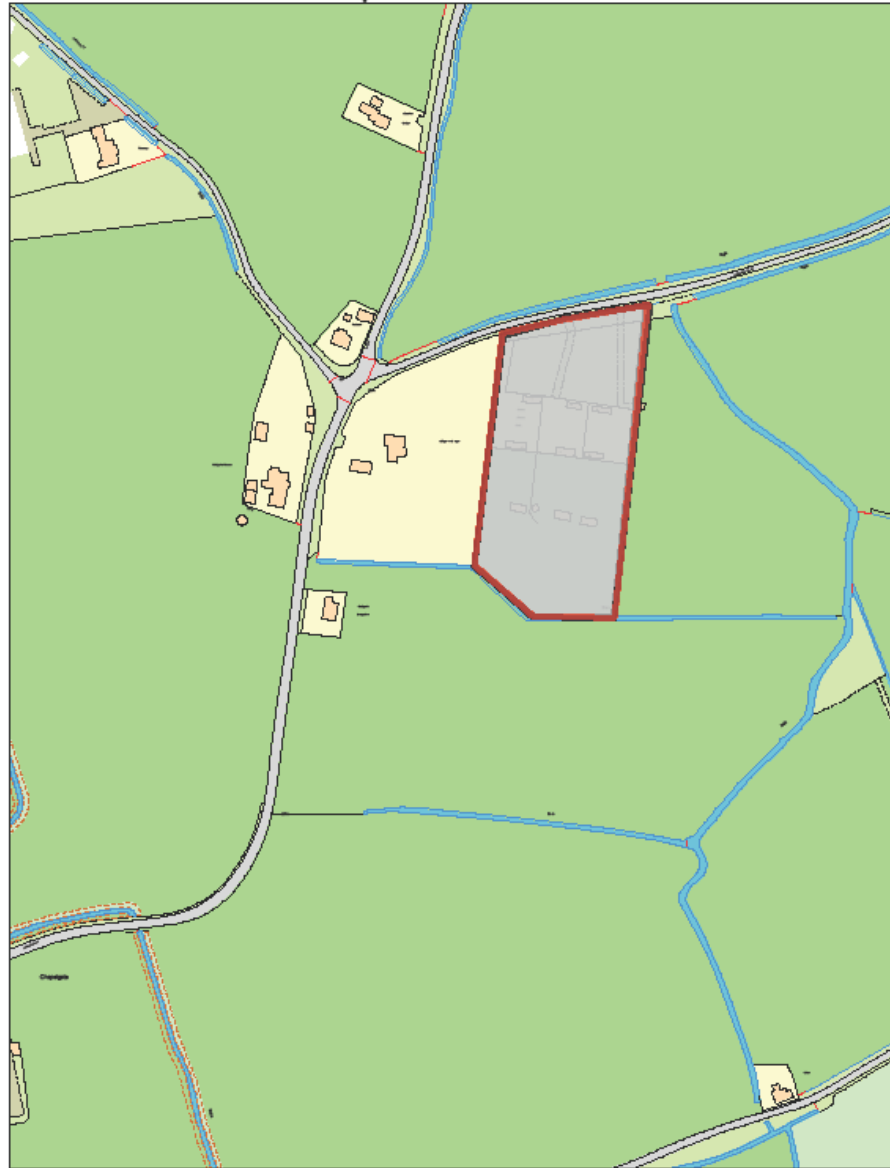


# Welcome to the Planning Committee





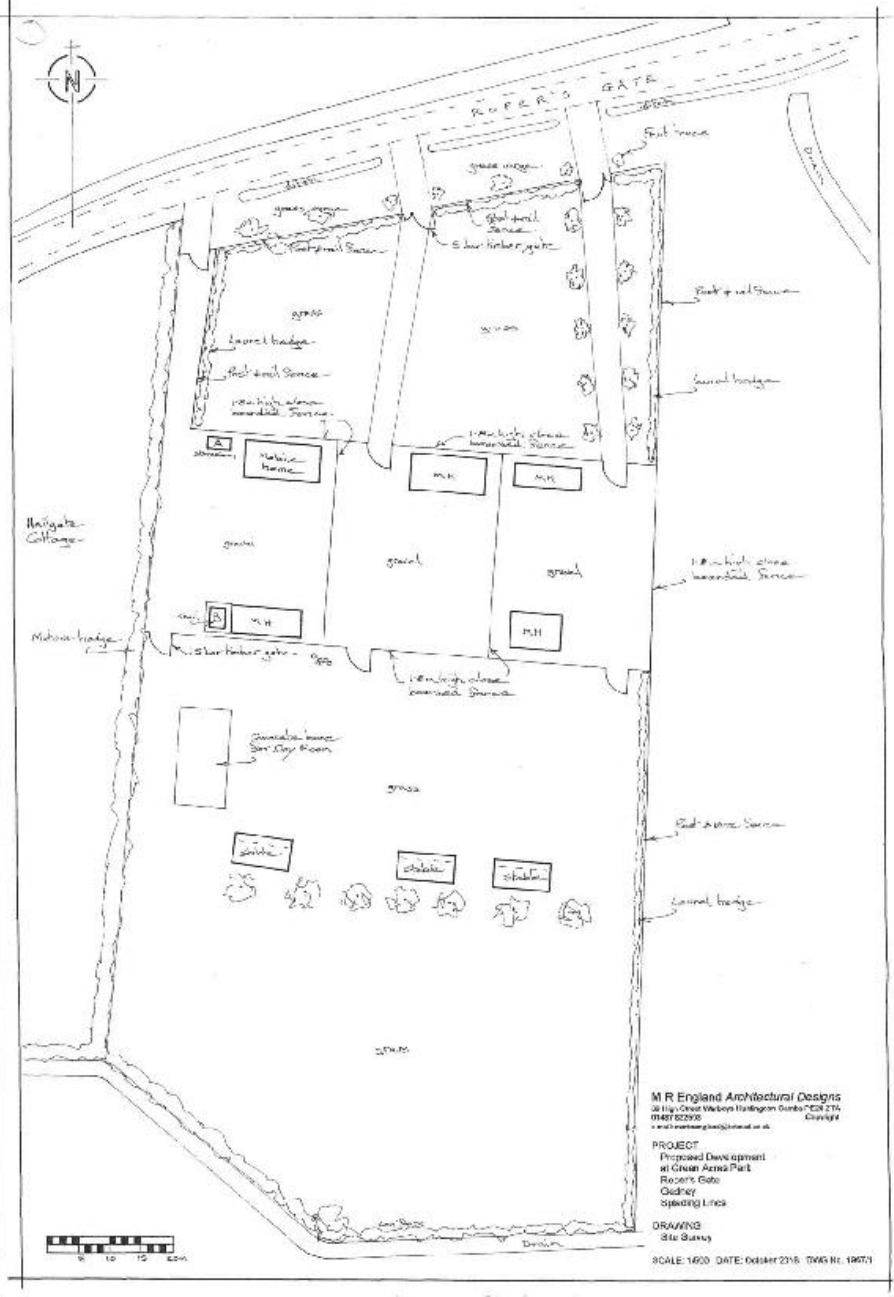
**LOCATION PLAN**

Green Screen  
 Popper's Gate  
 Gedney  
 FE12 0GR

DC Measure (2002/2001) 0000 4000  
 Policy, Deed of 20 2018, 10 3001-0071-032  
 www.blackwellmapping.co.uk  
 1:1250 scale printed at A3, Contour 5415042 004905 N



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 www.blackwellmapping.co.uk  
 TEL: 01502 372 477  
 www.enquiries@blackwell.co.uk



M R England Architectural Designs  
 25 High Street, Weymouth, Dorset DT8 2TA  
 01305 822900  
 www.mrendland.co.uk

PROJECT  
 Proposed Development  
 at Green Acres Farm  
 Roper's Gate  
 Osney  
 Oxfordshire

DRAWING  
 Site Survey

SCALE: 1:600 DATE: 06/04/21 BY: DWG No. 19671





**N. R. Eckland Architecture Design**  
 2000 20th Street, Suite 100, Columbus, OH 43206  
 614.291.1234

**Project:**  
 Proposed Development  
 at 2000 20th Street  
 Columbus, OH

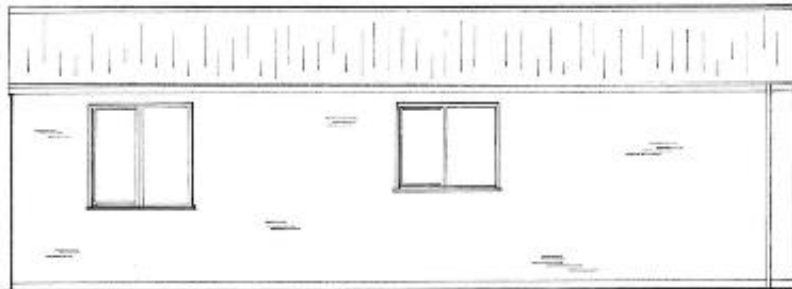
**Client:**  
 Redwood  
 LLC

**Drawn:**  
 Proposed Site Plan

**Scale:**  
 1" = 20'

- KEY**
- M1 Mobile Home
  - M2 Rowhome
  - T Town
  - E Entry
  - P Parking
  - F Fencing, concrete base
  - R Rowing
  - A Area
  - W Water
  - L Landscape
  - 10' x 10' Plantings
  - 6' x 6' Plantings
  - 4' x 4' Plantings
  - 10' x 10' Plantings
  - 6' x 6' Plantings
  - 4' x 4' Plantings

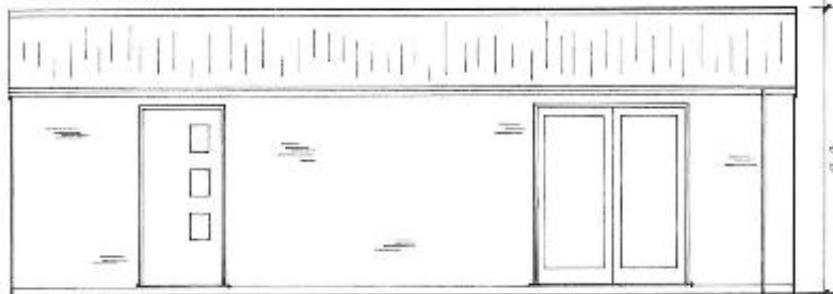




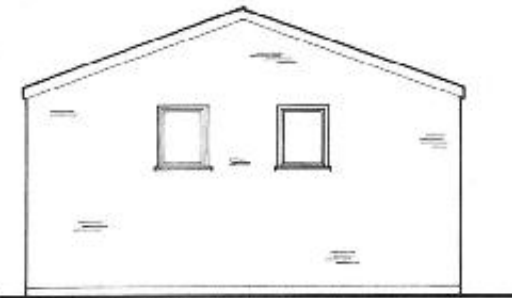
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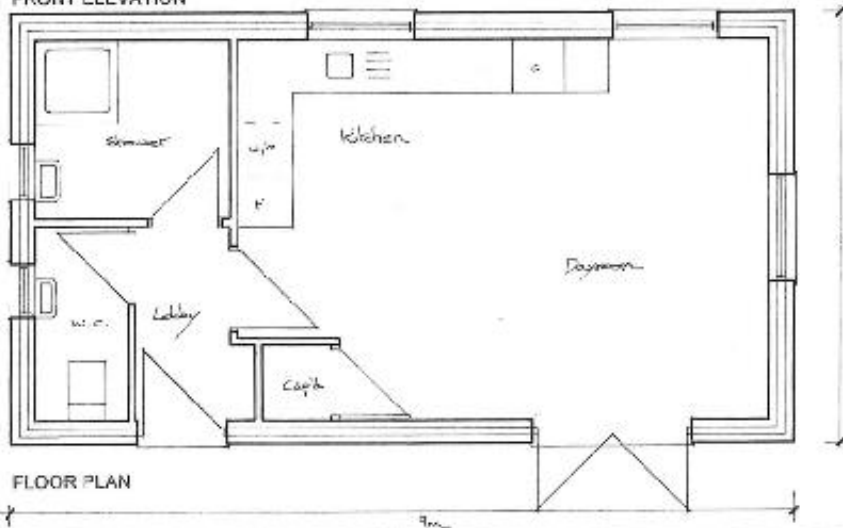
SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



FLOOR PLAN



M R England Architectural Design  
 58 High Street Warwick, Warwick, CV35 9EF  
 01457 822933  
 e-mail: contact@mrdesign.co.uk

PROJECT  
 Proposed Development  
 at Green Acres Park  
 Roger's Gate  
 Godfrey  
 Spalding Lines

DRAWING  
 Floor Plan & Elevations - Day Room - Plot 4.8

SCALE: 1/50 DATE: June 2019 DWG No: 15814A  
 E.A.S.















































