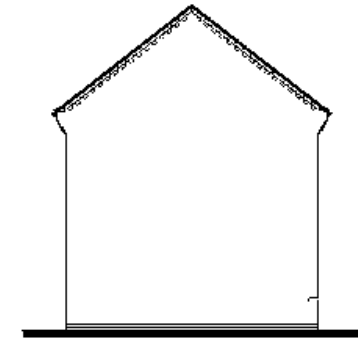
JELSON LTD
 110 JONES ROAD, SUVA
 SUVA
 TEL: 018 3005411 FAX: 018 3004279 WWW.JELSON.COM.FJ



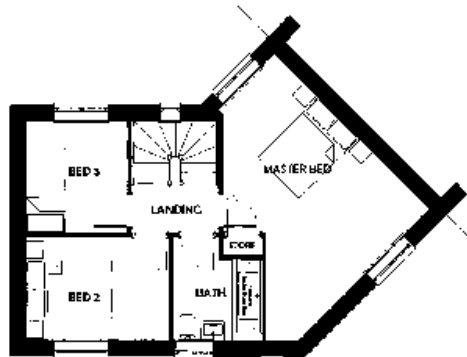
Ground Floor Plan



Front Elevation




Side Elevation

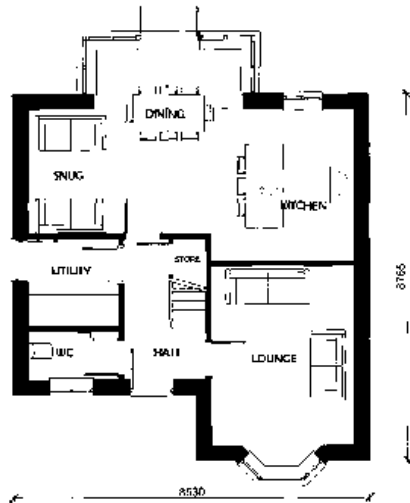


First Floor Plan



Rear Elevation


PROJECT REF: JS395C-01 [A5] Group House Type	
Total Floor Area - 88.48m ² (256.91sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: Site	CHECKED BY:
DRAWING STATUS: Final/In Progress	DRAWING DATE: June 2011
DRAWING NUMBER: JS395C-01-PC1 [A5]	DRAWING REVISION:
DESIGN DEPARTMENT	
 Jelson HOMES	
<small> JE-5011172 370 Colchester Road Colchester Essex Saffron Walden </small>	
<small> Tel: 01206 280111 Fax: 01206 251689 www.jelson.co.uk </small>	

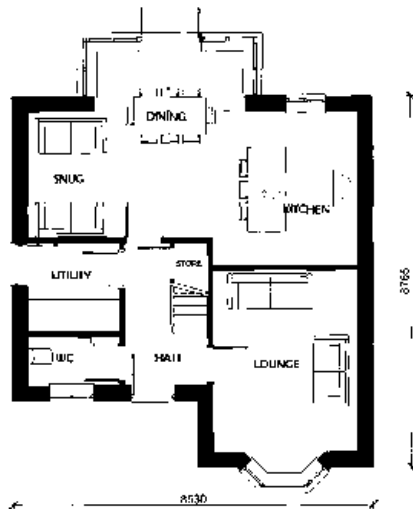


Ground Floor Plan



First Floor Plan


PROJECT TITLE: JD42PC-01 (RM) Group House Type	
Total Floor Area: 118.47m ² (1275.21sqm)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: S.E.	CHECKED BY: -
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD42PC-01-F01 (DP)	DRAWING REVISION: -
DESIGN DEPARTMENT	
 Jelson HOMES	
17 WYATT 570 LINDENHURST ROAD DUNFERMLINE FIFE KY11 1JN © 2015 JELSON HOMES LTD. ALL RIGHTS RESERVED.	

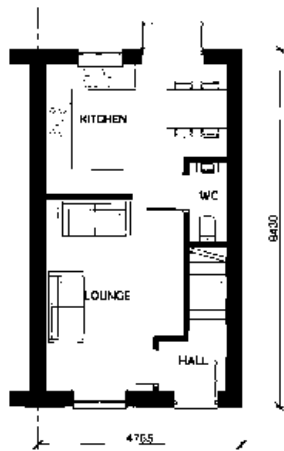


Ground Floor Plan

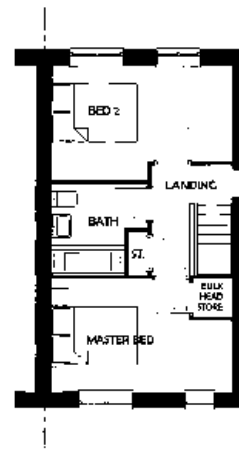


First Floor Plan

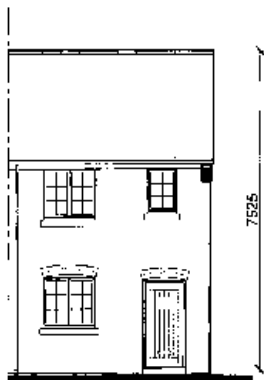
PROJECT TITLE: JD432C-01 [R.P.] Group House Type	
Total Floor Area: 118.47m ² (1275.20sqm)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A5	
DRAWN BY: S.E.	CHECKED BY: S.E.
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD432C-01-F01 [DP]	DRAWING REVISION: -
DESIGN DEPARTMENT	
	
<small> 12, WICKFIELD 570 LUDGERSHILL ROAD DUNDEE T149R © 2015 JELSON HOMES LTD. ALL RIGHTS RESERVED. </small>	



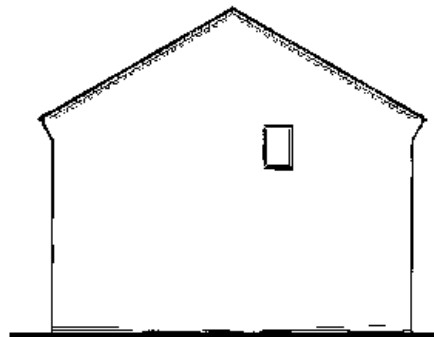
Ground Floor Plan



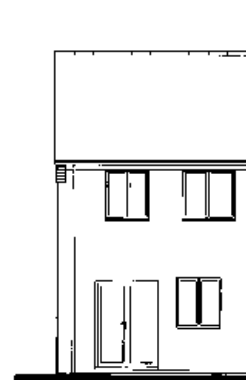
First Floor Plan




Front Elevation

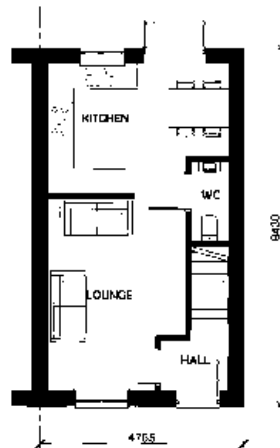


Side Elevation

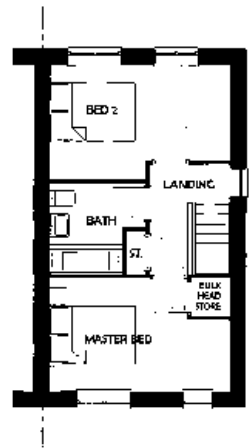


Rear Elevation

PROJECT TITLE: J3297C-D1 (OP) Group House Type	
Total Floor Area - 15.4m ² (163.96sqm)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SIF	CHECKED BY: -
DRAWING STA./S: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: J3297C-D1-P01 (OP)	DRAWING REVISED: -
DESIGN DEPARTMENT	
 Jelson HOMES	
<small> 17/256 17th 3511/15/16/16/17th Rd 17th Street LESMERE VIC 3042 Tel: 03 9472 2561 Fax: 03 9472 2560 </small>	



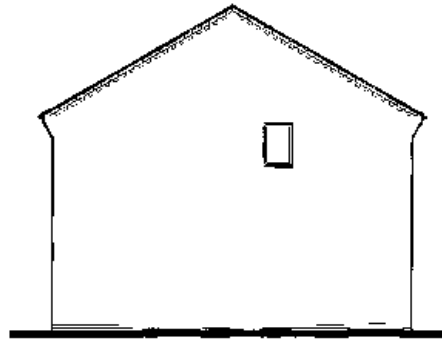
Ground Floor Plan



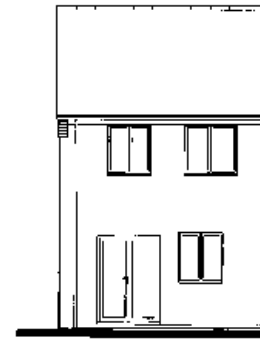
First Floor Plan



Front Elevation



Side Elevation



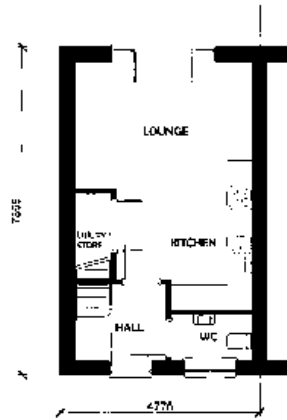
Rear Elevation

PROJECT TITLE: J3297C-D1 (OP) Group House Type	
Total Floor Area - 65.4m ² (703.96sqm)	
DRAWING TYPE: Prepared Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SIF	CH-CHECK BY: -
DRAWING STA./L.S. Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: J3297C-D1-P01 (OP)	DRAWING REV. NO.:

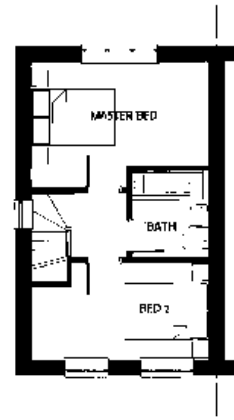
DESIGN DEPARTMENT



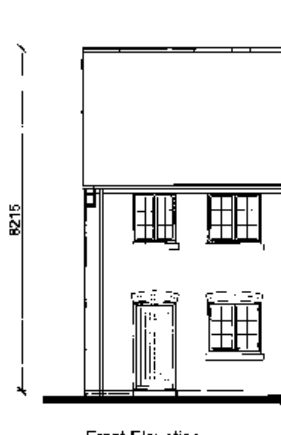
17 DEN ST
3711 WILMINGTON ST ROAD
17 02 000
LS 664
Tel: 314 2031541 Fax: 314 2044000 www.jelson.co.uk



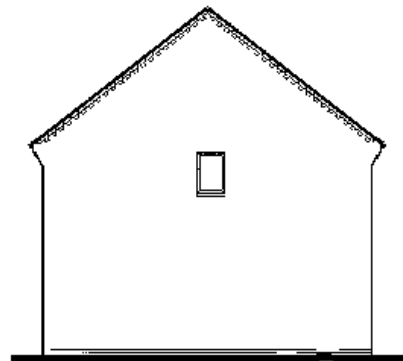
Ground Floor Plan



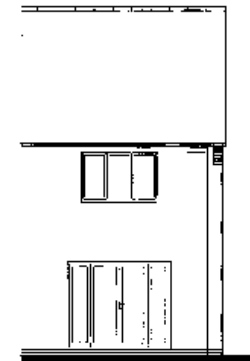
First Floor Plan




Front Elevation

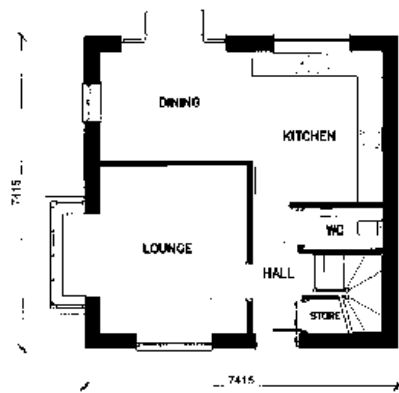


Side Elevation



Rear Elevation

PROJECT TITLE: JS259C 01 (AS) Group House Type	
Total Floor Area - 20.8m² (654.45sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SJC	CHECKED BY: -
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS259C 01-PR1_A3	DRAWING REVISION: -
DESIGN DEPARTMENT	
	
<small>JELSON LTD 501 ECLIPSE DRIVE ROAD LONDON W11 4LJ UK TEL 0116 300 5111 FAX 0116 2564891 WWW.JELSONLTD.CO.UK</small>	



Ground Floor Plan



First Floor Plan

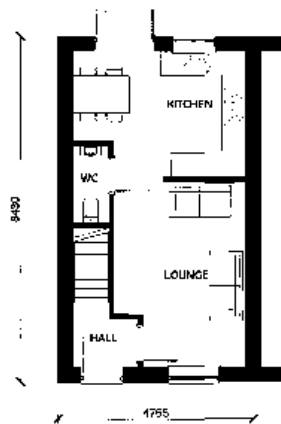
PROJECT REF: JDS31C-01 (AS)	
Group House Type	
Total Floor Area 91.97m ² (989.90sqft)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SIF	CHECKED BY:
DRAWING STATUS: Planning Drawing	ISSUANCE DATE: March 2017
DRAWING NUMBER: JDS31C-01-P01 (AS)	DRAWING REVISION:

DESIGN DEPARTMENT

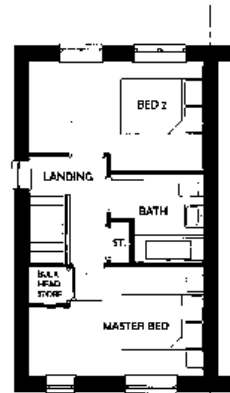


JELSON LTD
270 - 2851 BRISBANE ROAD
MELBOURNE
VIC 3045

The 03 9342 5000 Fax 03 9342 5001 Email enquiries@jelson.com.au Web www.jelson.com.au



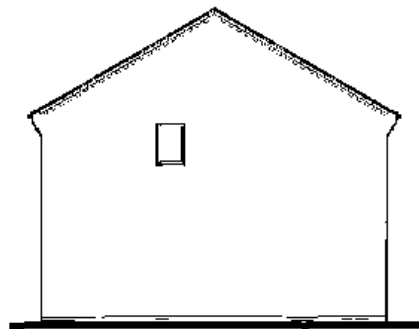
Ground Floor Plan



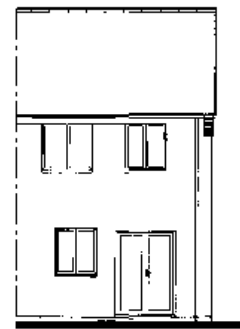
First Floor Plan




Front Elevation

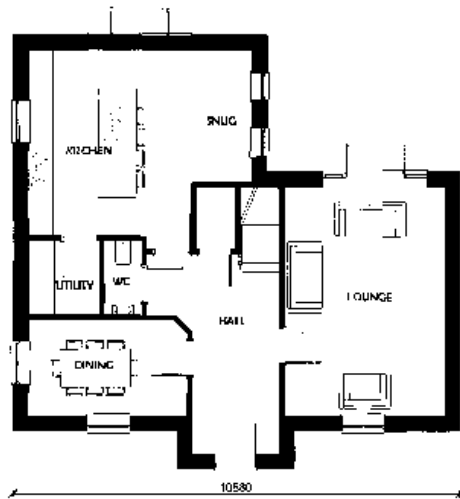


Side Elevation

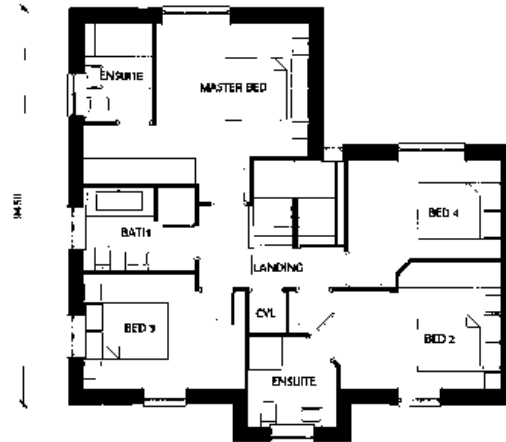


Rear Elevation

PROJECT TITLE: JS267C-01 (A3) Group / Issue / Type:	
Total Floor Area - 56.4m ² (703.95sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: GTC	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS267C-01-P01 (A3)	DRAWING REASON:
DESIGN DEPARTMENT	
 Jelson HOMES	
<small> JELSON LTD 201121 WILBOROUGH ROAD LEICESTER LE12 8JF TEL 01 533 0541 FAX 01 533 0544 WWC/AM/8.8.00/24 </small>	



Ground Floor Plan



First Floor Plan

PROJECT TITLE: JD48BV-01 [OP]	
Group House Type	
Total Floor Area - 148.32m ² (1501.89sqft)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:150 @ A3	
DRAWN BY: SF	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD48BV-01-P01 [OP]	DRAWING REFERENCE:

DESIGN DEPARTMENT

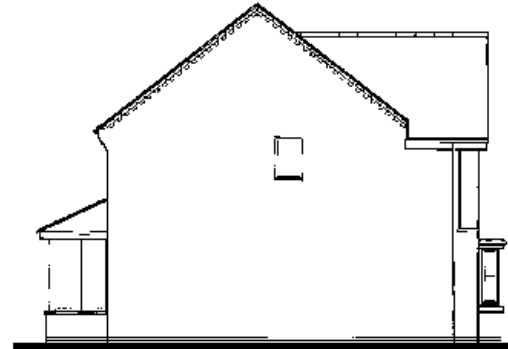


JELSON LTD
30 W. BRUNNEN ROAD, G1 5HW
GLASGOW
G4 5PE

Tel: 01636 555544 - Fax: 01636 555544 - Web: www.jelson.co.uk



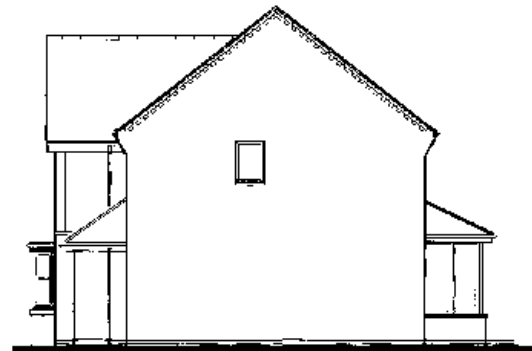
Front Elevation



Side Elevation

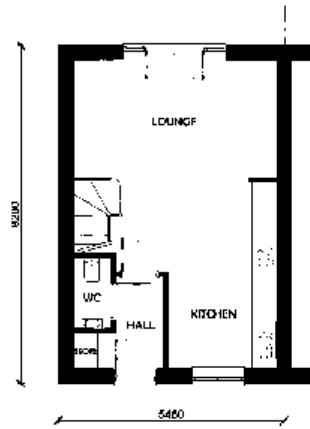


Rear Elevation

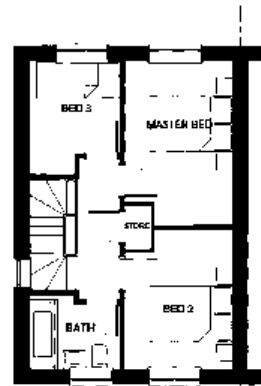


Side Elevation

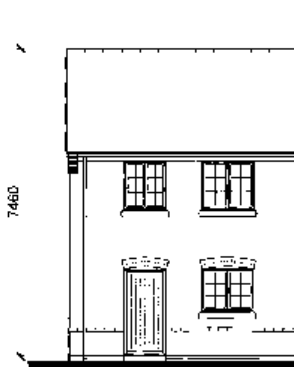
PROJECT TITLE	
JH402C-01 (AS)	
Group House Type	
Total Floor Area - 114.47m ² (*275.20sq ft)	
DRAWING TITLE	
Proposed Elevations	
DRAWING SCALE	
1:100 @ A3	
DRAWN BY:	CHECKED BY:
Site:	
DRAWING STATUS:	DRAWING DATE:
Planning Drawing	March 2017
DRAWING NUMBER:	DRAWING REVISION:
JH402C-01-P02 (AS)	-
DESIGN DEPARTMENT	
<small>JELSON LTD 2211A, GARDEN STREET, HUNTSVILLE VIC 3550 T 51 3361541 Fax 01 5 2843933 Web www.jelson.com.au</small>	



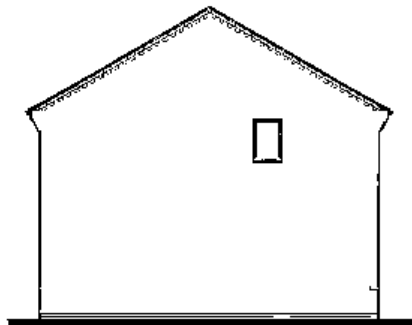
Ground Floor Plan



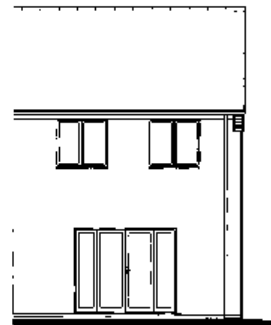
First Floor Plan




Front Elevation

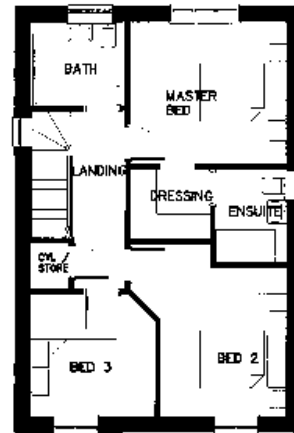
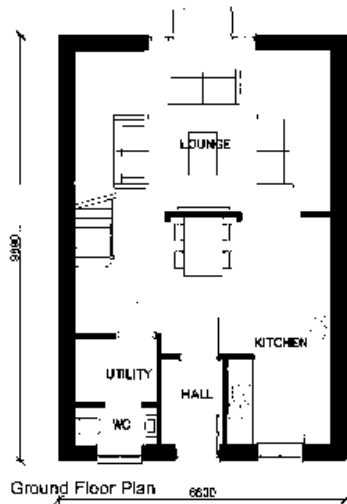


Side Elevation



Rear Elevation

PROJECT TITLE: J5399C-01 (AS) Group House Type	
Total Floor Area - 73.9m ² (795.45sq ft)	
DRAWING TITLE: Proposed Plans & Footprints	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: S/E	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2012
DRAWING NUMBER: J5399C-01-P01 (AS)	DRAWING REVISION:
DESIGN DEPARTMENT	
 Jelson HOMES	
<small>JELSON LTD 370 LELANDER ROAD HASTINGS TQ14 3EP Tel: 01323 292121 Fax: 01323 292122 Web: www.jelson.co.uk</small>	



PROJECT TITLE:
JJK3200-1 (A5)
Group House Type

Total Floor Area - 100.94m² [1172.02sq.ft]

DRAWING TITLE:
Proposed Plans

DRAWING SCALE:
1:100 @ A3

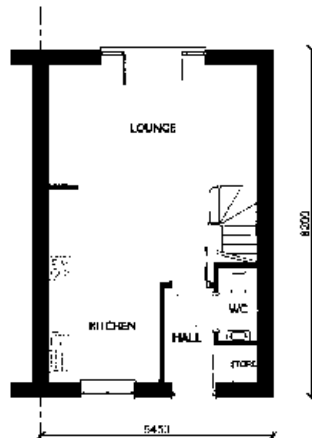
DRAWN BY:	DRAWN BY:
SITE:	DRAWING DATE:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2007
DRAWING NUMBER: JJK3200-1-PC (A5)	DRAWING REVISION:

DESIGN DEPARTMENT

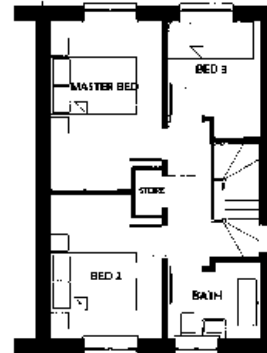
Jelson
HOMES

ESTABLISHED 1984
100 CHURCHILL ROAD
LONDON
E9 6JH

Tel: 01720 801541 Fax: 01720 801540 Email: sales@jelson.co.uk



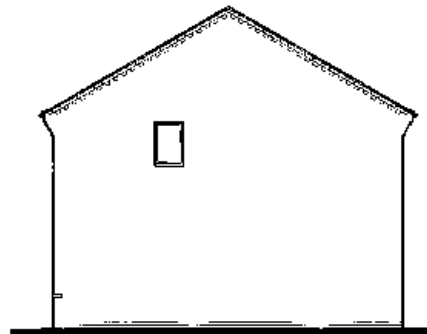
Ground Floor Plan



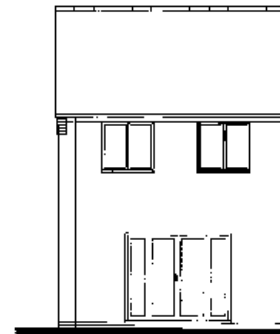
First Floor Plan




Front Elevation



Side Elevation

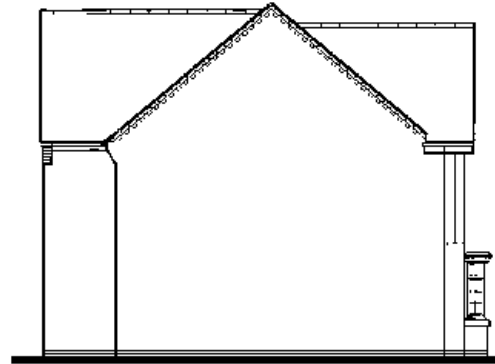


Rear Elevation

PROJECT TITLE: US389C-01 (CP) Group House Type	
Total Floor Area - 73.1m ² (795.45sqft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A2	
DRAWN BY: Srie	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: US389C-01-P01 (CP)	DRAWING REVISION:
DESIGN DEPARTMENT	
	
<small>JELSON - 75 176 JARVIS ROAD LEEDS LS16 7PE UK Tel: 0113 281541 - Fax: 0113 281557 - Web: www.jelson.co.uk</small>	