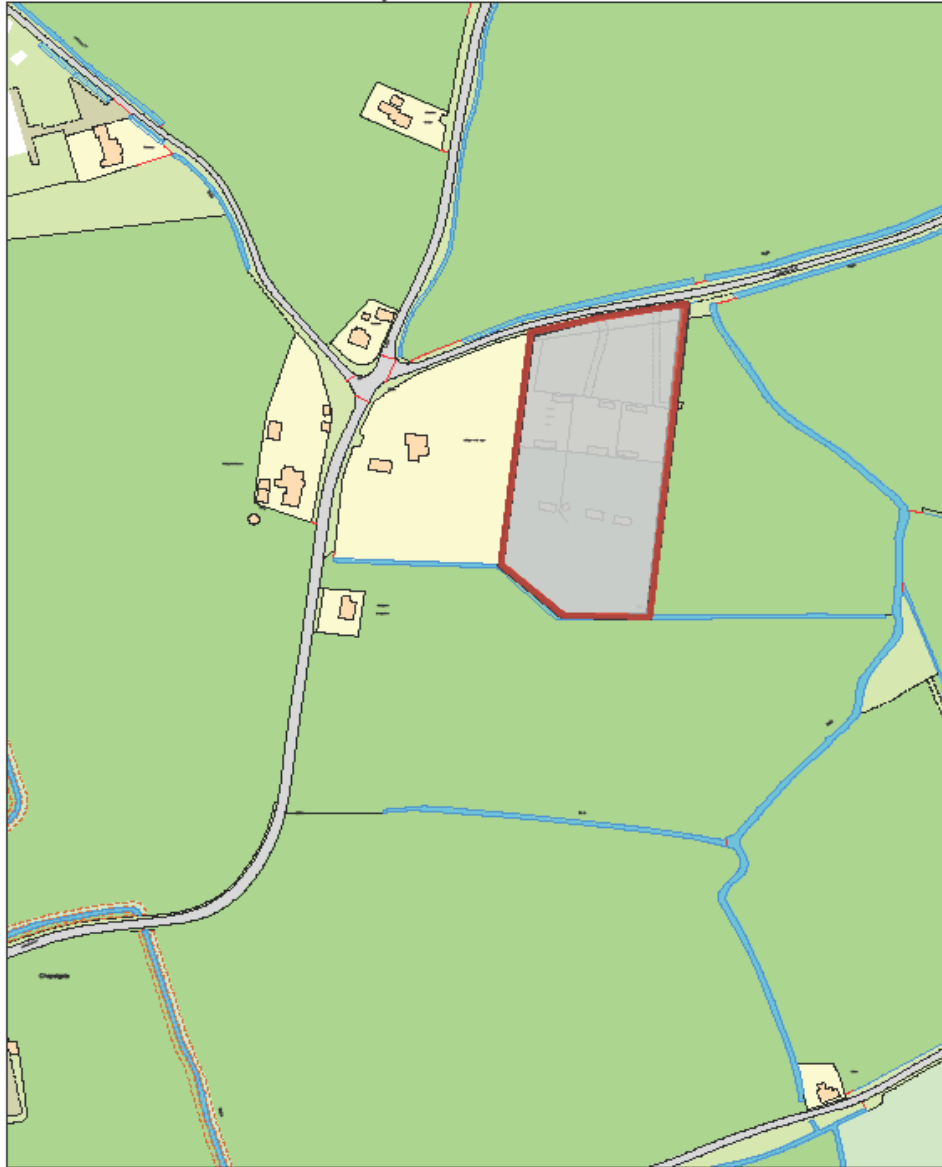








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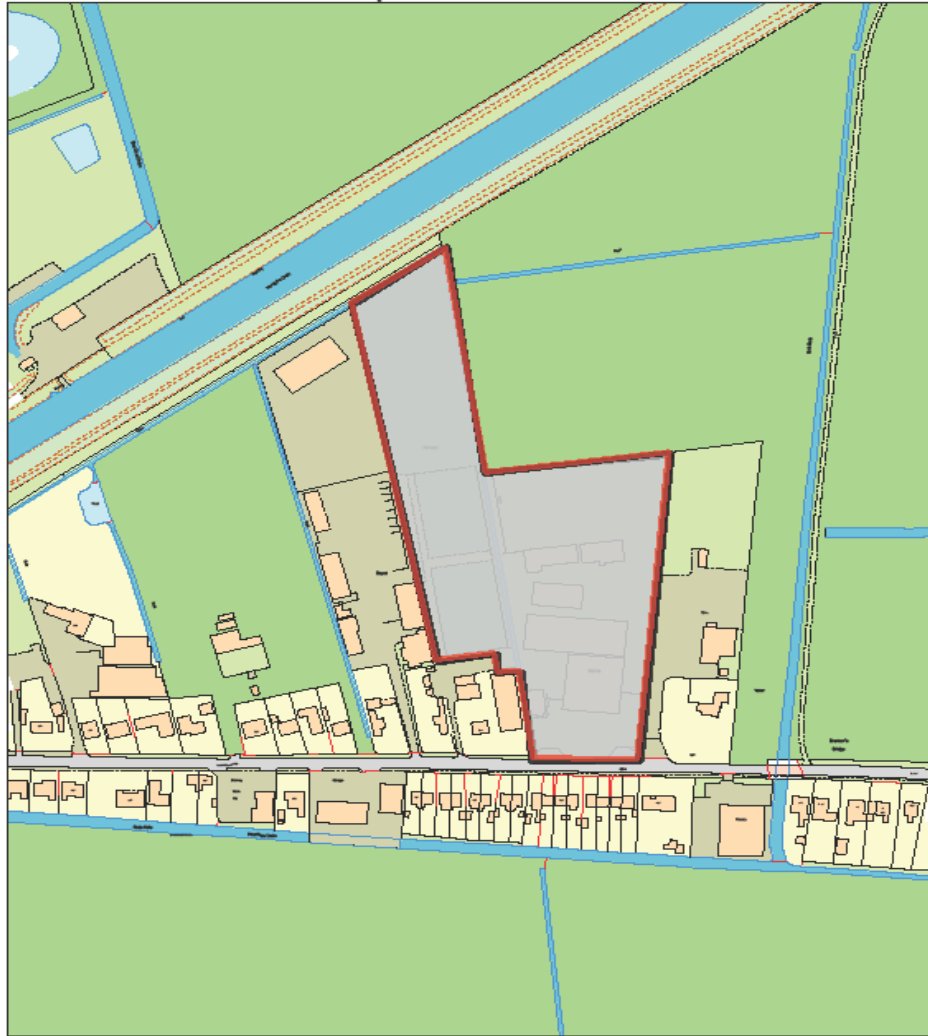


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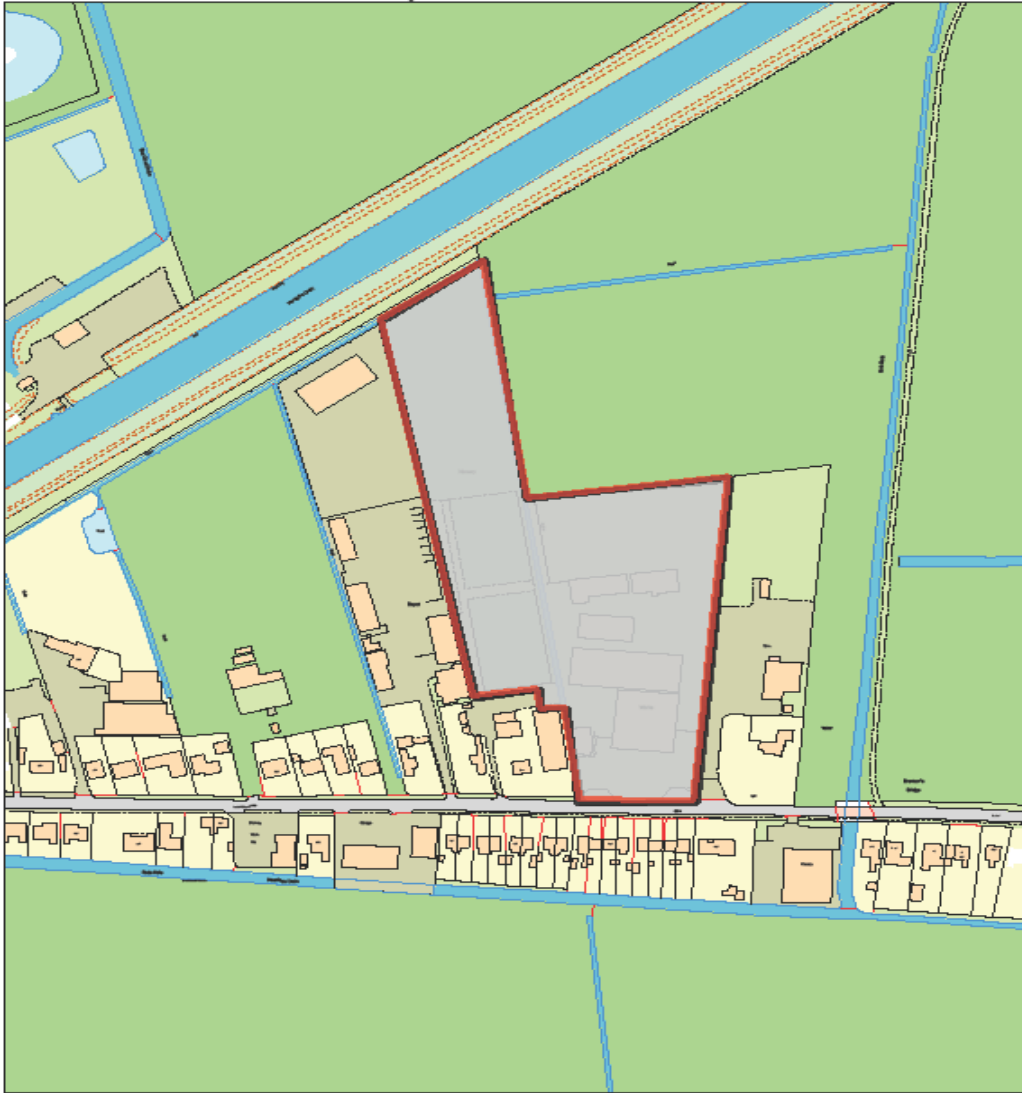








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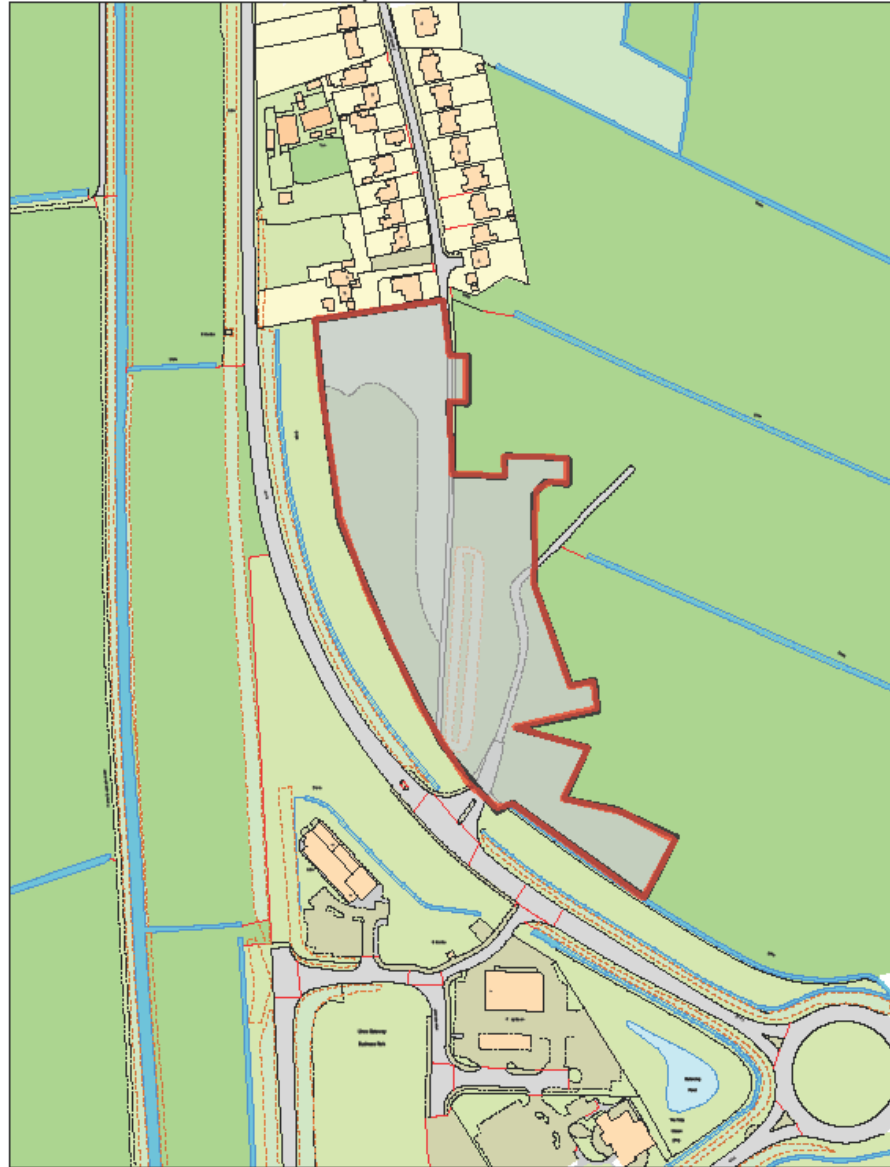
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S O U T H  
HOLLAND  
FIRST ESTATE

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— Application Boundary  
— Adjacent land in applicants ownership

No.	Date	Description



1 Goodson Road, Lincs Gateway Business Park,  
Spalding, Lincs, PE12 8PY T: 01438 488888

PROJECT:  
**Proposed Development  
at Lincs Gateway, Spalding**

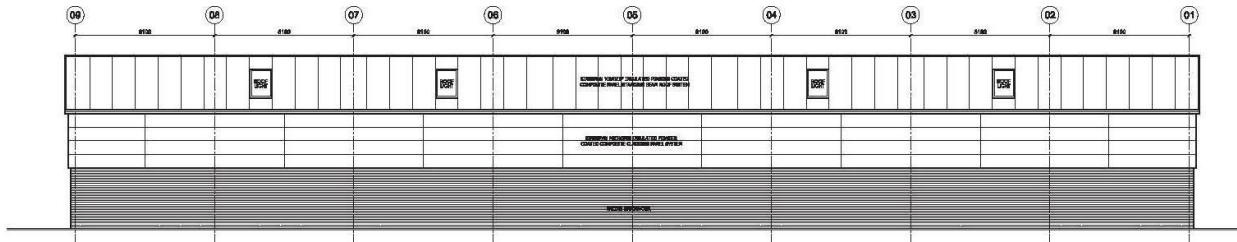
DRAWING:  
**Block Location Plan**

SCALE: 1:2500@A2 DRAWN: NIZ  
DATE: NOV 2018 REVISION: -  
DRAWING No: 96-BLP-01

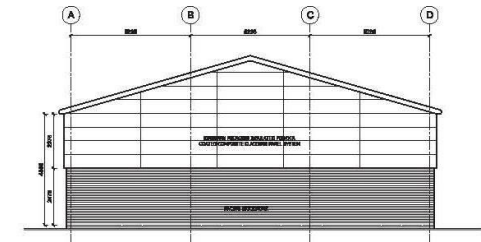




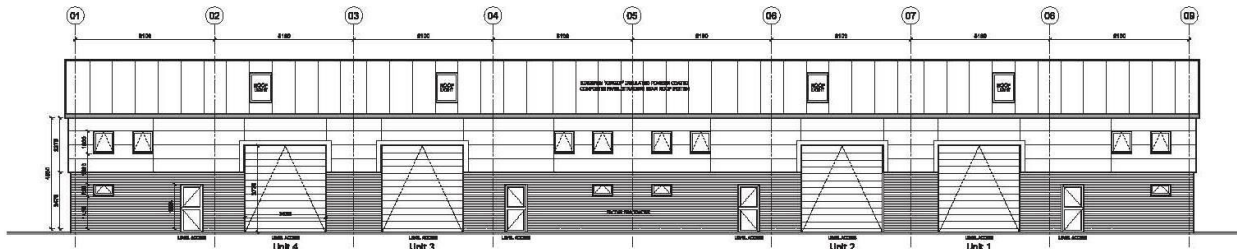




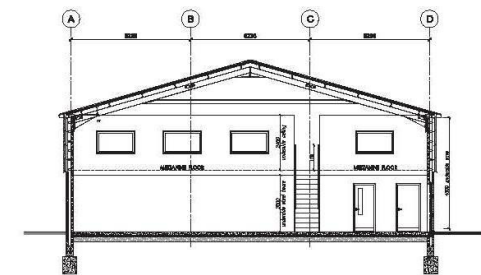
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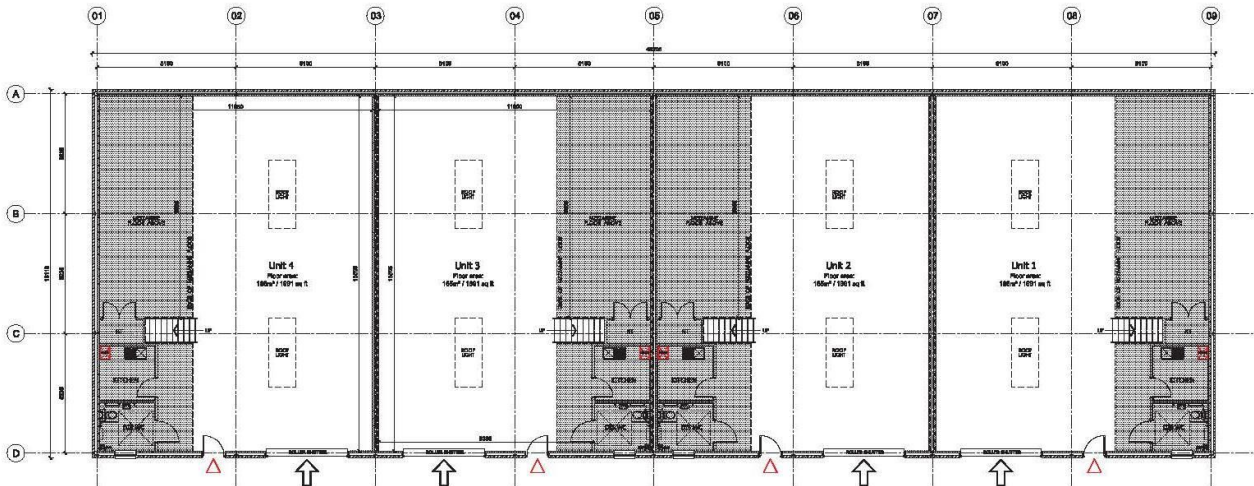
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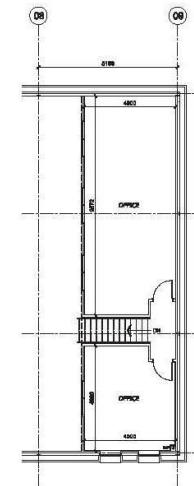
FRONT ELEVATION



TYPICAL SECTION A-A

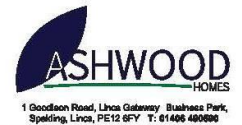


GROUND FLOOR PLAN  
BUILDING 1  
Floor area  
746m<sup>2</sup> / 7991 sq ft



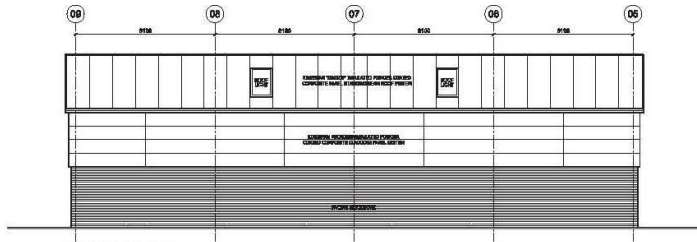
MEZZANINE FLOOR PLAN

No.	Date	Description

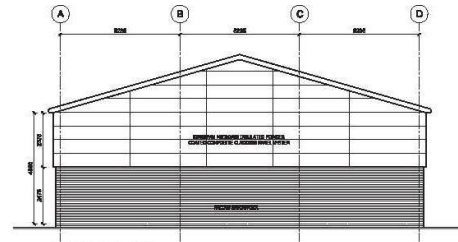


PROJECT:	
Proposed Development at Lincs Gateway, Spalding	
DRAWING:	
Building 1 Floor plan & Elevations	
SCALE: 1:100@A1	DRAWN: MII
DATE: SEP.2018	REVISION: -
DRAWING NO: 96-B1-100	

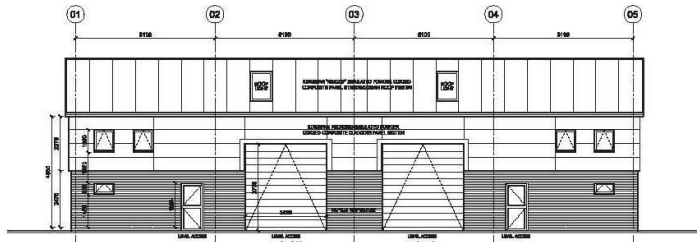




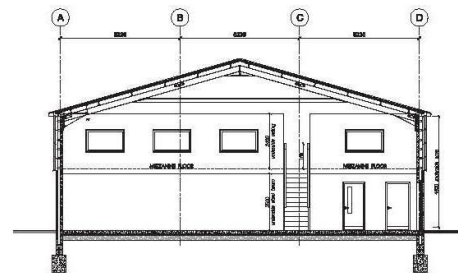
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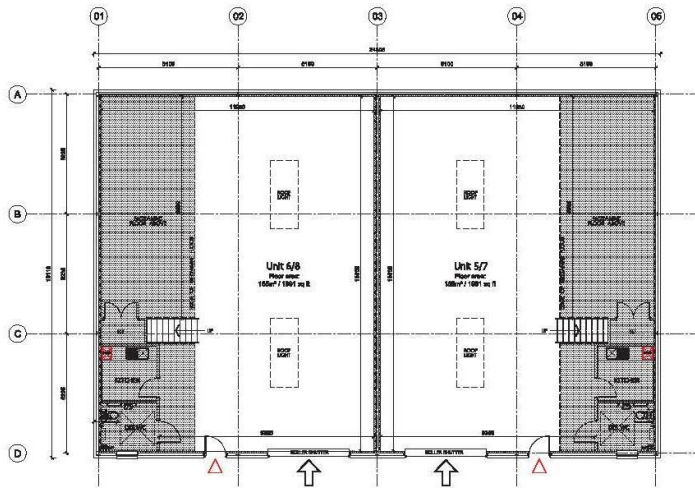
SIDE ELEVATION



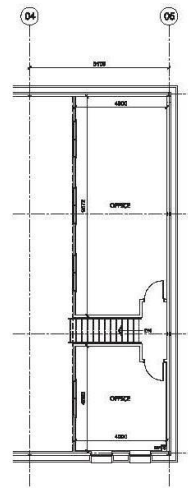
FRONT ELEVATION



TYPICAL SECTION A-A



GROUND FLOOR PLAN  
BUILDING 2/3  
Floor area:  
310m² / 1681 sq ft



MEZZANINE FLOOR PLAN

Rev.	Date	Description

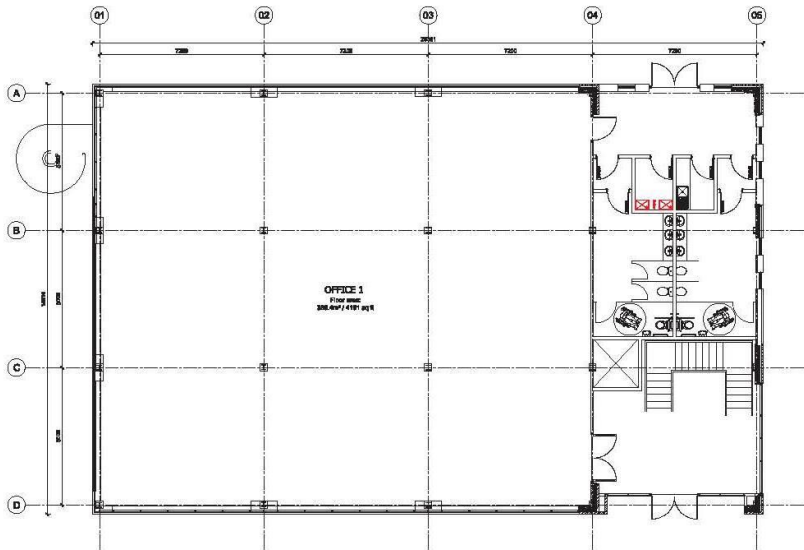


1 Goodfellow Road, Lincs Gateway Business Park,  
Spalding, Lincs, PE12 6FY T: 01406 480880

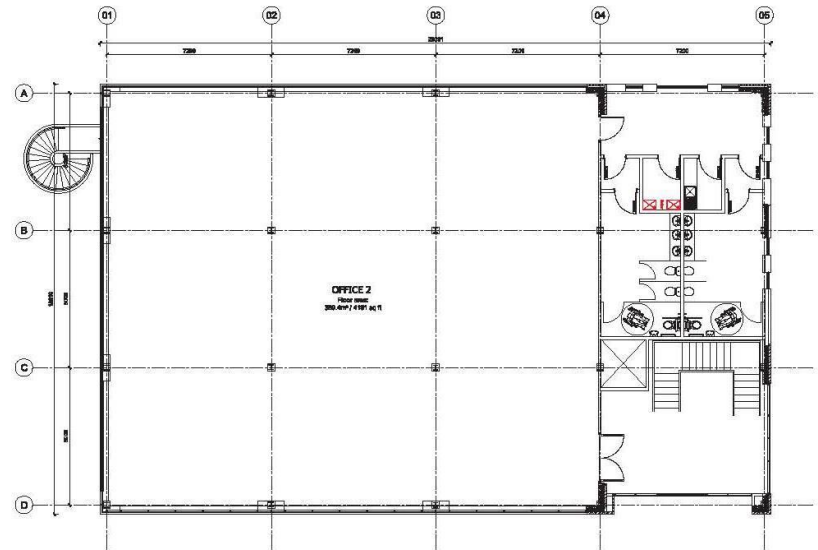
PROJECT:	Proposed Development at Lincs Gateway, Spalding
DRAWING:	Building 2 & 3 Floor plan & Elevations