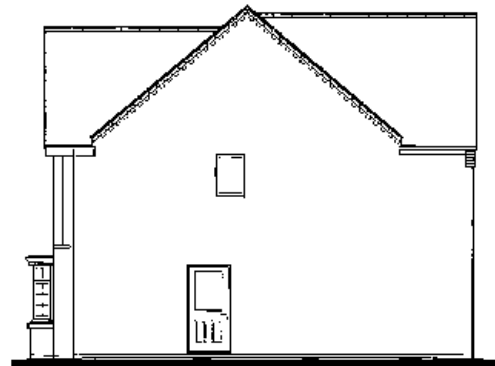
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

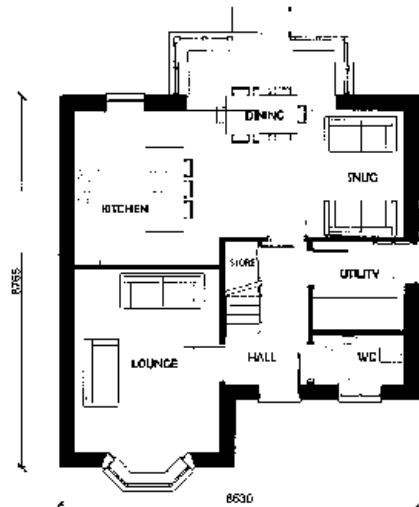
PROJECT TITLE	
JD401C 01 (AS)	
Group House Type	
Total Floor Area - 163.32sq' (1750 sq' sq' ft)	
DRAWING TITLE	
Proposed Elevations	
DRAWING SCALE	
1:100 @ AS	
DRAWN BY:	CHECKED BY:
SFE	
DRAWING STATUS:	DRAWING DATE:
Planning Drawing	March 20 7
DRAWING NUMBER	DRAWING REVISION
JD401C 01 P02 (AS)	

DESIGN DEPARTMENT

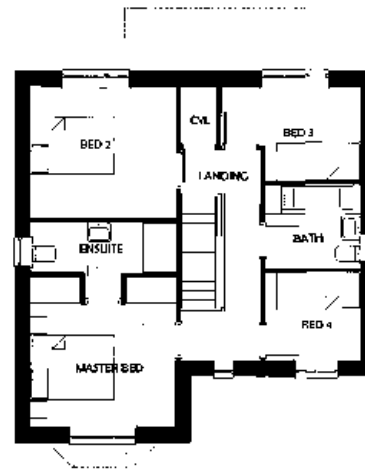


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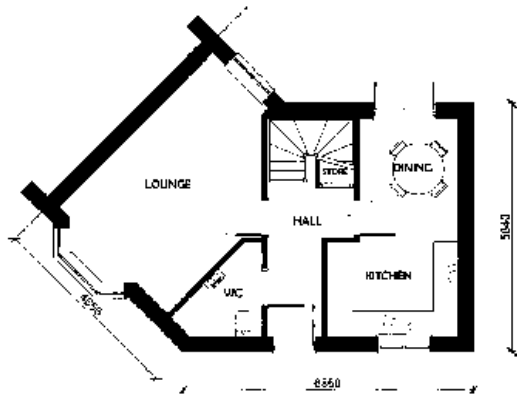


Ground Floor Plan

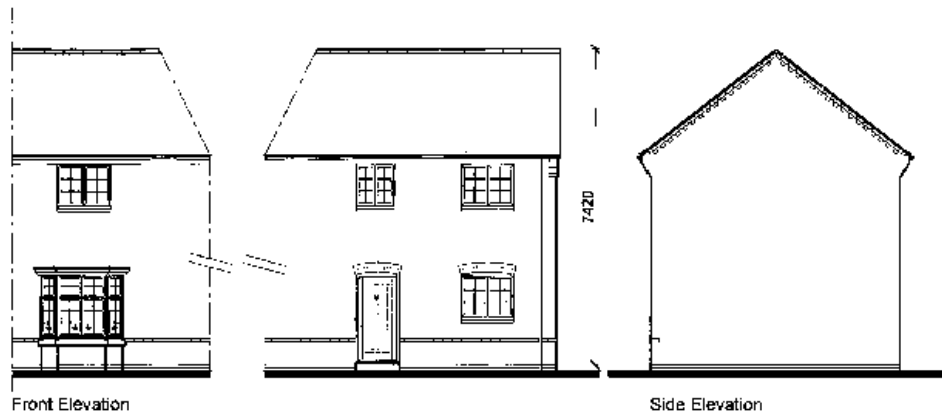


First Floor Plan

PROJECT TITLE: JD402C-01 (AS) Group House Type	
Total Floor Area - 119.47m ² (1275.23sq'ft)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: RJP	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD402C-01 Part (AS)	DRAWING REVISION:
DESIGN DEPARTMENT	
	
<small> JELSON LTD 51/52, HENSHURVAUN ROAD LEICESTER LE4 6PP t: 0115 2651544 - f: 0115 2652658 - www.jelson.co.uk </small>	

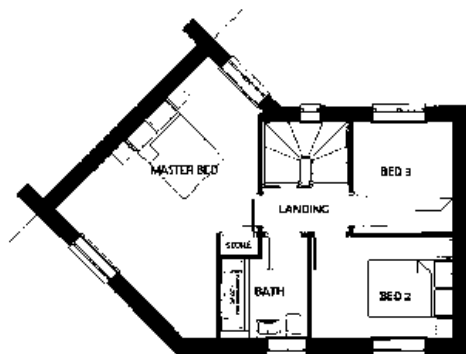


Ground Floor Plan

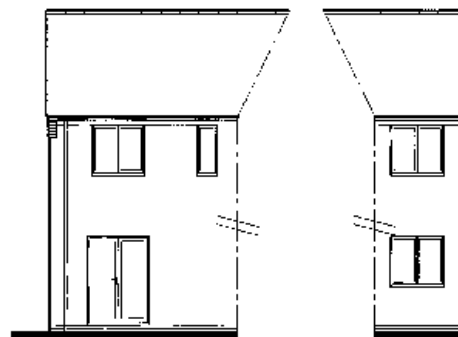


Front Elevation

Side Elevation



First Floor Plan



Rear Elevation

PROJECT TITLE JS385C-01 (CP) Group House Type	
Total Floor Area - 88 88m ² (959.61sqft)	
DRAWING TITLE Proposed Plans & Elevations	
DRAWING SCALE 1:100 @ A4	
DRAWN BY: SM	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: June 2017
DRAWING NUMBER: JS385C-01-P01 (CP)	DRAWING REVISION:

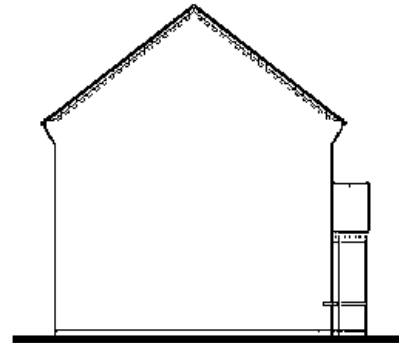
DESIGN DEPARTMENT

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JELSON LTD
151 LEXAS INDUSTRIAL PARK
LEEDS LS18 7JH
TEL: 0113 2851541 Fax: 0113 2824961 www.jelson.co.uk



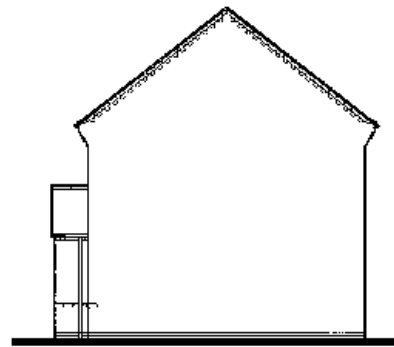
Front Elevation



Side Elevation




Rear Elevation



Side Elevation

PROJECT TITLE: JDS11C-01 (AS) Group House, Type	
Total Floor Area - 65.12m ² (697.82sqft)	
DRAWING TITLE: Proposed Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SFE	CHECKED BY: -
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JDS11C-01-P02 (AS)	DRAWING REVISION:

DESIGN DEPARTMENT



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4900-4900-4900-4900
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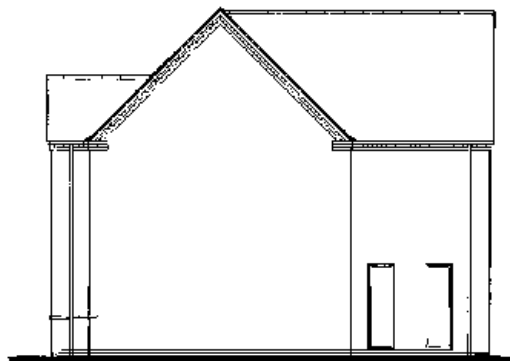
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

PROJECT TITLE: JD409V-01 [OP] Group House Type	
Total Floor Area - 48.80m ² (1661.88sq'ft)	
DRAWING TITLE: Proposed Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SJE	CHECKED BY:
DRAWING STATUS: Preliminary Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD409V-01 P02 [OP]	DRAWING AUTHOR: CHRISTINA HORTON

DESIGN DEPARTMENT



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2000 JELSONHOLM DRIVE
ELDON, MISSOURI
64621

1st Flr 20170324-1 - Pch. 04152016002 - 017 - JHM-180310-01



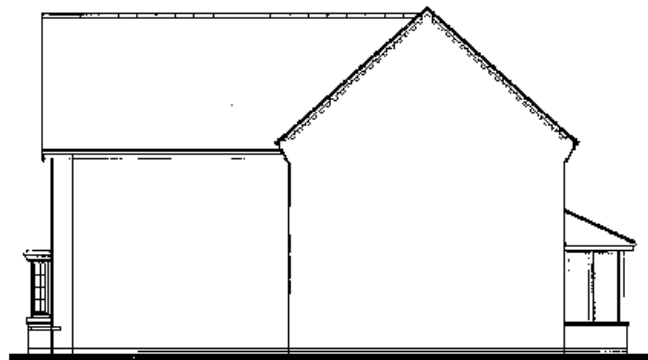
Front Elevation




Side Elevation

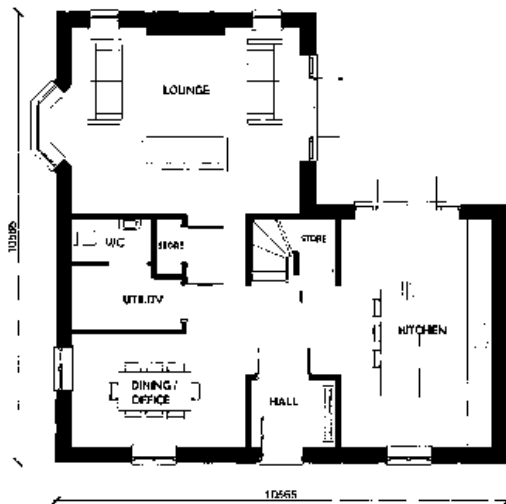


Rear Elevation

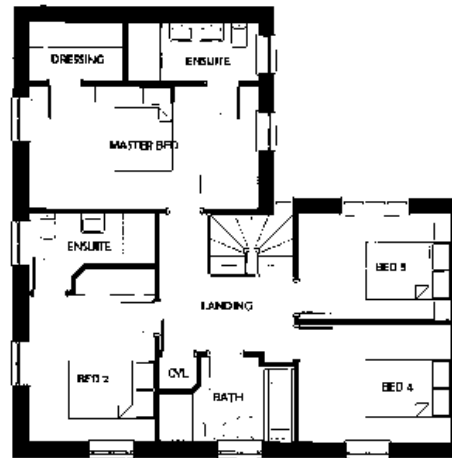


Side Elevation


PROJECT TITLE: JD425C-01 [OP] Group House Type	
Initial Floor Area - 165 54sqft (1795 RSqft)	
DRAWING TITLE: Proposed Elevation DRAWING SCALE: 1:100 @ A3	
DRAWN BY: Sfr	CHECKED BY:
DRAWING DATE: Planning Elevation March 2017	DRAWING DATE: DRAWING REVISION:
DRAWING NUMBER: JD425C-01-P02 [OP]	
DESIGN DEPARTMENT	
	
<small>12501 17th St 97036-3802, Astoria, OR 503.325.1111 www.jelsonhomes.com</small>	

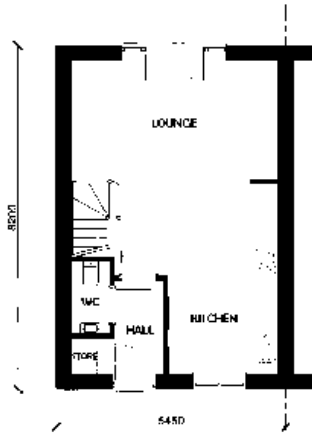


Ground Floor Plan

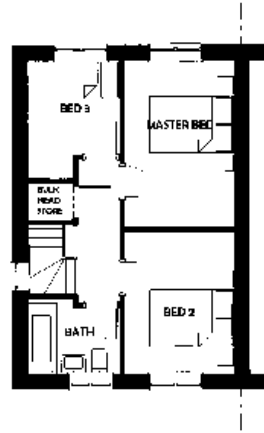


First Floor Plan

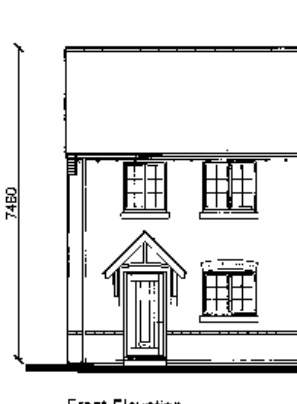
PROJECT TITLE: JD421G-01 [A3] Group Home Type	
Total Floor Area 453.01m ² (1069.61sqft)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DESIGN BY: SVE	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD421G-01-P01 [A3]	DRAWING REVISION:
DESIGN DEPARTMENT	
 Jelson HOMES	
RESPONIBLE: 270 LOGS THROUGH ROAD 16438 BP 1645 BP TEL 01 62841611 FAX 0157662999 WWW.JELSONHOMES.CO.NZ	