SCALE:	1:100@A1	DRAWN:	MI
DATE:	SEP 2018	REVISION:	-

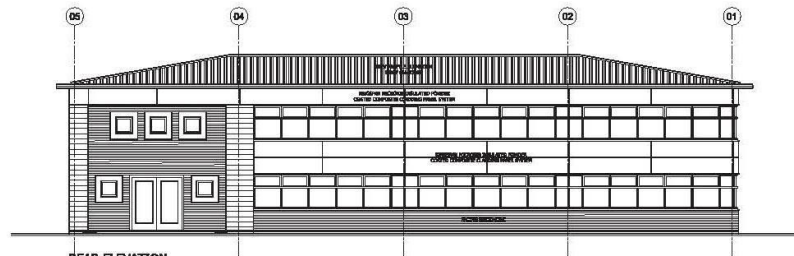
DRAWING No:	96-B2/3-100
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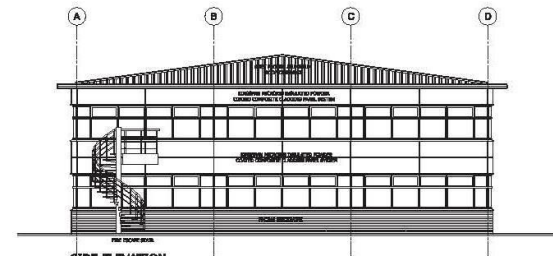
GROUND FLOOR PLAN  
BUILDING 4



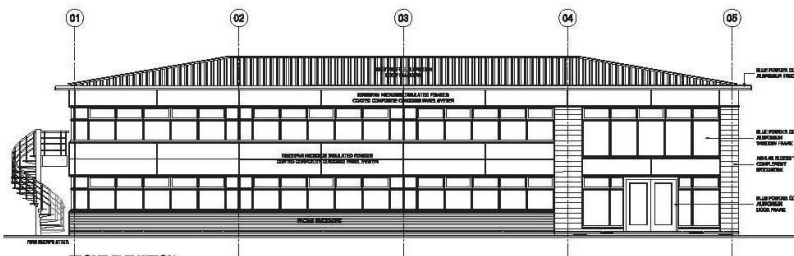
FIRST FLOOR PLAN



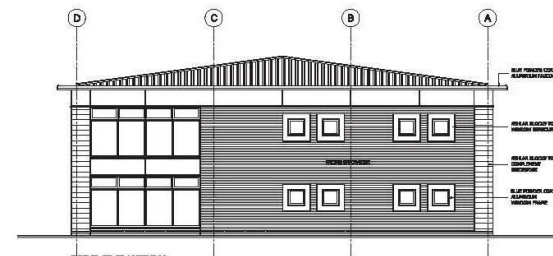
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SIDE ELEVATION

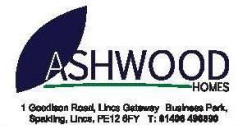


FRONT ELEVATION



SIDE ELEVATION

Rev.	Date	Description



PROJECT:	
Proposed Development at Lincs Gateway, Spalding	
DRAWING:	
Building 4 Floor plan & Elevations	
SCALE:	1:100@A1
DATE:	OCT.2018
DRAWN:	MIL
REVISION:	-
DRAWING No: 96-B4-100	





FRONT ELEVATION



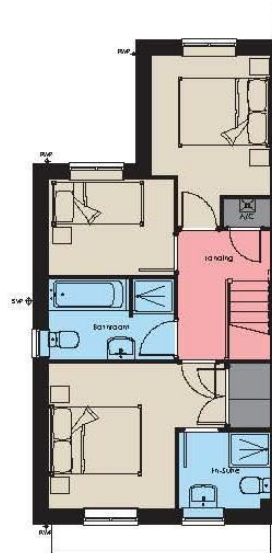
SIDE ELEVATION



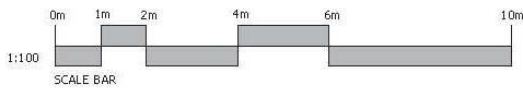
REAR ELEVATION



GROUND FLOOR



FIRST FLOOR



Rev.	Date	Description



1 Goodson Road, Linc Oakley, Burdette Park, Epsom, Lincs, PE12 6FY T: 01462 490290

PROJECT:	Proposed Development at Lincs Gateway, Spalding
HOUSE TYPE:	AVON (910sqft)
DRAWING:	DESIGN SHEET

SCALE:	1:100@A3	DRAWN:	ME
DATE:	09.04.2018	REVISION:	-
DRAWING No:	96-AV-001		



FRONT ELEVATION

SIDE ELEVATION

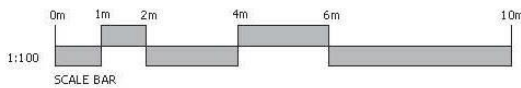
REAR ELEVATION



GROUND FLOOR



FIRST FLOOR



Rev	Date	Description

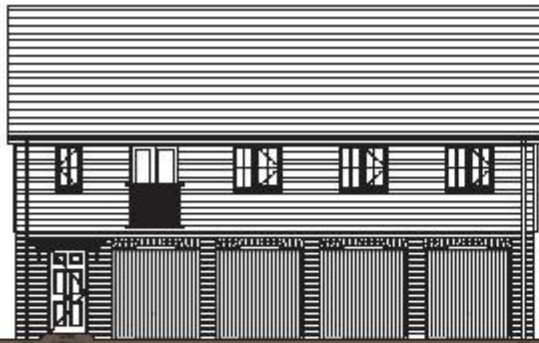


1 Quendon Road, Lincoln Da Waley, Spalding, Lincoln, PE12 6FY T: 01454 480890

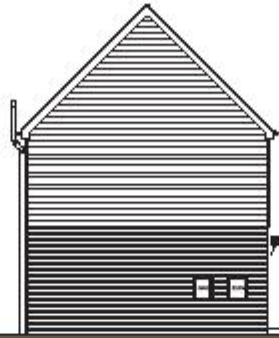
PROJECT:	Proposed Development at Lincs Gateway, Spalding
HOUSE TYPE:	CLYDE (783sqft)
DRAWING:	DESIGN SHEET

SCALE:	1:100@A3	DRAWN:	MJE
DATE:	09.04.2018	REVISION:	-
DRAWING No:	96-CLY-001		

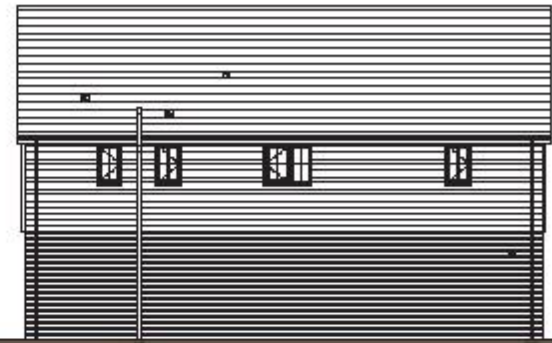




FRONT ELEVATION



SIDE ELEVATION

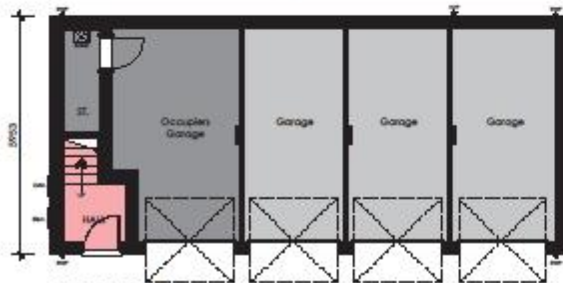


REAR ELEVATION



FIRST FLOOR PLAN

12928



GROUND FLOOR PLAN



1:200



1 Gordon Road, Iron Delivery Business Park,  
Spalding, Lincs PE12 4Y 1:12.25.2018

PROJECT	Proposed Development of Ulms Gateway, Spalding
HOUSE TYPE	HOLLAND (774sq ft)
DRAWING	DESIGN SHEET

SCALE: 1:100000 DRAWN: MB

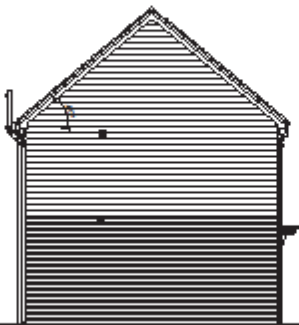
DATE: 12.08.2018 REVISION: -

DRAWING NO: 96-HOL-001

Boarded Version



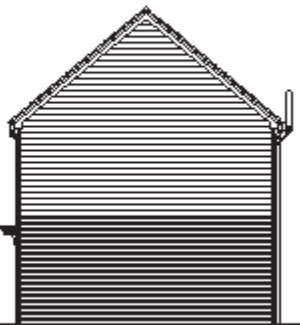
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



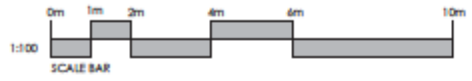
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



No.	Date	Revised



PROJECT	
Proposed Development of Uxbridge Gateway, Spelling	
HOUSE NO.	LOCK (1079sq ft)
DRAWING	
DESIGN SHEET	
SCALE	1:100
DATE	13.07.2018
DRAWN BY	CMR
CHECKED BY	-
DESIGNED BY	96-LOK-002





FRONT ELEVATION



SIDE ELEVATION



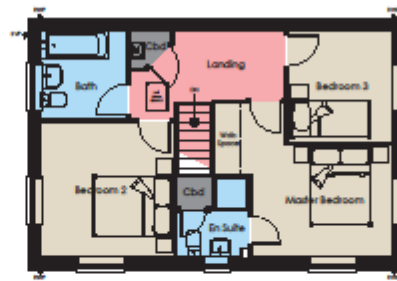
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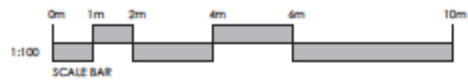
SIDE ELEVATION



GROUND FLOOR

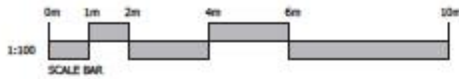


FIRST FLOOR



PROJECT	
Proposed Development of Uxins Golfway, Spalding	
HOUSE TYPE	
MERE (3010sq ft)	
DRAWING	
DESIGN SHEET	
SCALE	1:1000000
DATE	29.04.2018
DRAWN BY	AB
REVISION	-
DRAWING NO.	96-MER-002

Boarded Version






11 Greenham Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8JF. T: 01429 455961

PROJECT:	Proposed Development at Lincs Gateway, Spalding	
HOUSE TYPE:	NENE (1077 sq ft)	
DRAWING:	DESIGN SHEET	
SCALE:	1:100(A)	DATE: 13.07.2018
DATE:	13.07.2018	REVISION: -
DRAWING NO.:	96-NENE-002	

Boarded Version





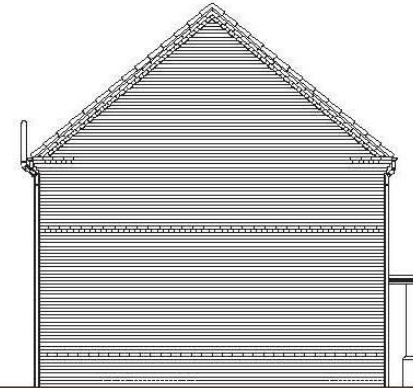
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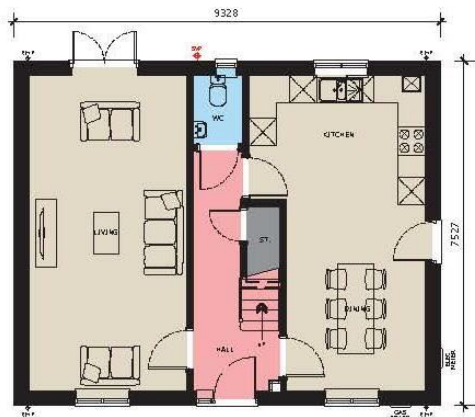
SIDE ELEVATION



REAR ELEVATION



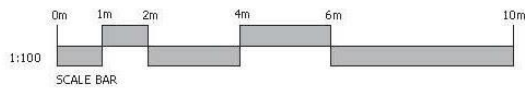
SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