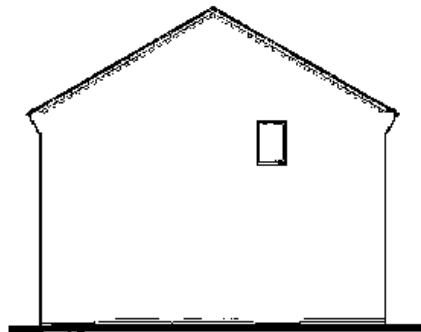
Ground Floor Plan



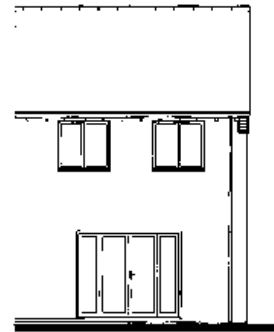
First Floor Plan



Front Elevation



Side Elevation



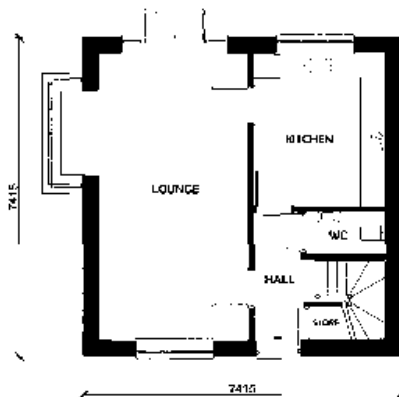
Rear Elevation

PROJECT TITLE	
J6306C-01 (A5)	
Group Home Type	
Total Floor Area 73.9m ² (795.47sqft)	
DRAWING TITLE	
Proposed Plans & Elevations	
DRAWING SCALE	
1:100 @ A3	
DRAWN BY:	CHECKED BY:
SFE	
DRAWING STATUS:	DRAWING DATE:
Planning Drawing	March 2017
DRAWING NUMBER:	DRAWING REVISION:
J6306C-01-P01 (A5)	

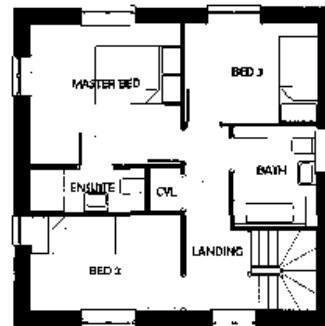
DESIGN DEPARTMENT




100 DE SHELTONS
 2010 LUGHBOROUGH ROAD
 15 SUFFOLK
 S11 5TW
 Tel: 0149 766661 Fax: 0149 264666 PFD 0000 8 0201 00 01



Ground Floor Plan

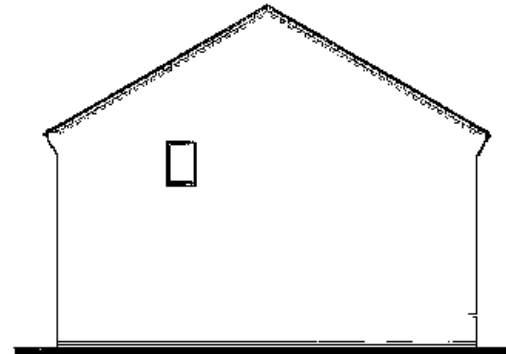


First Floor Plan

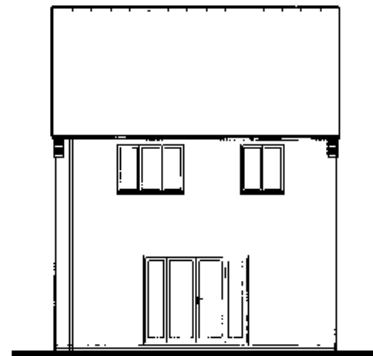
PROJECT TITLE: JD313C-01 (AS) Group House Type	
Total Floor Area - 51 87m ² (558.96sqft)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A2	
DRAWN BY: SIE	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD313C-01-01 (AS)	DRAWING REVISION:
DESIGN DEPARTMENT	
 Jelson HOMES	
<small> 17 SCULLY ST 17 JONES BOULEVARD P O BOX 24 008 TEL: 011 2615411 Fax: 011 2665683 Web: www.jelson.co.za </small>	



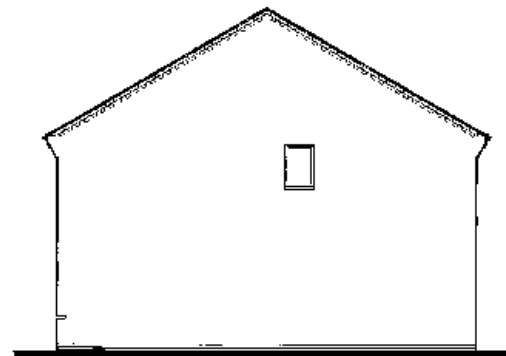
Front Elevation




Side Elevation

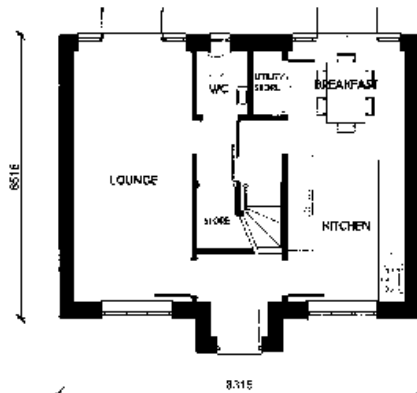


Rear Elevation

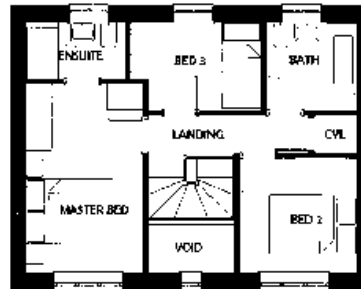


Side Elevation


PROJECT TITLE: JCS20C-1 (AS) Group House type	
Total Floor Area - 108.94m ² [1172.82sqft]	
DRAWING TITLE: Proposed Elevations	
DRAWING SCALE: 1:100 @ AS	
DRAWN BY: S/E	CHECKED BY: -
DRAWING STATUS: Preliminary Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JCS20C-1_P12 (AS)	DRAWING REVISION: -
DESIGN DEPARTMENT	
	
<small> IF YOU'RE BUILDING YOUR HOME CONTACT JELSON HOMES </small>	
<small> Tel: 01-856-2661541 Fax: 0110-266-269-1982 www.jelson.com.ph </small>	



Ground Floor Plan

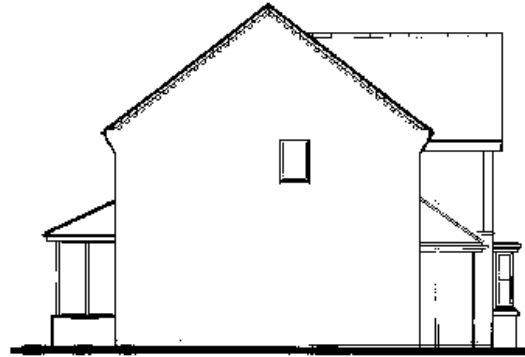


First Floor Plan

PROJECT TITLE: JD311C-01 (A6) Group House Type	
[Gross Floor Area: 85.12m ² (910.22sqft)]	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SRE	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD311C-01-P01 (A6)	DRAWING REVISION:
DESIGN DEPARTMENT	
 Jelson HOMES	
<small> RELAYR LTD 175, CLAYTON ROAD LONDON SE15 U.K. E17 5RS Tel: 020 261 6611 Fax: 020 261 6699 Web: www.jelsonhomes.com </small>	



Front Elevation




Side Elevation



Rear Elevation

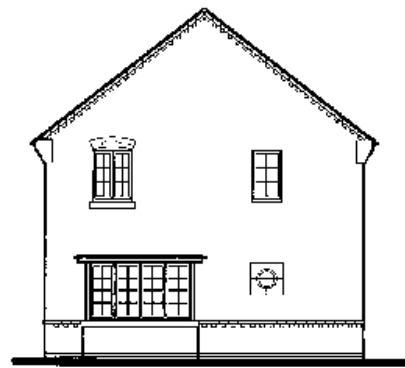


Side Elevation

PROJECT TITLE: JL402C-011 (CR) Group House Type	
Total Floor Area: 118.47m ² (1275.23sqft)	
DRAWING FILE: Proposed Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SJE	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JL402C-011-P02 (OP)	DRAWING REVISION:
DESIGN DEPARTMENT	
	
<small>JELSON, L.P. 376 S. 25th STREET, SUITE 100 JUNCTION, IA 52240 319-336-1100 Tel: 319-336-1100 • Fax: 319-336-9999 • Web: www.jelson.com</small>	



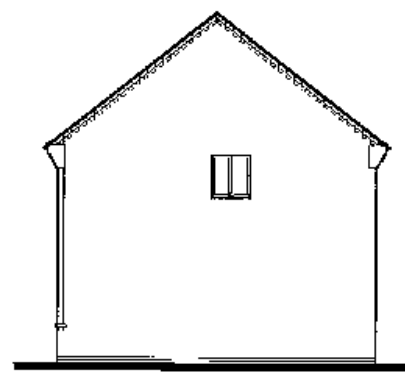
Front Elevation




Side Elevation

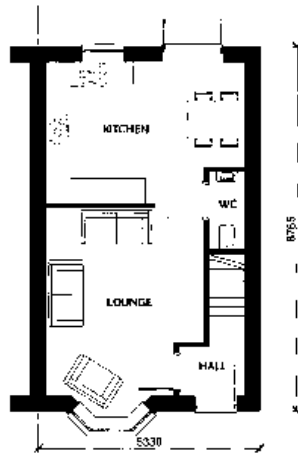


Rear Elevation

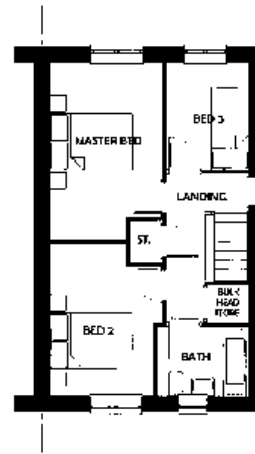


Side Elevation

PROJECT TITLE JD313C-01 (AS) Group House Type	
Total Floor Area - 01.97m ² (822 sqm ²)	
DRAWING TITLE Proposed Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: -	CHECKED BY: -
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD313C-01-P02 (AS)	DRAWING REVISION: -
DESIGN DEPARTMENT	
	
<small>JELSON LTD 17, LEAFIELD ROAD, LEICESTER LE16 1NS Tel: 01522 22541 Fax: 01522 22552 Web: www.jelson.co.uk</small>	



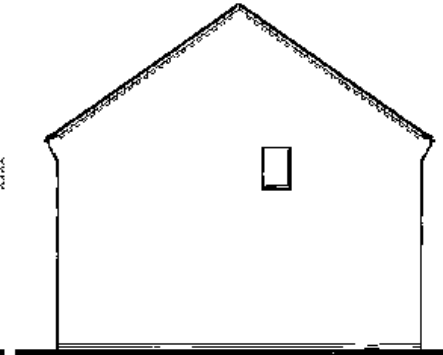
Ground Floor Plan



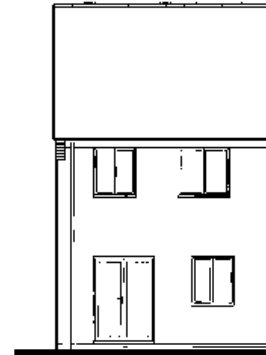
First Floor Plan




Front Elevation



Side Elevation

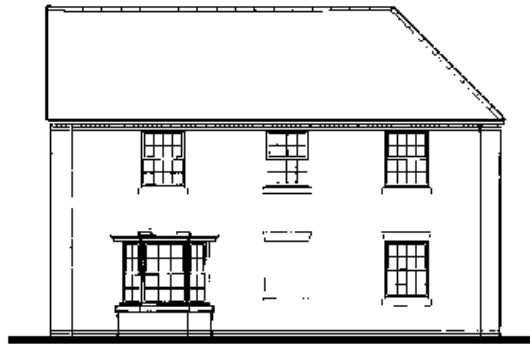


Rear Elevation

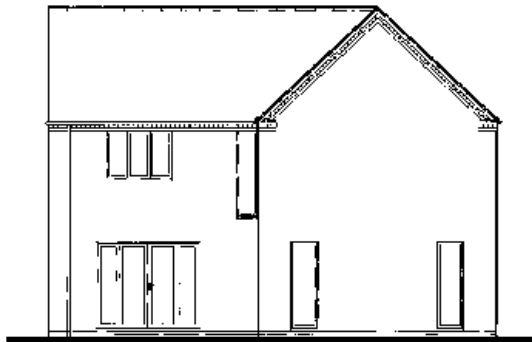
PROJECT TITLE: JS207C-01 [OP] Group House Type	
Total Floor Area: 18.2 m ² (194 sq ft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SVE	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS207C-01-P01 [OP]	DRAWING REVISION:
DESIGN DEPARTMENT	
	