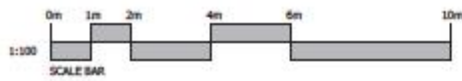
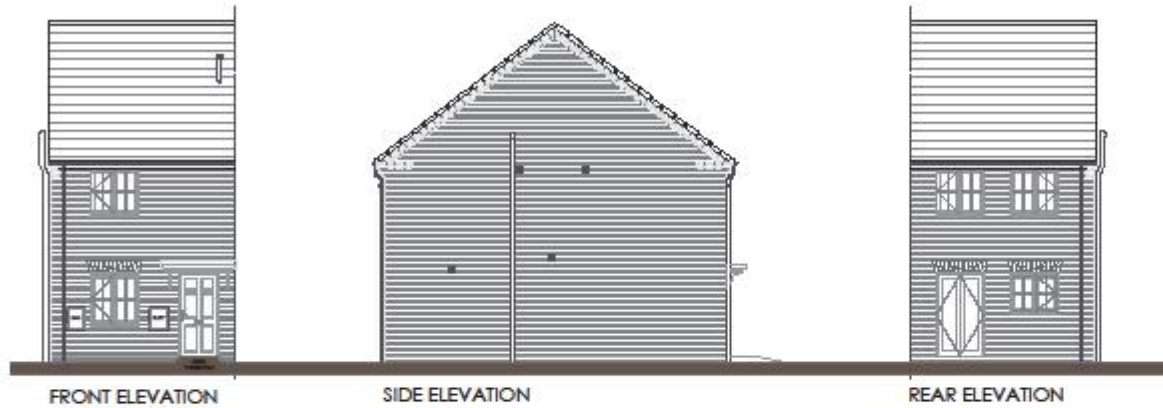


Rev	Date	Description



1 Claxton Road, Lincs Gateway, Spalding, Lincs, PE12 0YJ. T: 01454 48181

PROJECT:	
Proposed Development at Lincs Gateway, Spalding	
HOUSE TYPE:	
RIBBLE (1283sq ft)	
DRAWING:	
DESIGN SHEET	
SCALE:	1:100@A3
DATE:	09/04/2018
DRAWN:	MEI
REVISION:	-
DRAWING No: 96-RIBB-001	



Proposed Development of Uchs Gateway, Spalding	
SCALE TYPE	WELLAND (713sq ft)
DESCRIPTION	DESIGN SHEET
SCALE	1:100(0)
DATE	06.09.2020
PROJECT NO.	96-WELL-001









ASHWOOD  
Sustainable Living













DAVIS





Pattersonville  
ATFD

North 100  
Hickman 200  
King & Lynn 400  
Granham 600

THE VOICE





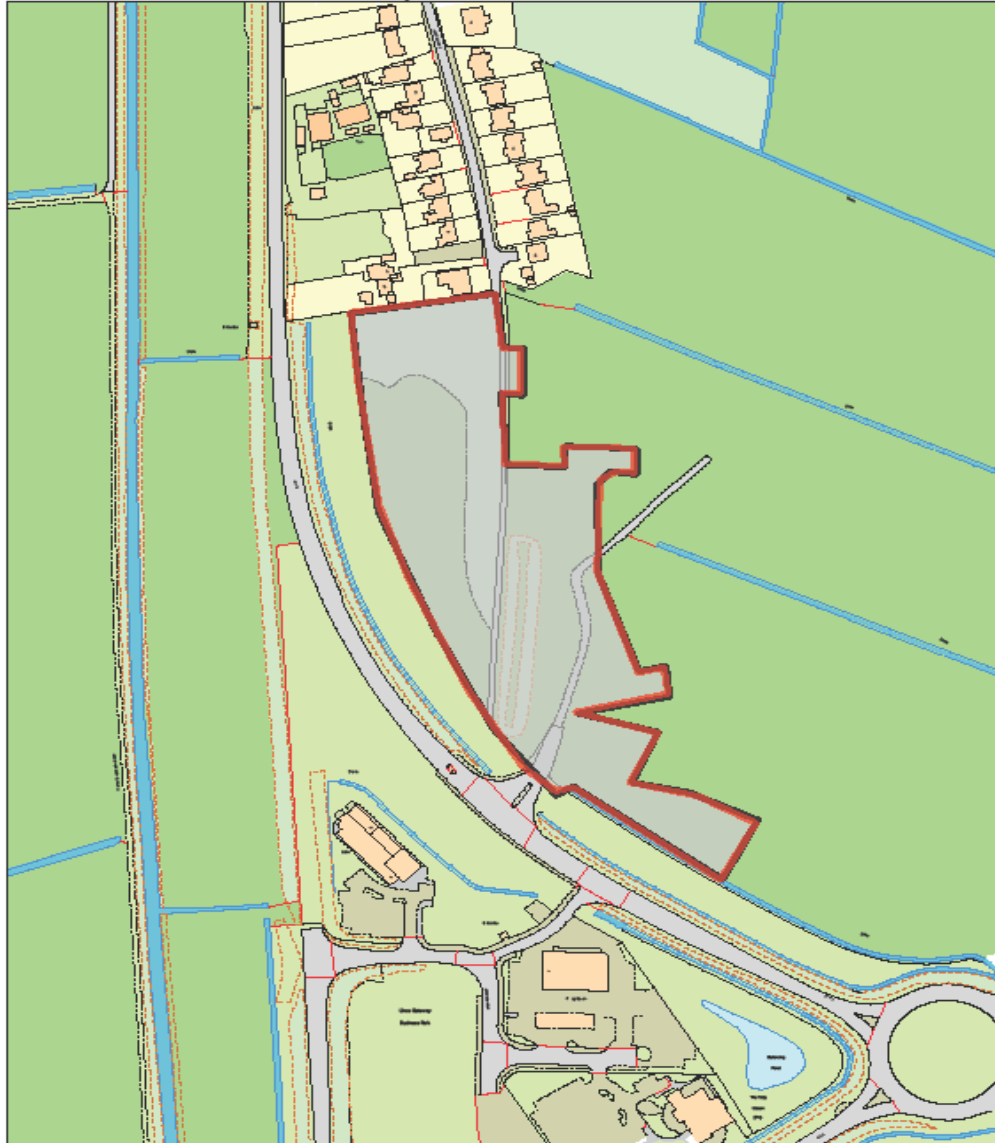








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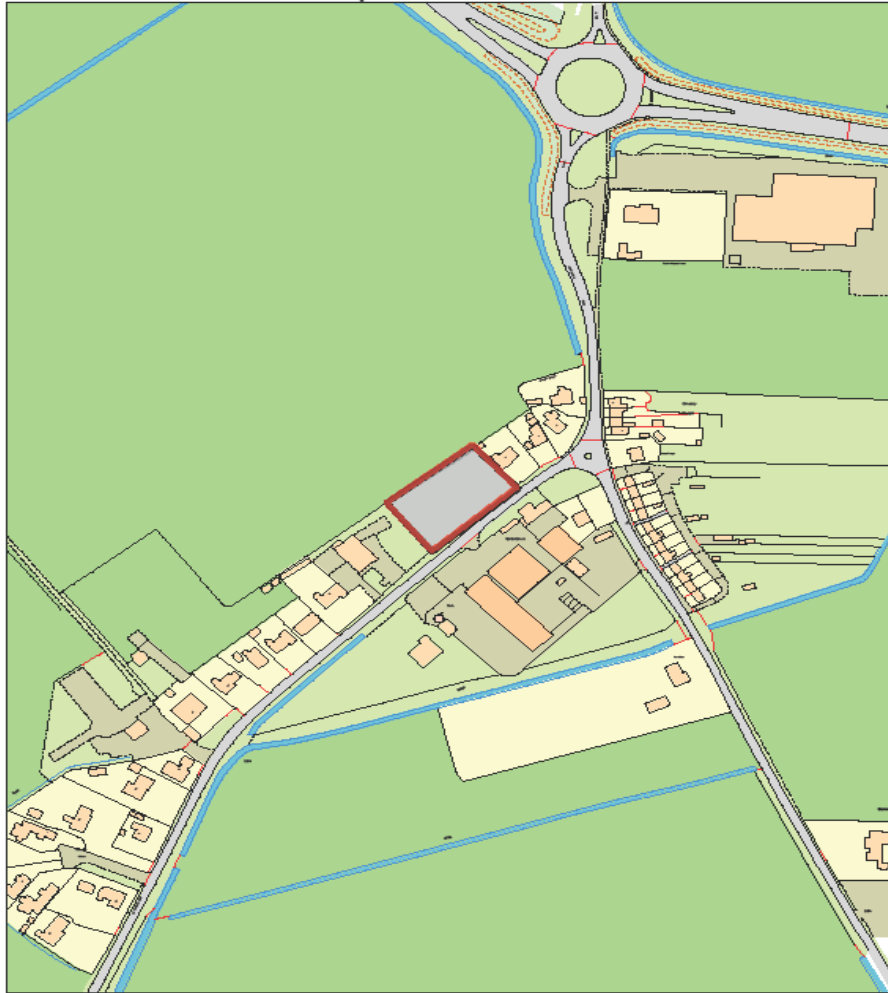
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SOUTH  
HOLLAND  
JUST A LITTLE

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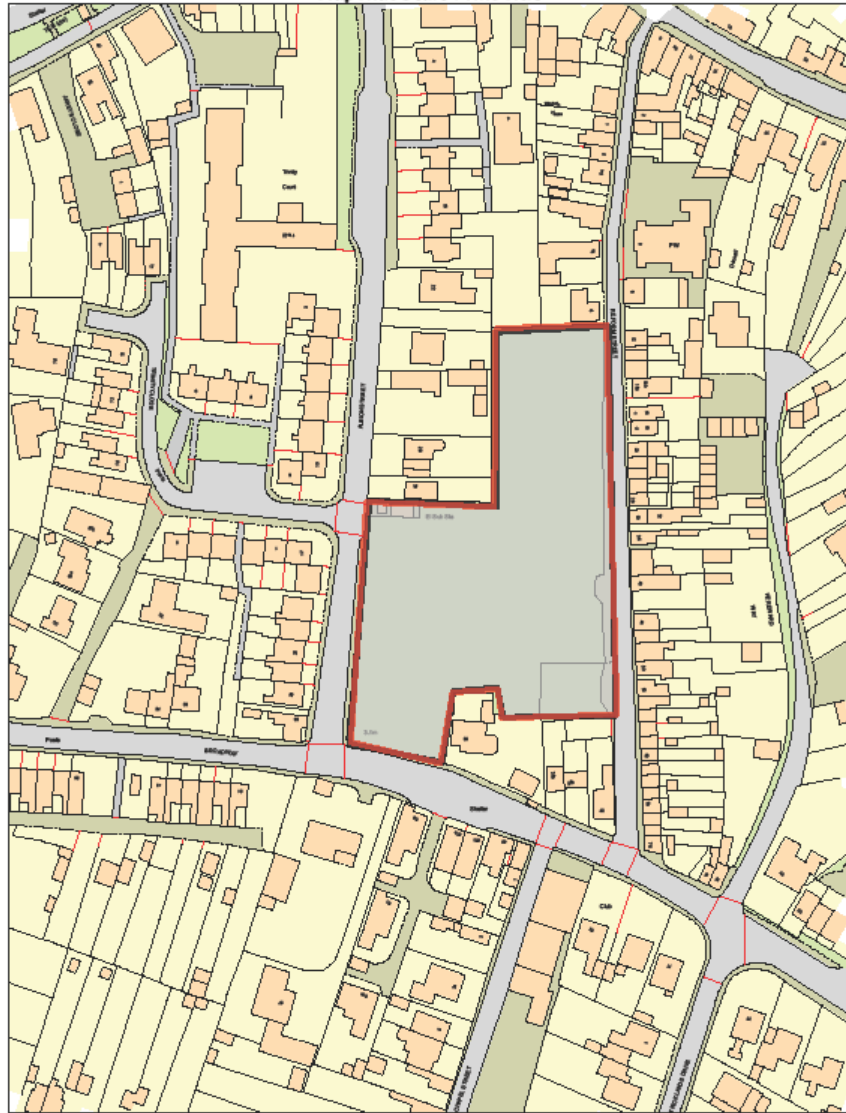
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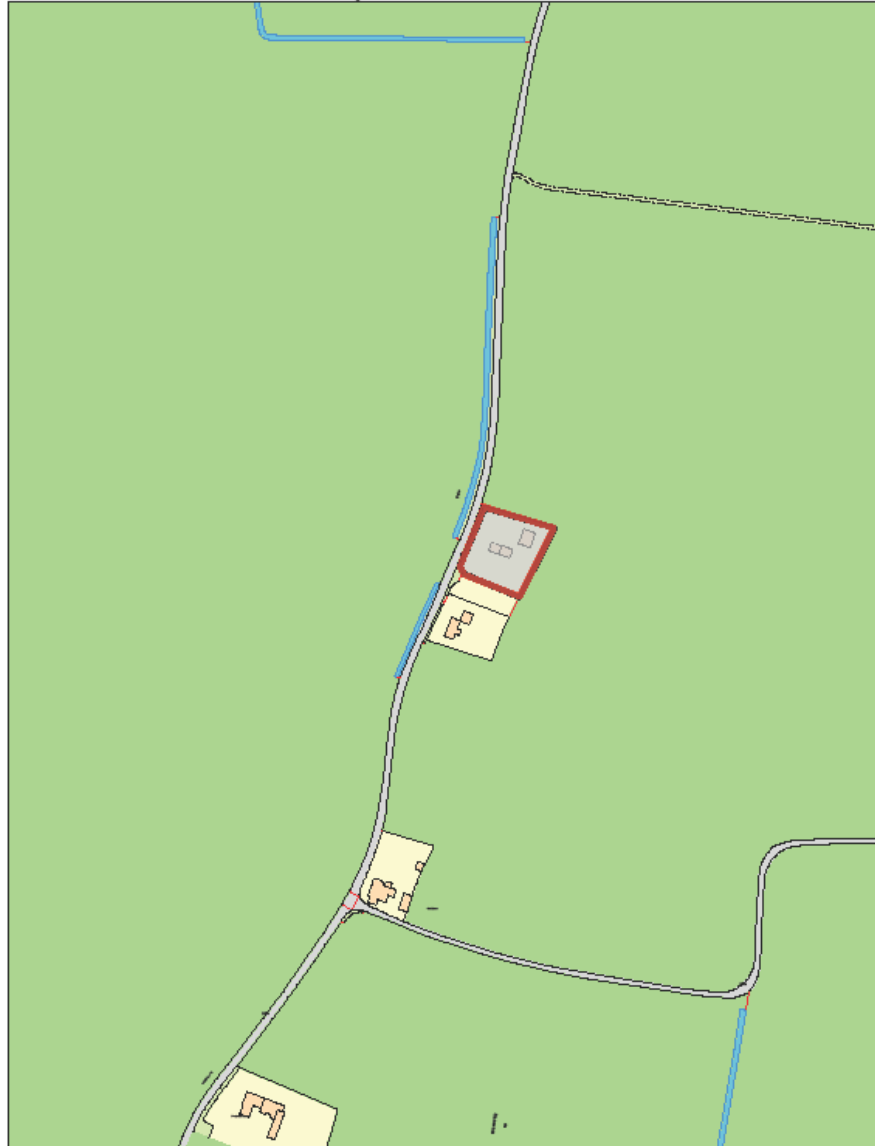