<small> 5, CANTON 270 LINDSAY ROAD LINDSAY WA 6050 Tel: 08 9494 3474 Fax: 08 9494 3475 Email: info@jelson.com.au </small>	



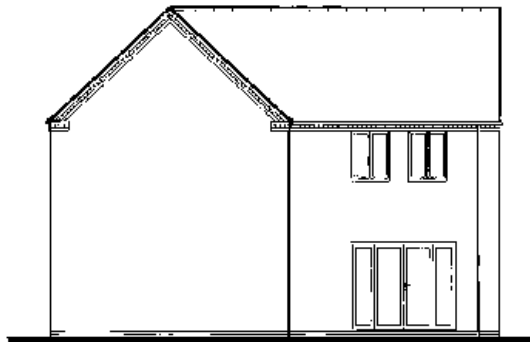
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

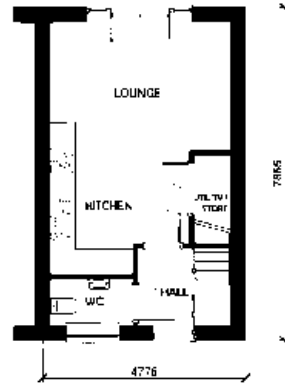
PROJECT FILE: JD-2 IG-P [AS] Group House Type	
Total Floor Area - 155.01m ² (1668.51sqft)	
DRAWING TITLE: Proposed Elevations	
DRAWING SCALE: 1:150 @ A3	
DRAWN BY: S/E	CHECKED BY:
DRAWING STATUS: Prelim. Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD12IG-01-P02 [AS]	DRAWING REVISION:

DESIGN DEPARTMENT

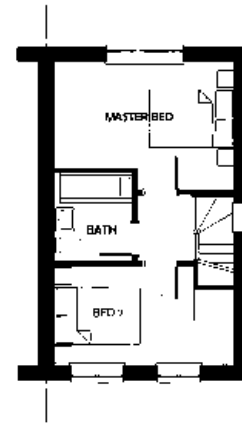


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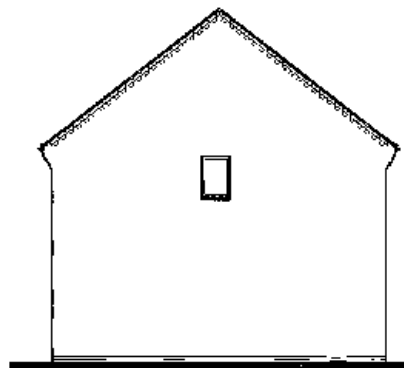
Ground Floor Plan



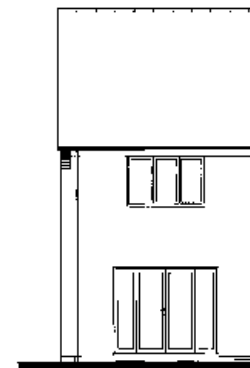
First Floor Plan



Front Elevation



Side Elevation



Rear Elevation

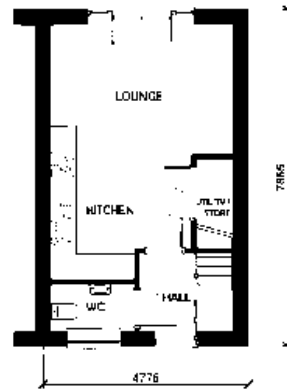
PROJECT TITLE: JS289C-01 [OP]	
Group House Type	
Total Floor Area - 80 Bm ² (854.45m ²)	
DRAWING TITLE: Proposed Plans, S. Elevations	
DRAWING SCALE: 1:50 @ A3	
DRAWN BY: SFE	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS289C-01 PG1 [OP]	DRAWING REVISION:

DESIGN DEPARTMENT

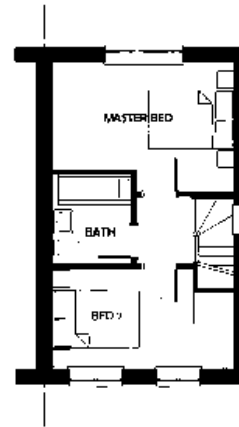


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174 LUSHINGTON ROAD
IF CENTER
11800

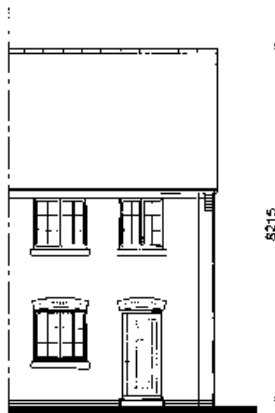
Tel: 770 3851241 - Fax: 318 3288223 - Web: www.jelson.com



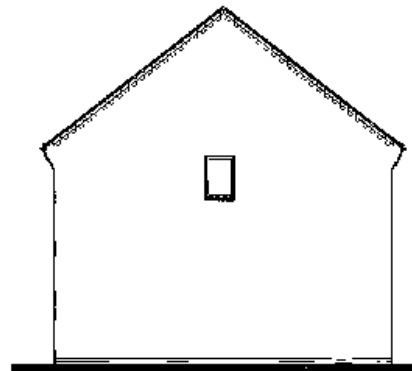
Ground Floor Plan



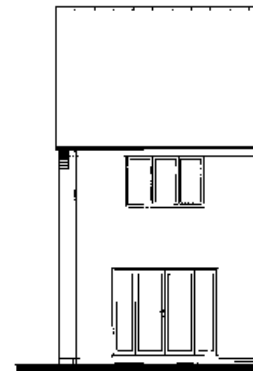
First Floor Plan




Front Elevation

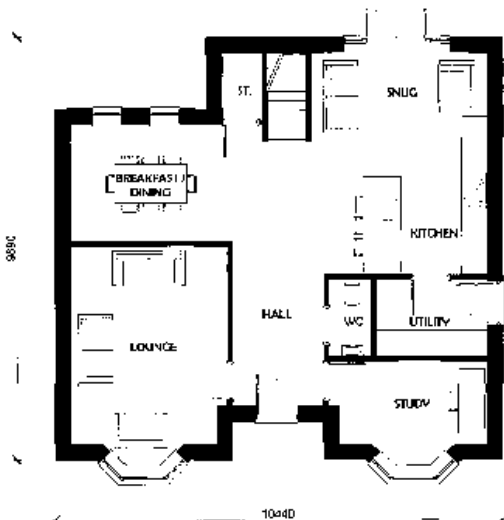



Side Elevation

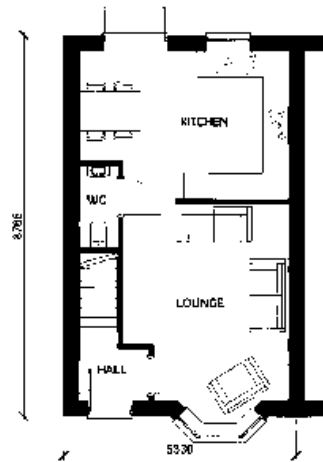


Rear Elevation

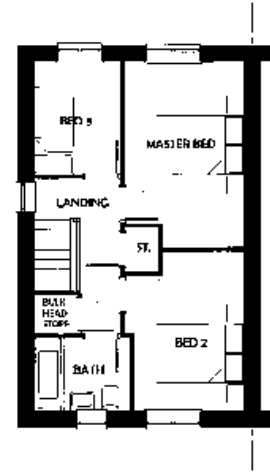
PROJECT TITLE: JS269C-01 (OP) Group House Type	
Total Floor Area - 83.8m ² (854.45sqm)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: SFE	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JS269C-01 P01 (OP)	DRAWING REVIEW:
DESIGN DEPARTMENT	
 Jelson HOMES	
<small>JELSON LTD 17/18, KINGSWOOD ROAD 17, CESTER 110 8AG Tel: 01753 551541 - Fax: 01753 559822 - Web: www.jelson.co.uk</small>	



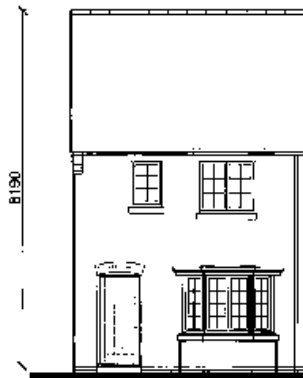
PROJECT TITLE: JD401C-01 (AS) Group House Type	
Total Floor Area - 163.39m ² (1758.76sqft)	
DRAWING TITLE: Proposed Plans	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: S.E.	CHECKED BY: .
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: JD401C-01-P01 (AS)	DRAWING REVISION: .
DESIGN DEPARTMENT	
 Jelson HOMES	
<small>REGON, VIC 373 LOUGHERY ROAD LEEDSBURY VIC 3005 Tel: 03 9330 1241 Fax: 03 9330 4847 Web: www.jelson.com.au</small>	



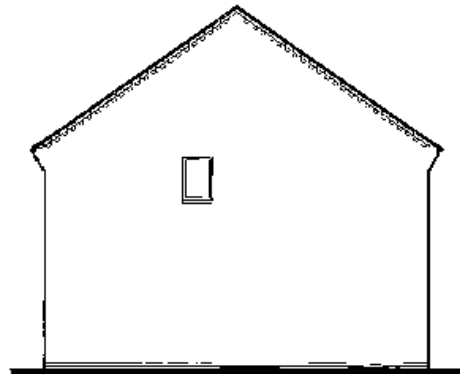
Ground Floor Plan



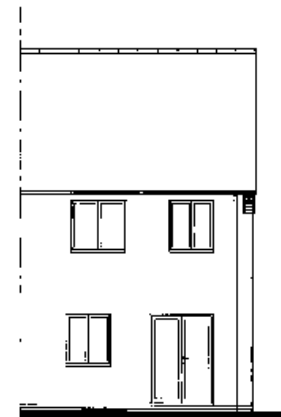
First Floor Plan



Front Elevation



Side Elevation



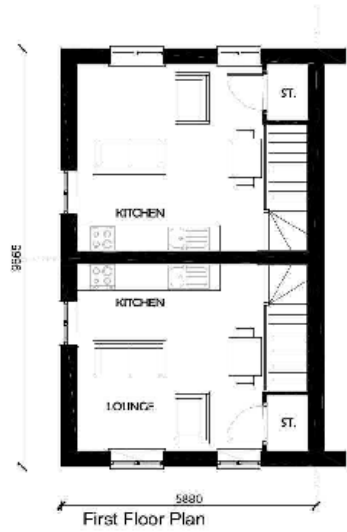
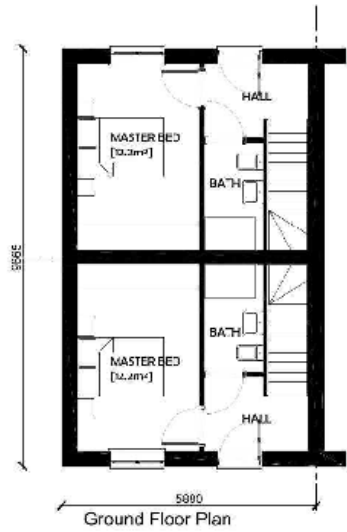
Rear Elevation

PROJECT FILE: LS937C 01 (AS) G Two House Type	
Total Floor Area - 78.21m ² (841.54sq ft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ AS	
DRAWN BY: SJC	CHECKED BY:
DRAWING STATUS: Planning Drawing	DRAWING DATE: March 2017
DRAWING NUMBER: LS937C 01-PL1 (AS)	DRAWING REVISION:

DESIGN DEPARTMENT



JELSON HOMES
370 LINDSEY ROAD
LEWISBURGH
LE19 5PF
T: 01753 209750 Fax: 01753 209750



PROJECT TITLE: J3-99C_R01 [A3] Group House Type	
Total Floor Area - 48.4m ² (519.44sq'ft)	
DRAWING TITLE: Proposed Plans & Elevations	
DRAWING SCALE: 1:100 @ A3	
DRAWN BY: S/C	CHECKED BY: -
DRAWING STATUS: Planning Drawing	DRAWING DATE: February 2019
DRAWING NUMBER: J3-99C_R01 -P31 [A3]	DRAWING REVISION: A
DESIGN DEPARTMENT	
 Jelson HOMES	
ELSHAM RD 378 LONGWOODSIDE ROAD LEWISBURG LE19 6JH UK Tel: 01536 555641 - Fax: 01536 2261628 - Web: www.jelson.co.uk	



Drawing Legend:
 Area to be retained by Management Company

REV	DESCRIPTION	DATE

PROJECT TITLE:
 PROPOSED RESIDENTIAL DEVELOPMENT
 LAND OFF LITTLEWORTH DRIVE
 DEERING ST NICHOLAS
 SPALDING

DRAWING TITLE:
 PROPOSED MANAGEMENT COMPANY LAYOUT

DRAWING SCALE:
 1:500 @ A1

DESIGNED BY:
 SVE

CHECKED BY:
 -

DRAWING STATUS:
 FOR APPROVAL

DRAWING DATE:
 01-04-2019

DRAWING NUMBER:
 DEE01 103

DRAWING REVISION:
 -

DESIGN DEPARTMENT



Plot 112
 205 Littleworth Road
 Littleworth
 LE14 4PH
 Tel: 0116 266454 - Fax: 0116 256400 - Web: www.jelson.co.uk



13.04.2016 15:10



13 04 2016 15:10



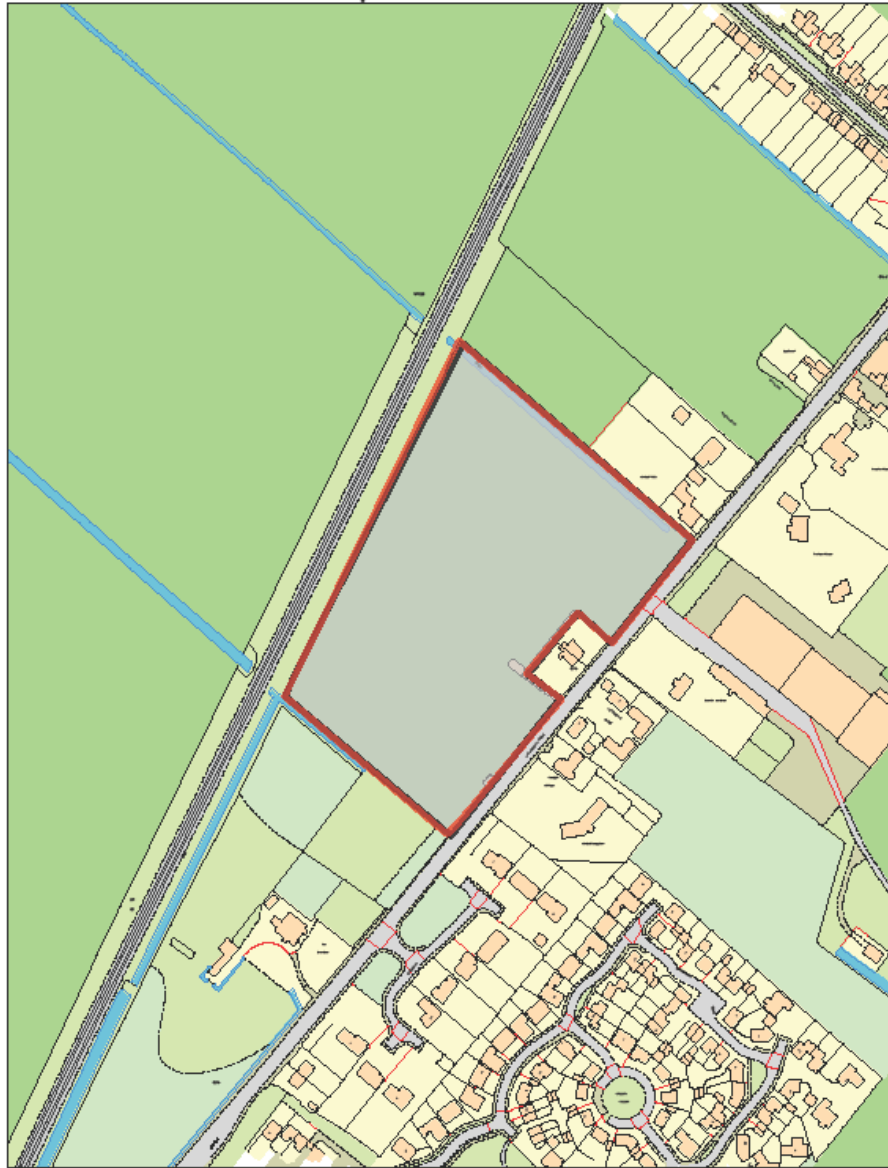
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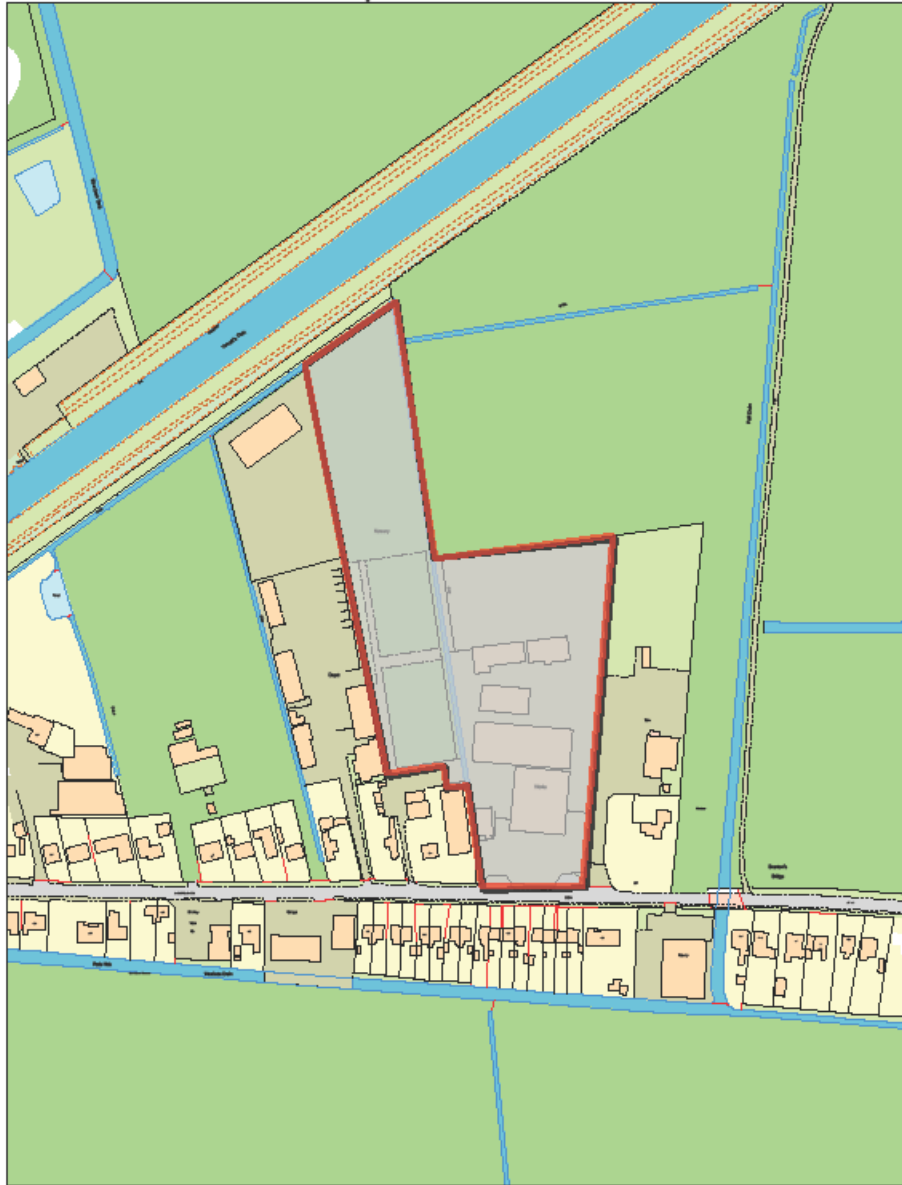
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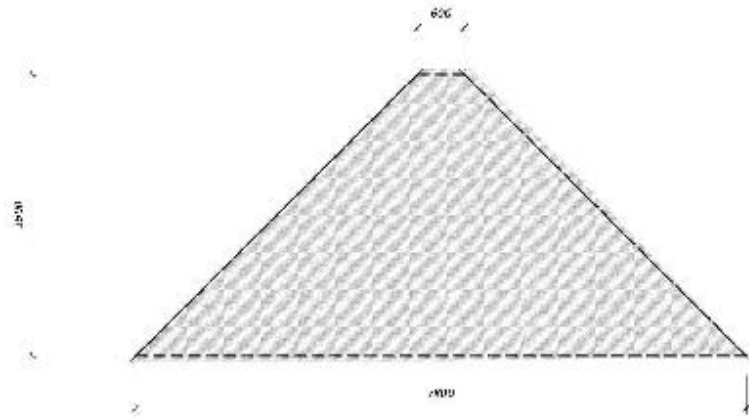
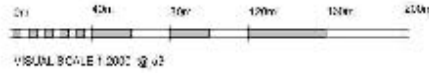
13.04.2016 15:11



MAP SCALE 1:2500
CREATED DATE: 15/05/2019
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LIABLE TO DISTORTION
IN SCALE



Client and contractor shall be responsible for obtaining all necessary planning permissions and consents for the proposed development. The contractor shall be responsible for obtaining all necessary consents for the proposed development. The contractor shall be responsible for obtaining all necessary consents for the proposed development. The contractor shall be responsible for obtaining all necessary consents for the proposed development.