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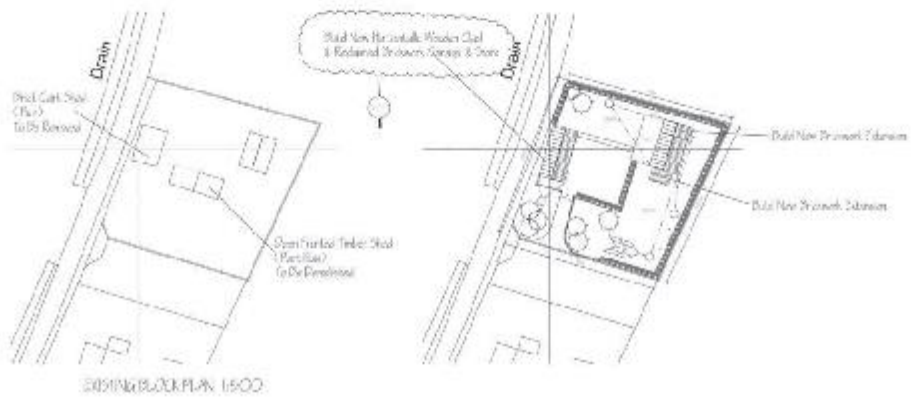
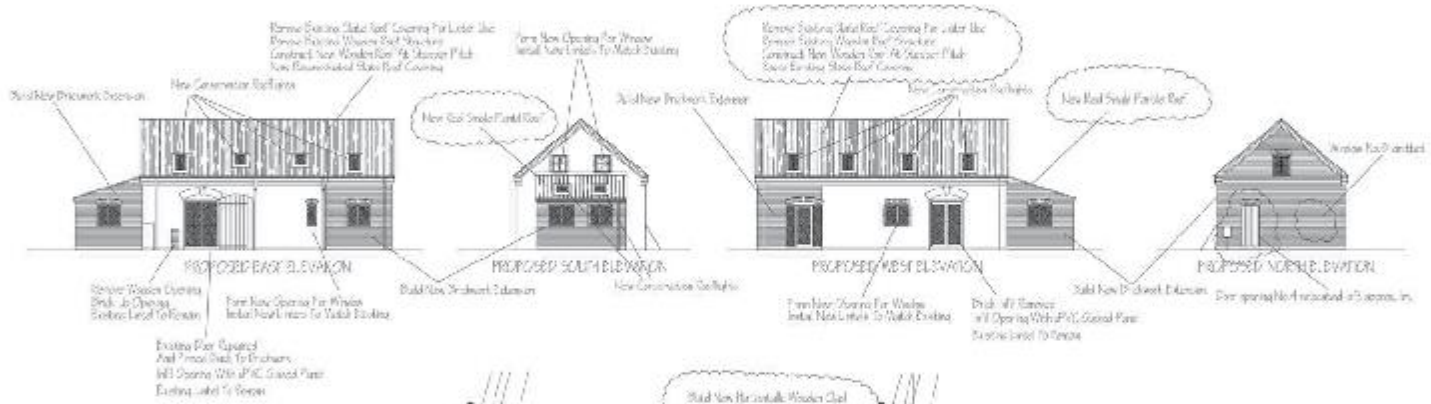
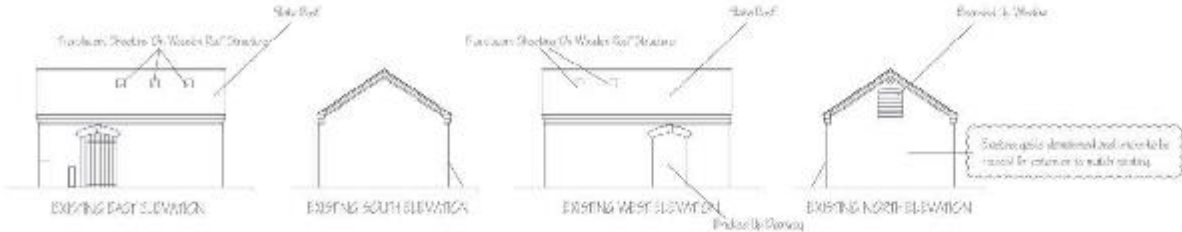
SOUTH



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IN SCALE





DATE: _____	
DRAWN BY: _____	
CHECKED BY: _____	
SCALE: _____	
PROJECT NO: _____	
SHEET NO: _____	
SHEET TOTAL: _____	
PROJECT NAME: _____	
PROJECT ADDRESS: _____	
PROJECT CITY: _____	
PROJECT STATE: _____	
PROJECT ZIP: _____	
PROJECT PHONE: _____	
PROJECT FAX: _____	
PROJECT EMAIL: _____	
PROJECT WEBSITE: _____	
PROJECT DESCRIPTION: _____	
PROJECT STATUS: _____	
PROJECT PHASE: _____	
PROJECT BUDGET: _____	
PROJECT COST: _____	
PROJECT PROFIT: _____	
PROJECT GROSS: _____	
PROJECT NET: _____	
PROJECT TOTAL: _____	

**G. H. MERCHANT LTD.**  
 1800 JAMES ROAD  
 ARCHITECTURAL, STRUCTURAL  
 AND LAND DESIGN  
 CONSULTANTS  
 1800 JAMES ROAD  
 SUITE 100  
 MISSISSAUGA, ONTARIO L4X 1L3  
 CANADA  
 TEL: (905) 876-1111  
 FAX: (905) 876-1112  
 WWW.GHMERCHANT.COM

































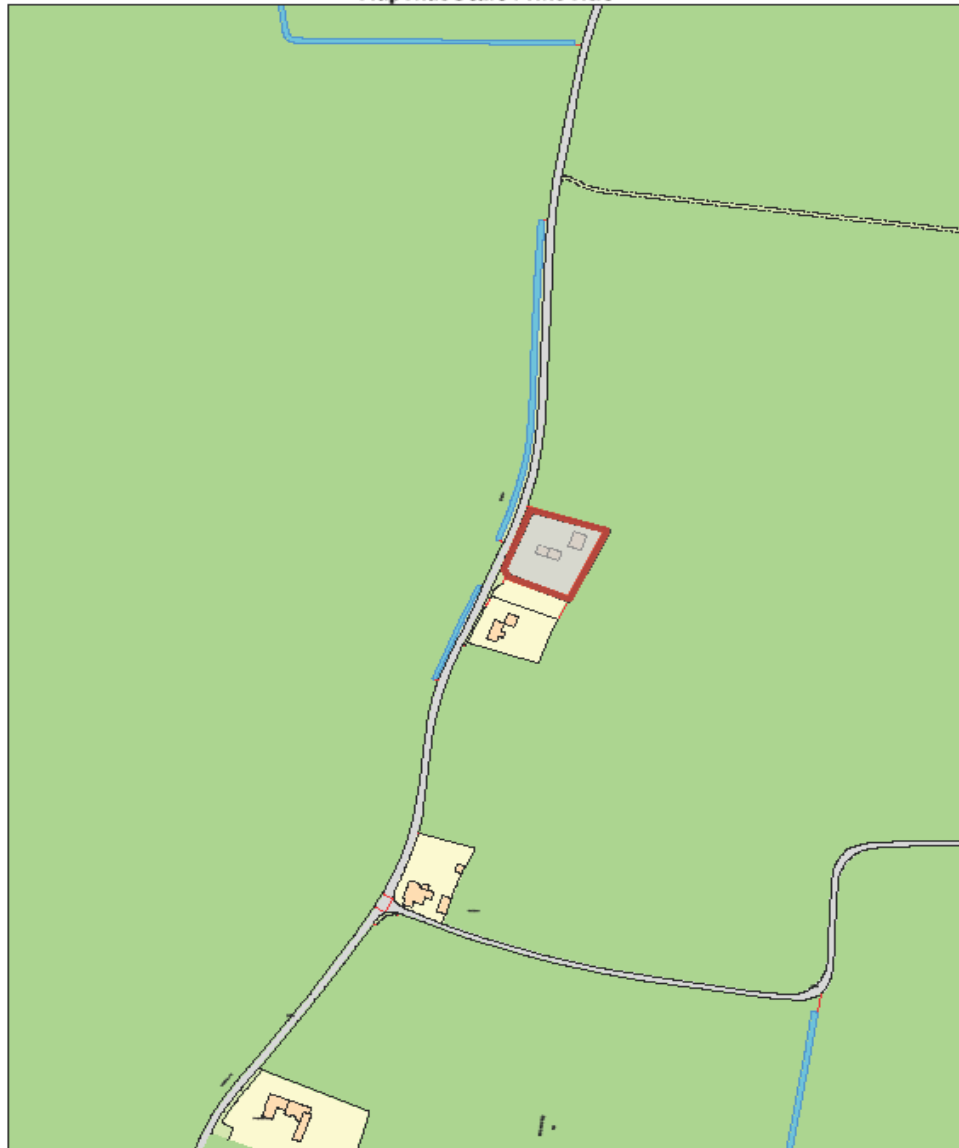








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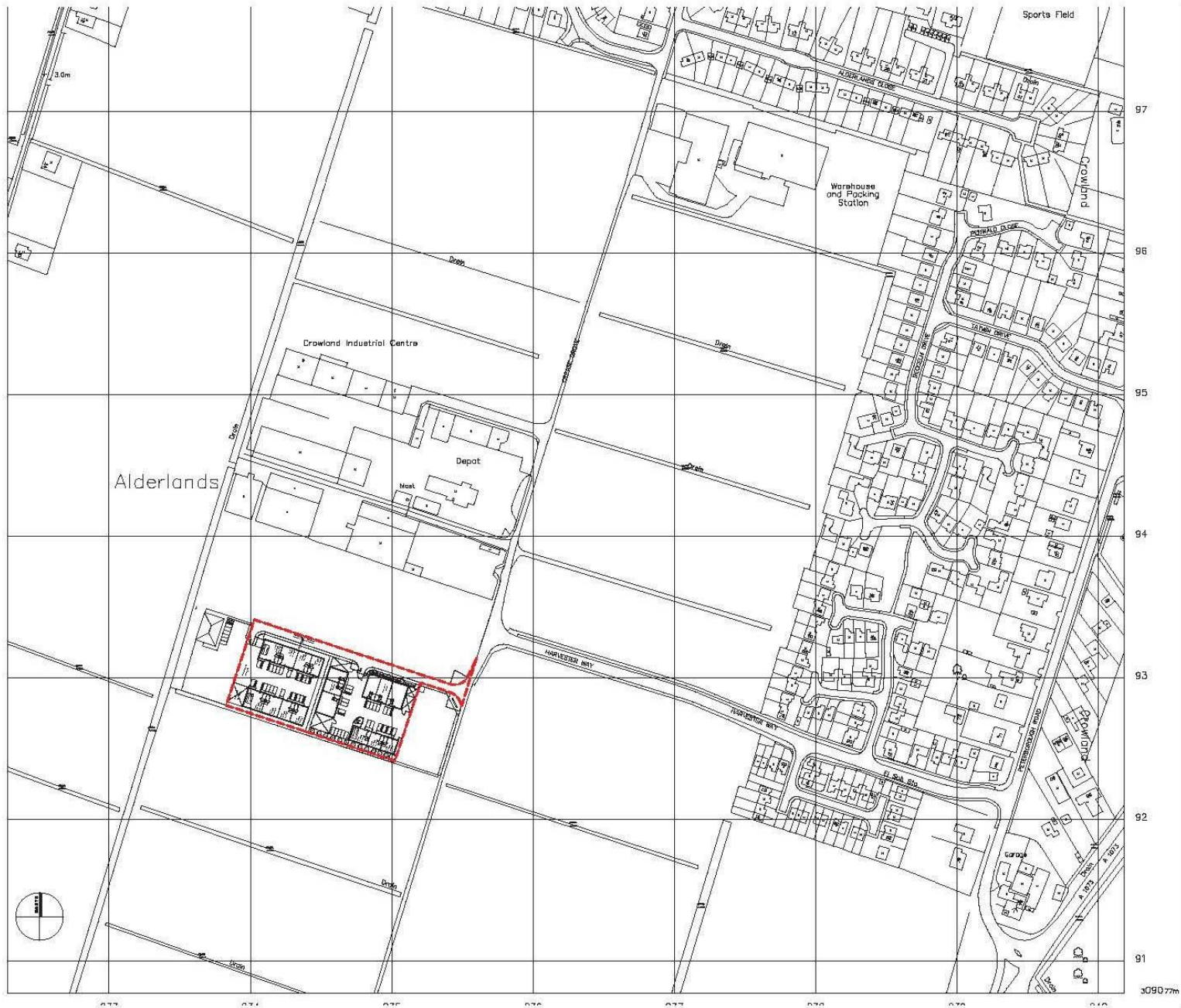
Rev: Description: Date:

Client: South Island Brick Ground  
 Project: Phoenix Lane, Crowland  
 Drawing: **SITE LOCATION PLAN AS EXISTING**  
 Plan No: P555 Date: Preliminary  
 Scale: 1:1250 @ A1 Date: 17.11.2017  
 Client: SIF Checked: ...  
 Design: P001 Rev: ...