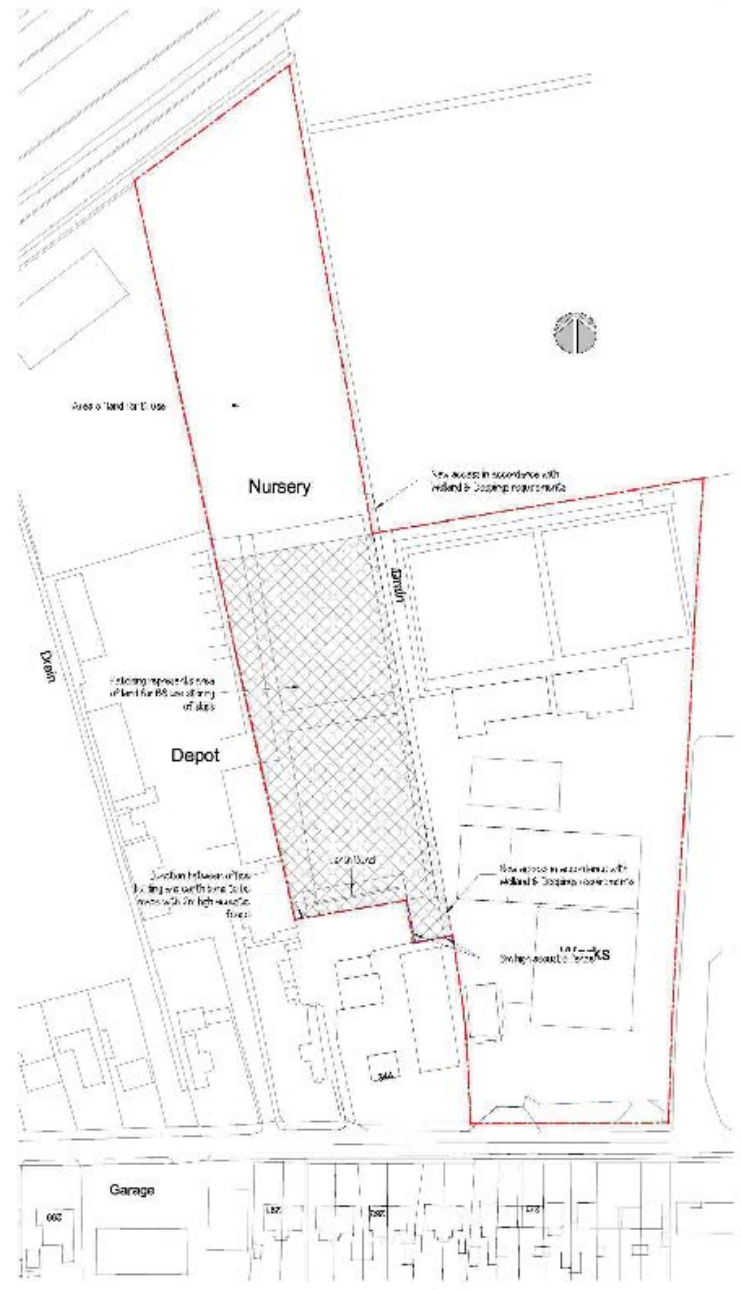
Earth Bund
1:10

MJL Skpmaster | Bourne Road | Spalding

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2943 / 02 rev C



Block Plan









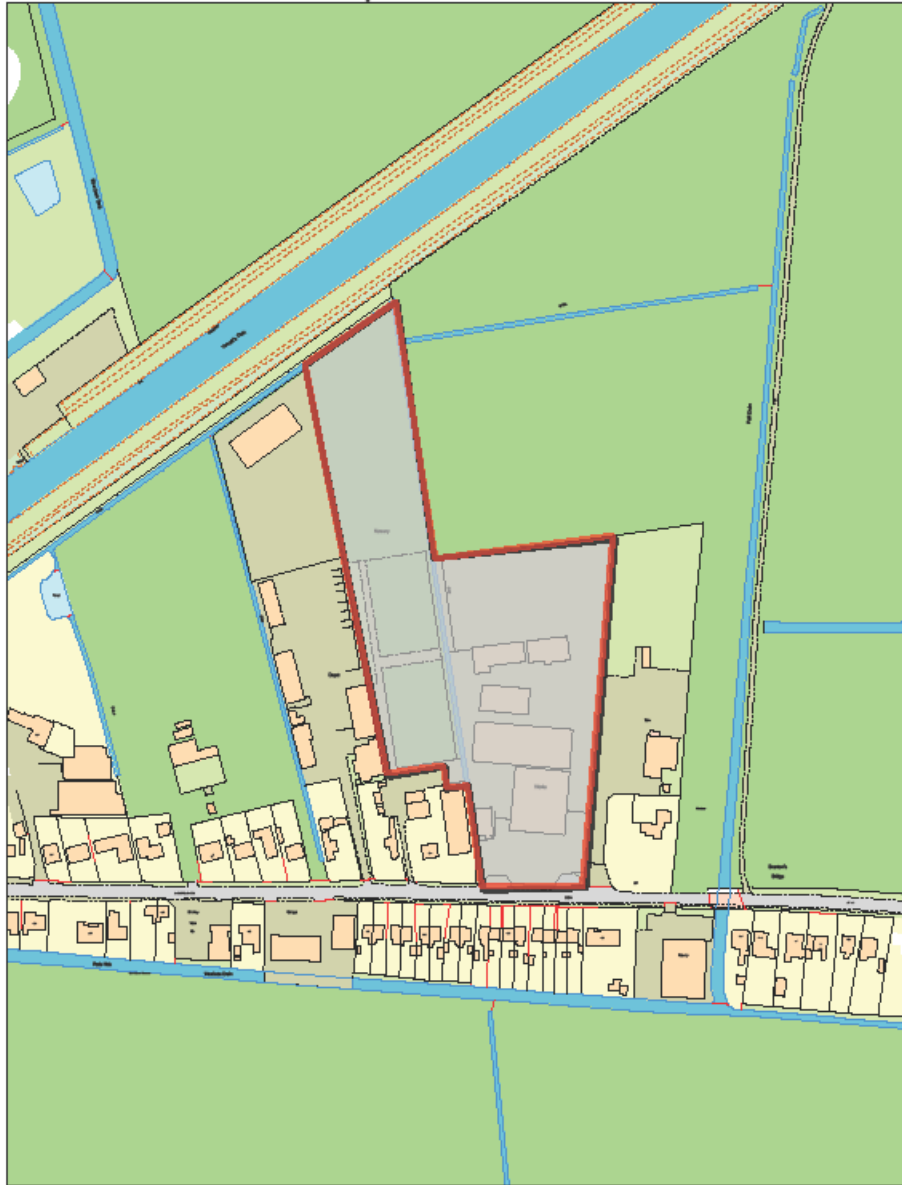




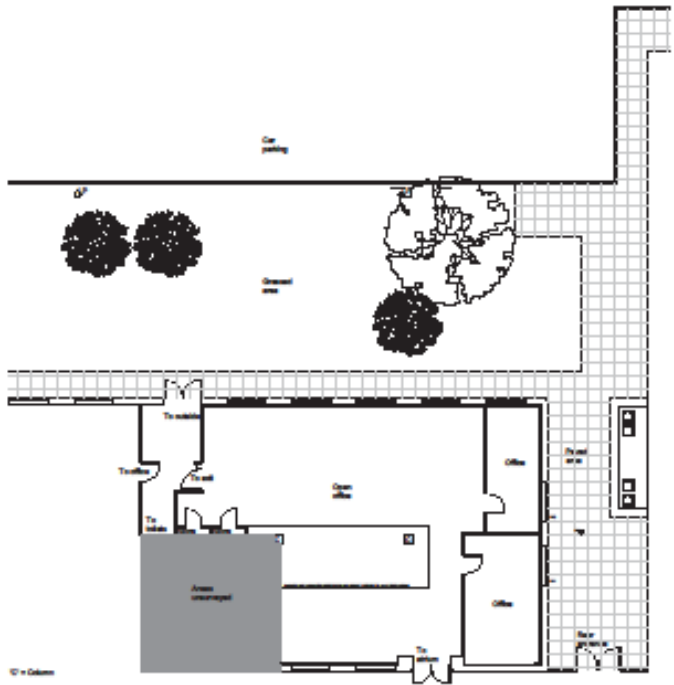




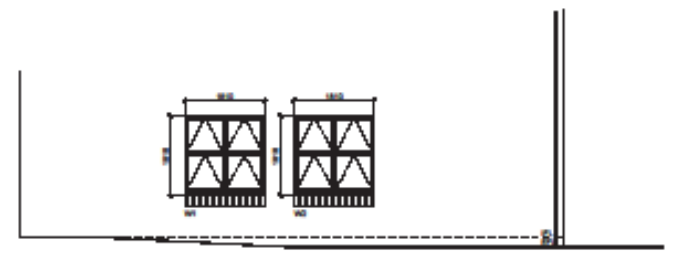




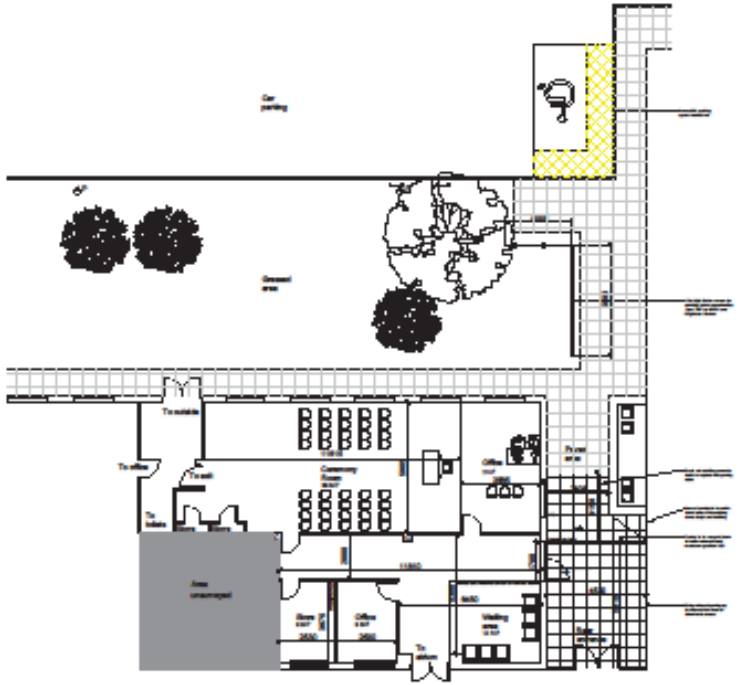




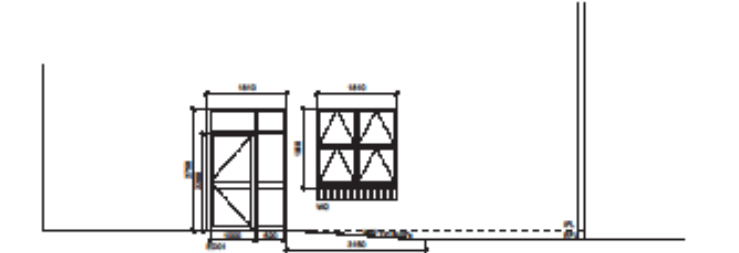
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Existing Plan 1:100



Existing Elevation @ 1:50



1/1 = Scale
Proposed Plan 1:100



Proposed Elevation @ 1:50

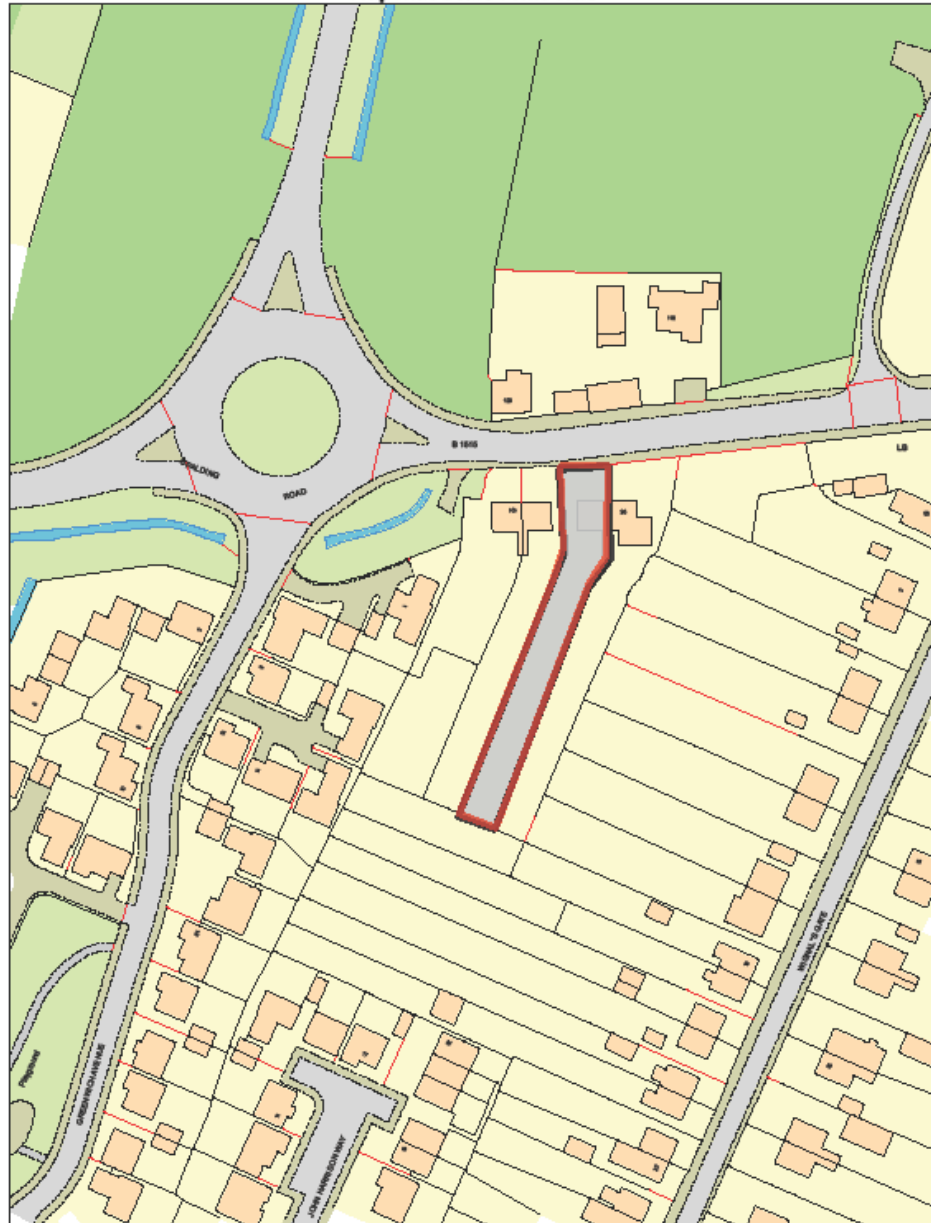
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Client	1000000000
Location	1000000000
Contract No.	1000000000
Contract Name	1000000000
Contract Description	1000000000
Contract Status	1000000000
Contract Start Date	1000000000
Contract End Date	1000000000
Contract Value	1000000000
Contract Currency	1000000000
Contract Unit	1000000000
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MapThat Scale Print Title



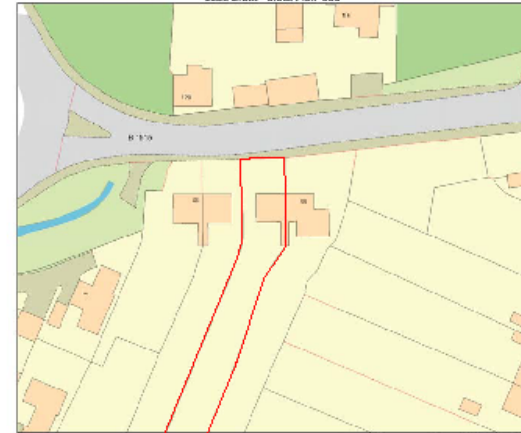
1032 Grant - Location Plan 2500



MAP SCALE 1: 2500
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1032 Grant - Block Plan 500



MAP SCALE 1: 500
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Rev.	Description	Date