Place Architecture  
 Finch House, Little Shelford  
 Easton Road, S12 0HL  
 T: 01452 851993  
 www.place-architecture.co.uk







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Rev: 00000000 Date: .....

Client: South Island Bird Council  
 Plans: Phoenix Lane, Crowland  
 Drawn: **SITE LOCATION PLAN AS PROPOSED**  
 Project No: P555 Series: Preliminary  
 Scale: 1:1250 @ A1 Date: 17.11.2011  
 Drawn: GP Checked: ..  
 Design: P002 Rev: ..  
 Place Architecture  
 Finch House, Little Sharning  
 ESKRIM, W21 0HU  
 T: 01 622 851990  
 www.place-architecture.co.uk



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Rev: Description: Date:

PHASE 3 WORKS

unit 1  
unit 1  
177sqm  
1905sqft  
unit 2  
unit 2  
152sqm  
1636sqft  
unit 3  
unit 3  
132sqm  
1420sqft  
unit 4  
unit 4  
112sqm  
1205sqft

BLOCK D  
578sqm

Hardstanding  
1320sqm

Unit 5 Yard  
1584sqm

unit 5  
unit 5  
177sqm  
1905sqft  
unit 6  
unit 6  
152sqm  
1636sqft  
unit 7  
unit 7  
121sqm  
1302sqft  
unit 8  
unit 8  
121sqm  
1302sqft

BLOCK E  
578sqm

PHASE 1  
EXTG.

PHASE 1  
EXTG.

Extg. Hardstanding

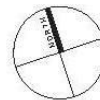
PHASE 2 WORKS

BLOCK C  
330sqm

unit 7  
unit 7  
131sqm  
1410sqft

unit 8  
unit 8  
87sqm  
1044sqft

unit 9  
unit 9  
97sqm  
1044sqft



Client: South Island Background  
Phase: Phoenix Lane, Croxalland  
Drawing: SITE PLAN  
as proposed

Plan No: P555 Date: Preliminary  
Scale: 1:200 @ A1 Date: 26.09.2017  
Drawn: SP Checked: \_\_\_\_\_  
Design: P010 Rev: \_\_\_\_\_

Place Architecture  
Fench House, Little Sharning  
Essex Road, S21 0DU  
T: 01452 881990

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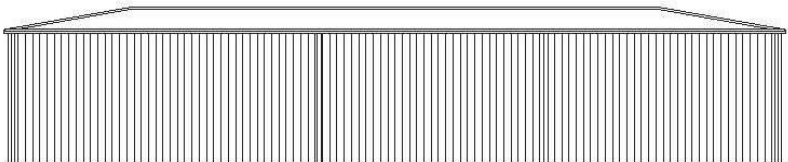
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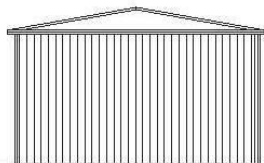
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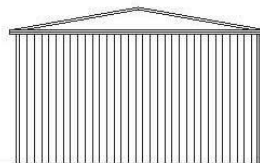
NORTH ELEVATION



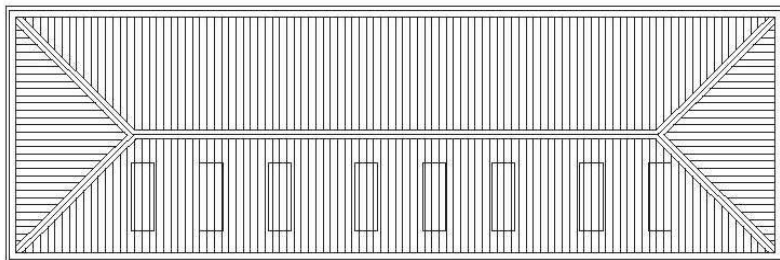
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



ROOF PLAN

Client: South Island Bird Cound

Phase: Phoenix Lane, Crowland

Drawn: ELEVATIONS  
Ph. 2 - Block C

Project No: P555

Scale: 1:100 @ A1

Date: 26.09.2017

Drawn: GP

Original: P100

Rev: ..

Place Architecture

Finch House, Little Spout  
Eskerton, ECG1 0HU

T: 01522 851990

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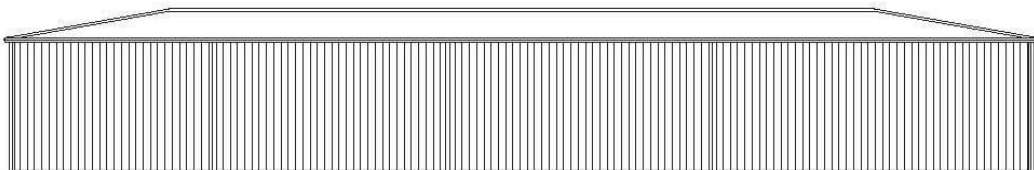
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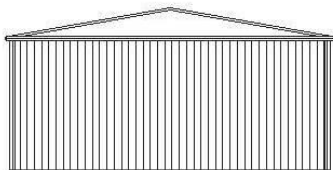
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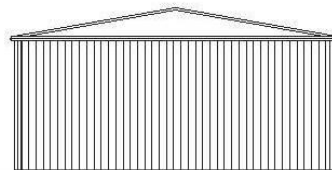
SOUTH ELEVATION



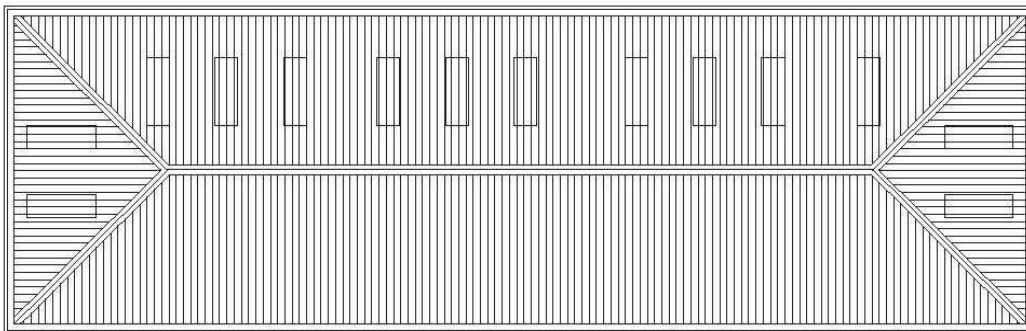
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



ROOF PLAN

Client: South Island Bird Council

Project: Phoenix Lane, Crowland

Drawn: ELEVATIONS  
Ph. 3 - Block D

Project No: P555

Scale: 1:100 @ A1

Drawn: GP

Original: P101

Place Architecture

Finch House, Little Snoring  
Eboracshire, W21 0HU

T: 01522 851990

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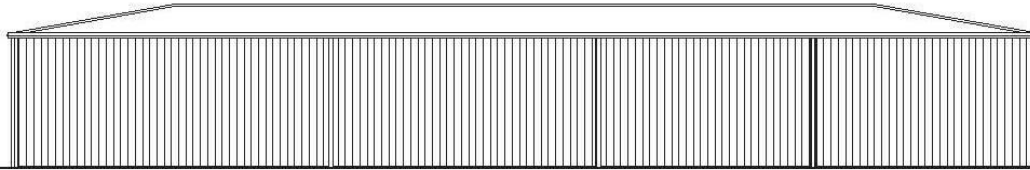
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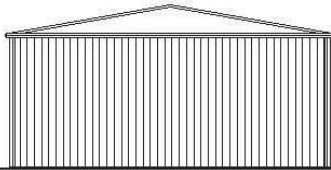
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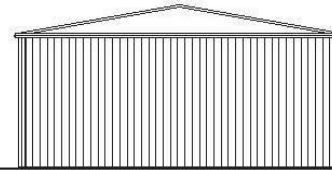
NORTH ELEVATION



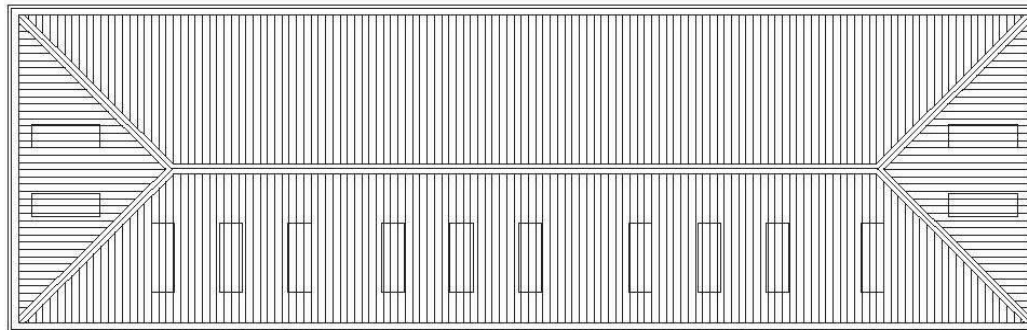
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



ROOF PLAN

Client: South Island Bird Council  
Phase: Phoenix Lane, Crowland  
Drawing: ELEVATIONS  
Ph. 3 - Block E  
Project No: P555  
Scale: 1:100 @ A1  
Date: 26.09.2017  
Drawn: GP  
Checked: ...  
Original: P102  
Rev: ...

Place Architecture  
Fifth Floor, Little Spire  
Edinburgh, EC2 1DU  
T: 01 622 821990  
www.place-architecture.co.uk





PINNACLE CLO













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Rev: 00000000 Date: .....