CLIENT
 Mr N Abrams
 ADDRESS
 97 Spalding Road
 Holbeach
 PE12 7HW

PROJECT
 Accessibility Adaptations

Date
 13/03/2019

Project number
 DFG/19/1032

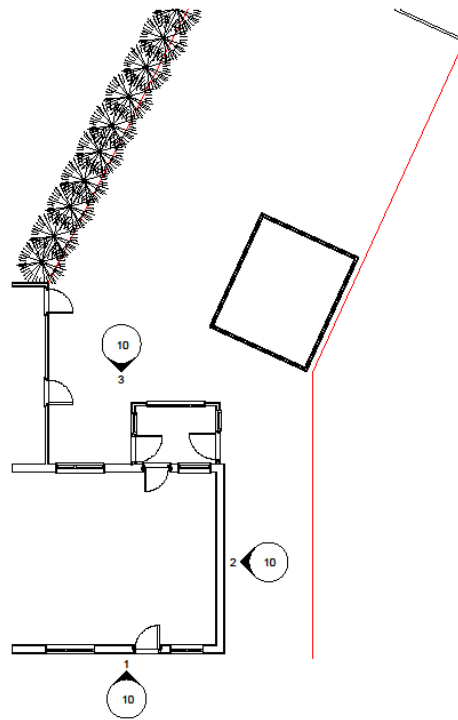
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SHEET
 Site Block Location

Drawn by
 SG

DRAWING NUMBER
 08

REV

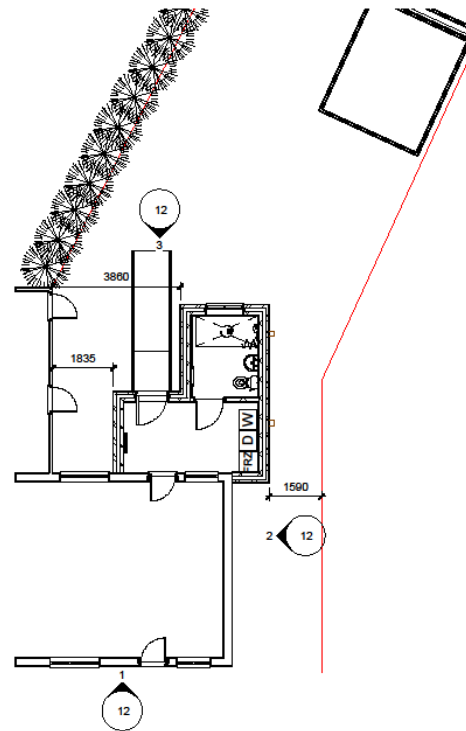


1 Site - (Existing)
1 : 100



Rev.	Description	Date

CLIENT ADDRESS Mr N Abrams 97 Spalding Road Holbeach PE12 7HW	PROJECT Accessibility Adaptations	Date 13/03/2019	Project number DFG/19/1032	Scale (@ A3) 1 : 100
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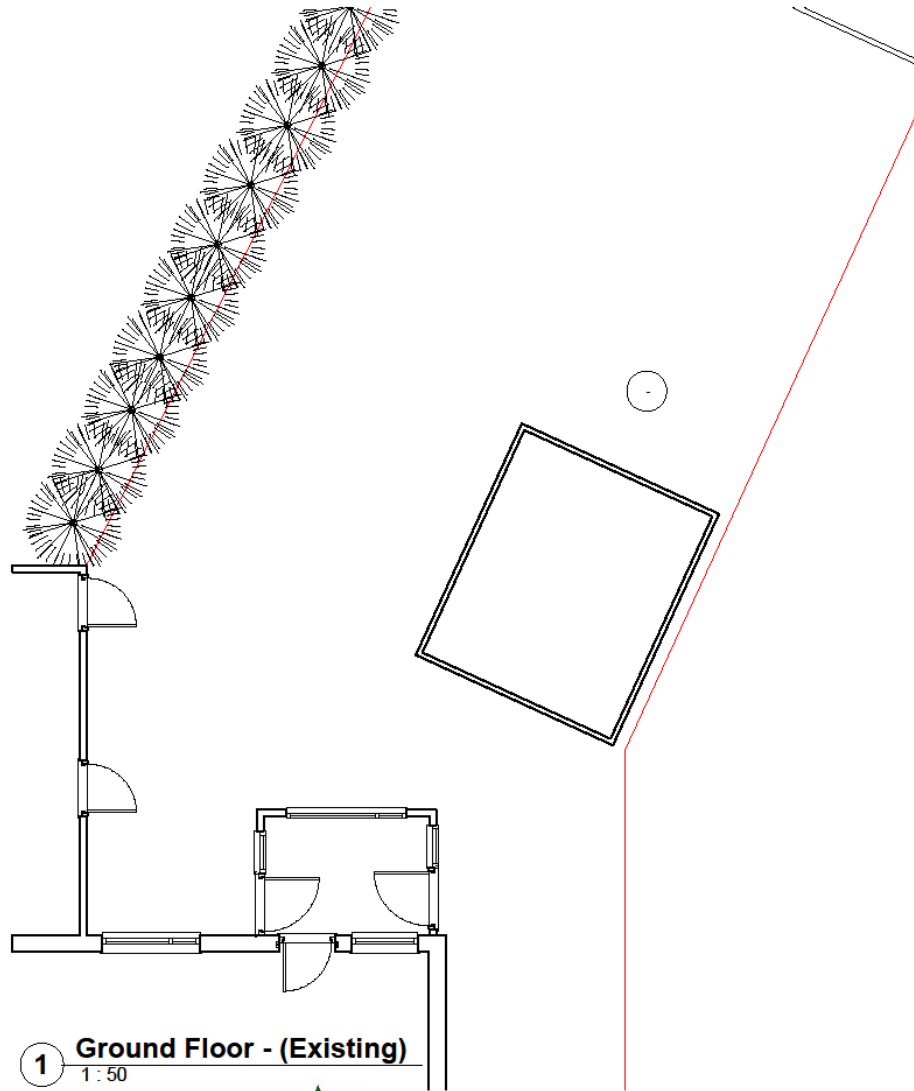


1 Site - (Proposed)
1 : 100



Rev.	Description	Date

CLIENT ADDRESS Mr N Abrams 97 Spalding Road Holbeach PE12 7HW	PROJECT Accessibility Adaptations	Date 13/03/2019	Project number DFG/19/1032	Scale (@ A3) 1 : 100
	SHEET Proposed Site Plan	Drawn by SG	DRAWING NUMBER 11	REV

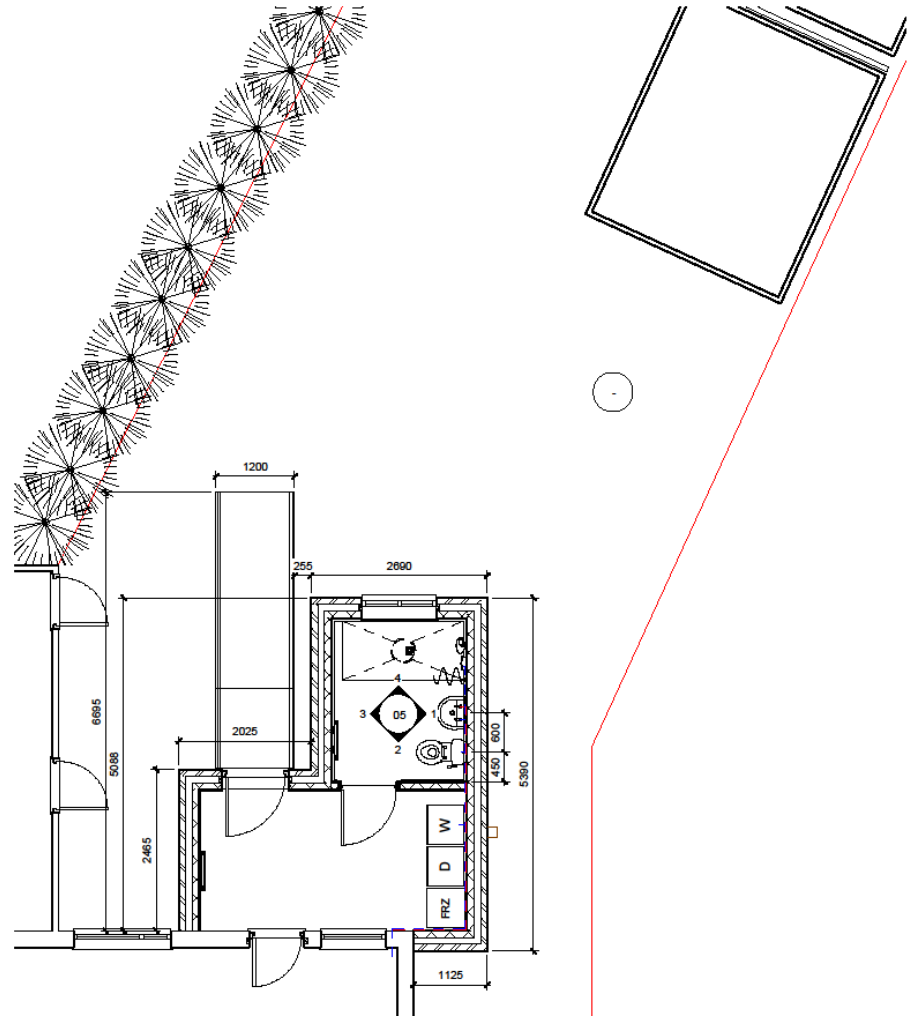


1 Ground Floor - (Existing)
1 : 50



Rev.	Description	Date

CLIENT ADDRESS Mr N Abrams 97 Spalding Road Holbeach PE12 7HW	PROJECT Accessibility Adaptations	Date 13/03/2019	Project number DFG/19/1032	Scale (@ A3) 1 : 50
	SHEET Existing Ground	Drawn by SG	DRAWING NUMBER 01	REV

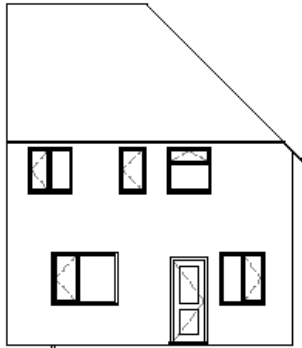


1 Ground Floor - (Proposed)
1 : 50

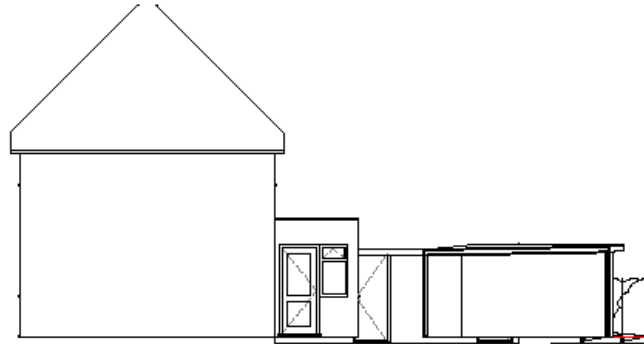


Rev.	Description	Date

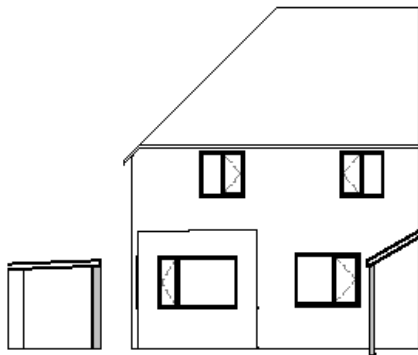
CLIENT Mr N Abrams ADDRESS 97 Spalding Road Holbeach PE12 7HW	PROJECT Accessibility Adaptations	Date 13/03/2019	Project number DFG/19/1032	Scale (@ A3) 1 : 50
	SHEET Proposed Ground	Drawn by SG	DRAWING NUMBER 04	REV



1 Front Elevation - (Existing)
1 : 100



2 Side Elevation - (Existing)
1 : 100



3 Rear Elevation - (Existing)
1 : 100

Rev.	Description	Date



CLIENT Mr N Abrams
 ADDRESS 97 Spalding Road
 Holbeach
 PE12 7HW

PROJECT Accessibility Adaptations
 SHEET Existing Elevations

Date 13/03/2019
 Drawn by SG

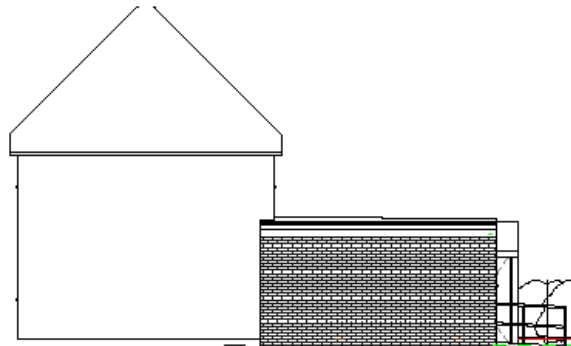
Project number DFG/19/1032
 DRAWING NUMBER 10

Scale (@ A3) 1 : 100

REV



1 Front Elevation - (Proposed)
1 : 100



2 Side Elevation - (Proposed)
1 : 100



3 Rear Elevation - (Proposed)
1 : 100

Rev.	Description	Date



CLIENT Mr N Abrams
 ADDRESS 97 Spalding Road
 Holbeach
 PE12 7HW

PROJECT Accessibility Adaptations
 SHEET Proposed Elevations

Date 13/03/2019
 Drawn by SG

Project number DFG/19/1032
 DRAWING NUMBER 12

Scale (@ A3) 1 : 100
 REV