Client: South Island Bird Council  
 Phase: Phoenix Lane, Crowland  
 Drawing: **SITE LOCATION PLAN AS PROPOSED**  
 Project No: P555      Status: Preliminary  
 Scale: 1:1250 @ A1      Date: 17.11.2011  
 Drawn: GP      Checked: ..  
 Design: P002      Rev: ..  
 Place Architecture  
 Finch House, Little Sharning  
 ESKRIM, W21 0HU  
 T: 01 622 851990  
 www.place-architecture.co.uk





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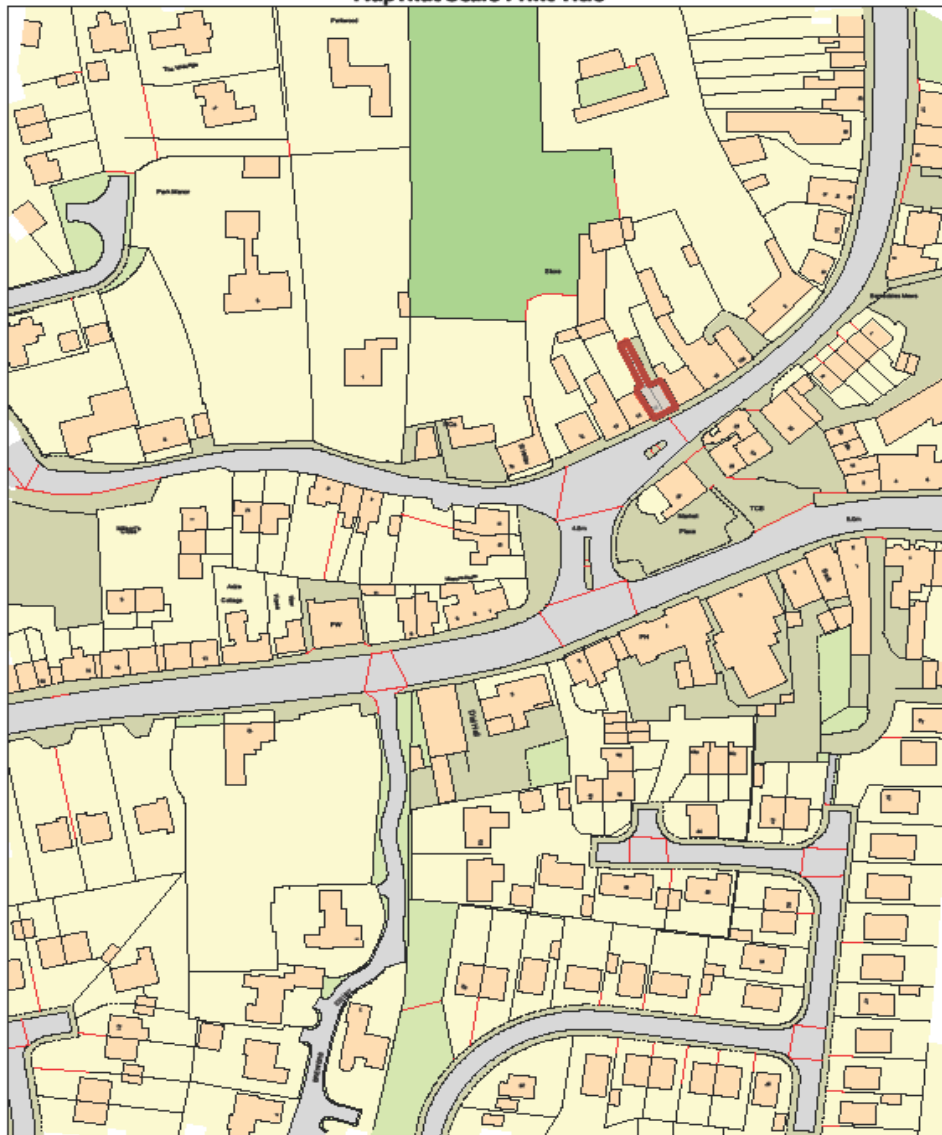
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S O U T H

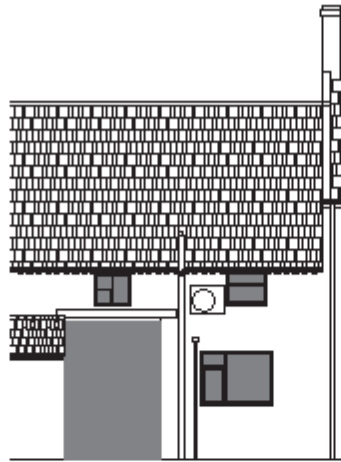


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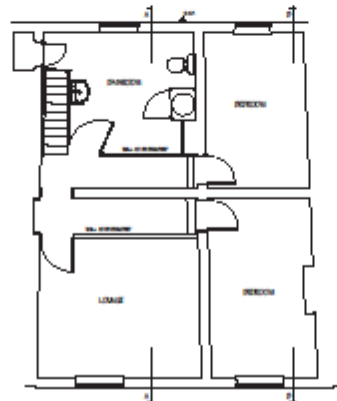




SECTION 1 - 1



GROUND FLOOR



FIRST FLOOR



SECTION 1 - 2

1. The building is a two-story structure with a gabled roof and a chimney on the left side. The ground floor features a large arched entrance and a multi-paned window. The second floor has two square windows. The roof is tiled.

LIST OF MATERIALS			
NO.	QTY.	UNIT	REMARKS

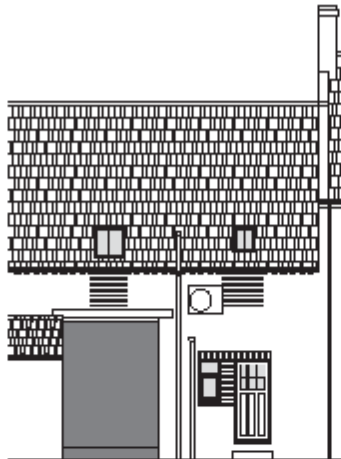


**DCC FOR ARCHITECTURAL DESIGN**  
 1000 BANGALOR ROAD  
 1000 BANGALOR ROAD  
 1000 BANGALOR ROAD  
 1000 BANGALOR ROAD

Scale: 1/4" = 1'-0"	Working No.: 1000-01
Date: JAN 19	Drawn: J.C.



FRONT ELEVATION



SIDE ELEVATION

**NOTES:**  
 1. All work shall conform to the latest editions of the International Building Code (IBC) and the International Residential Code (IRC) as adopted by the City of San Francisco.  
 2. All work shall conform to the latest editions of the California Building Code (CBC) and the California Residential Code (CRC) as adopted by the City of San Francisco.  
 3. All work shall conform to the latest editions of the San Francisco Building Code (SFBC) and the San Francisco Residential Code (SFRC) as adopted by the City of San Francisco.

**GENERAL NOTES:**  
 1. The contractor shall be responsible for obtaining all necessary permits from the City of San Francisco.  
 2. The contractor shall be responsible for coordinating with all other trades and subcontractors.  
 3. The contractor shall be responsible for maintaining the site in a safe and clean condition at all times.

**FINISHES:**  
 1. All interior walls shall be finished with 1/2" drywall.  
 2. All interior floors shall be finished with 3/4" plywood subfloor and 1/2" finished floor.  
 3. All exterior walls shall be finished with 1/2" stucco over 1/2" furring strips.

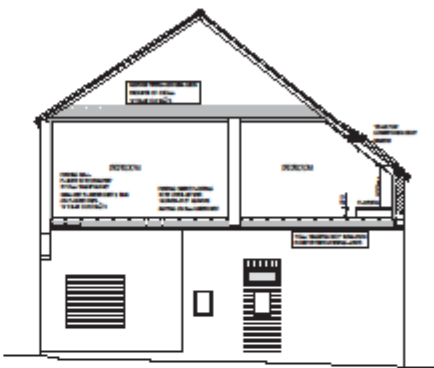
**MECHANICAL:**  
 1. All mechanical work shall conform to the latest editions of the California Mechanical Code (CMC) and the California Residential Mechanical Code (CRMC) as adopted by the City of San Francisco.  
 2. All mechanical work shall be installed in accordance with the manufacturer's instructions.

**ELECTRICAL:**  
 1. All electrical work shall conform to the latest editions of the California Electrical Code (CEC) and the California Residential Electrical Code (CREC) as adopted by the City of San Francisco.  
 2. All electrical work shall be installed in accordance with the manufacturer's instructions.

**PLUMBING:**  
 1. All plumbing work shall conform to the latest editions of the California Plumbing Code (CPC) and the California Residential Plumbing Code (CRPC) as adopted by the City of San Francisco.  
 2. All plumbing work shall be installed in accordance with the manufacturer's instructions.

**PAINTING:**  
 1. All painting work shall conform to the latest editions of the California Building Code (CBC) and the California Residential Code (CRC) as adopted by the City of San Francisco.  
 2. All painting work shall be installed in accordance with the manufacturer's instructions.

**CONCRETE:**  
 1. All concrete work shall conform to the latest editions of the California Building Code (CBC) and the California Residential Code (CRC) as adopted by the City of San Francisco.  
 2. All concrete work shall be installed in accordance with the manufacturer's instructions.



SECTION 2 - 0

**NOTES:**  
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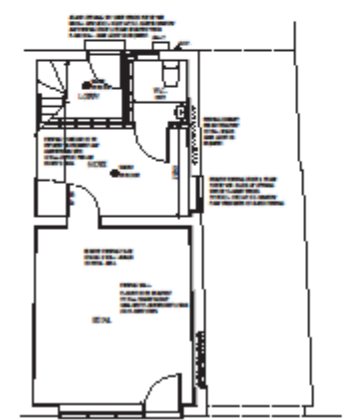
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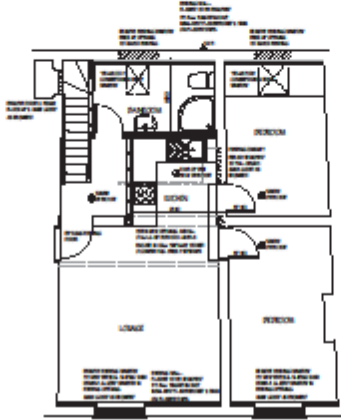
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 2. All painting work shall be installed in accordance with the manufacturer's instructions.



FIRST FLOOR



SECOND FLOOR

**NOTES:**  
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SHEET INDEX	
NO.	DESCRIPTION
1	FRONT ELEVATION
2	SIDE ELEVATION
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	SECTION 2 - 0
6	SECTION 2 - A



**FOR ARCHITECTURAL DESIGN**  
 1234 MARKET STREET  
 SAN FRANCISCO, CA 94102  
 TEL: 415-555-1234

**DATE:** 08/15/2024  
**PROJECT:** 1234 MARKET STREET  
**CLIENT:** JOHN DOE  
**SCALE:** AS SHOWN

**REVISIONS:**  
 1. 08/15/2024: Initial design.  
 2. 08/20/2024: Revisions based on client feedback.

**SCALE:** 1/8" = 1'-0"  
**DATE:** 08/15/2024  
**DESIGNER:** J. DOE  
**CHECKER:** A. SMITH





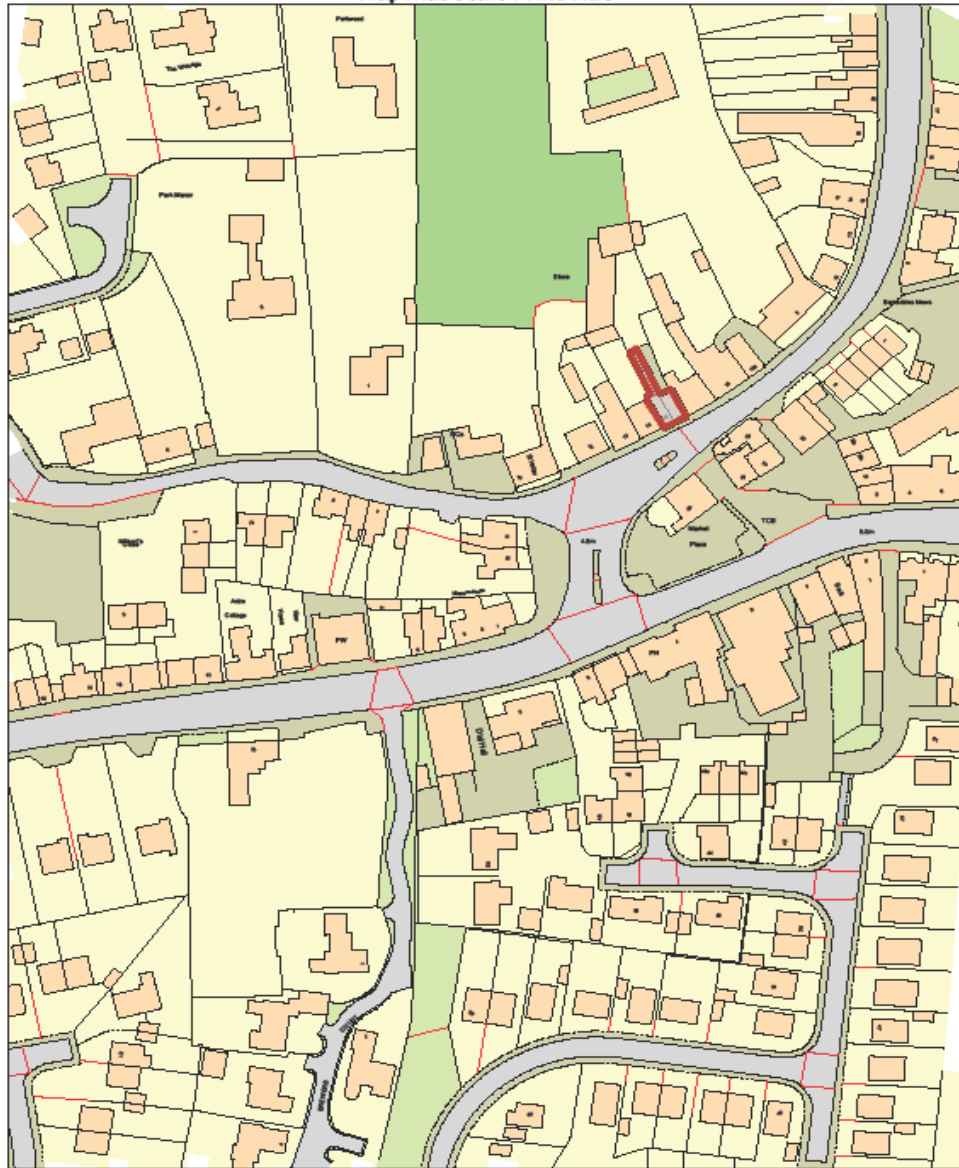
**JESSOPS**...the bakers







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