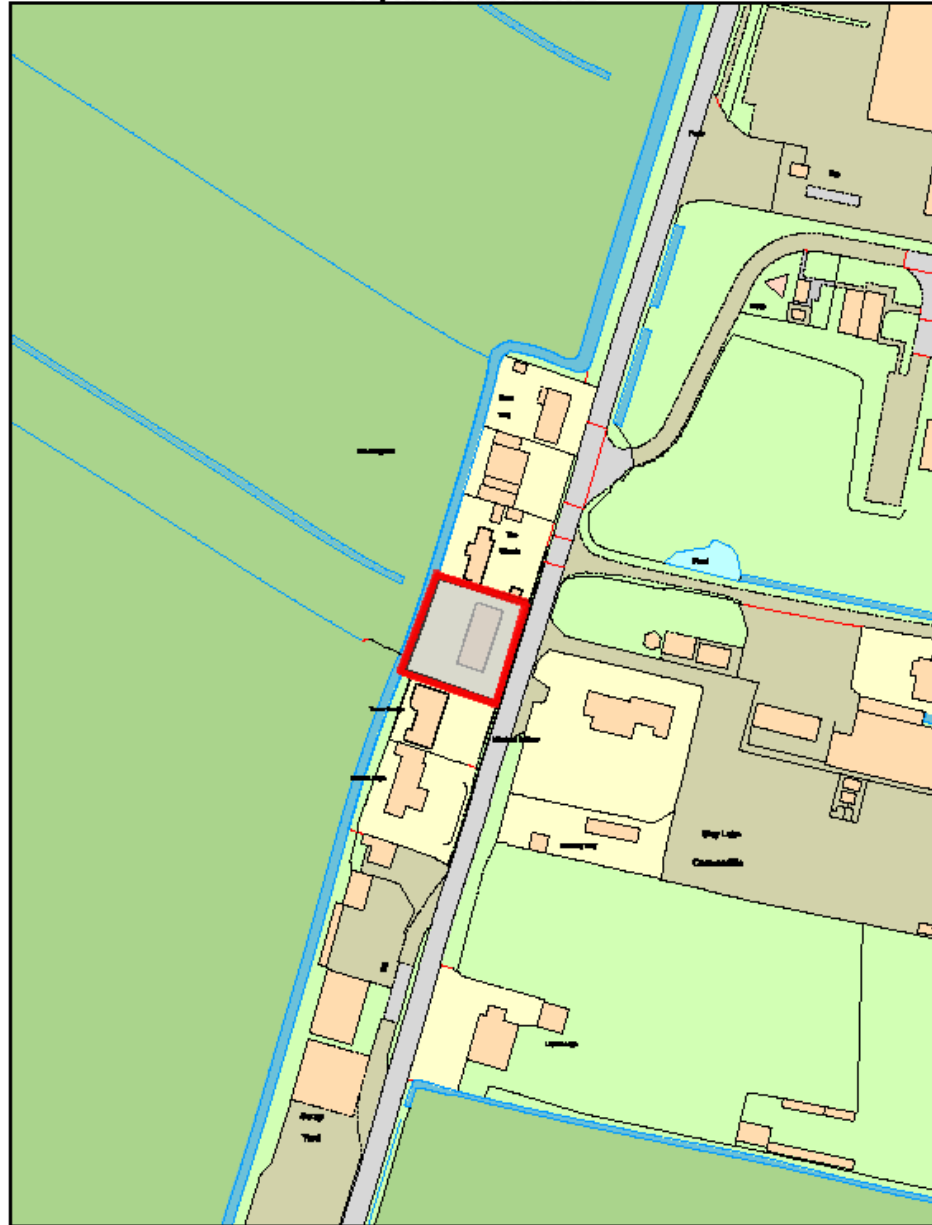
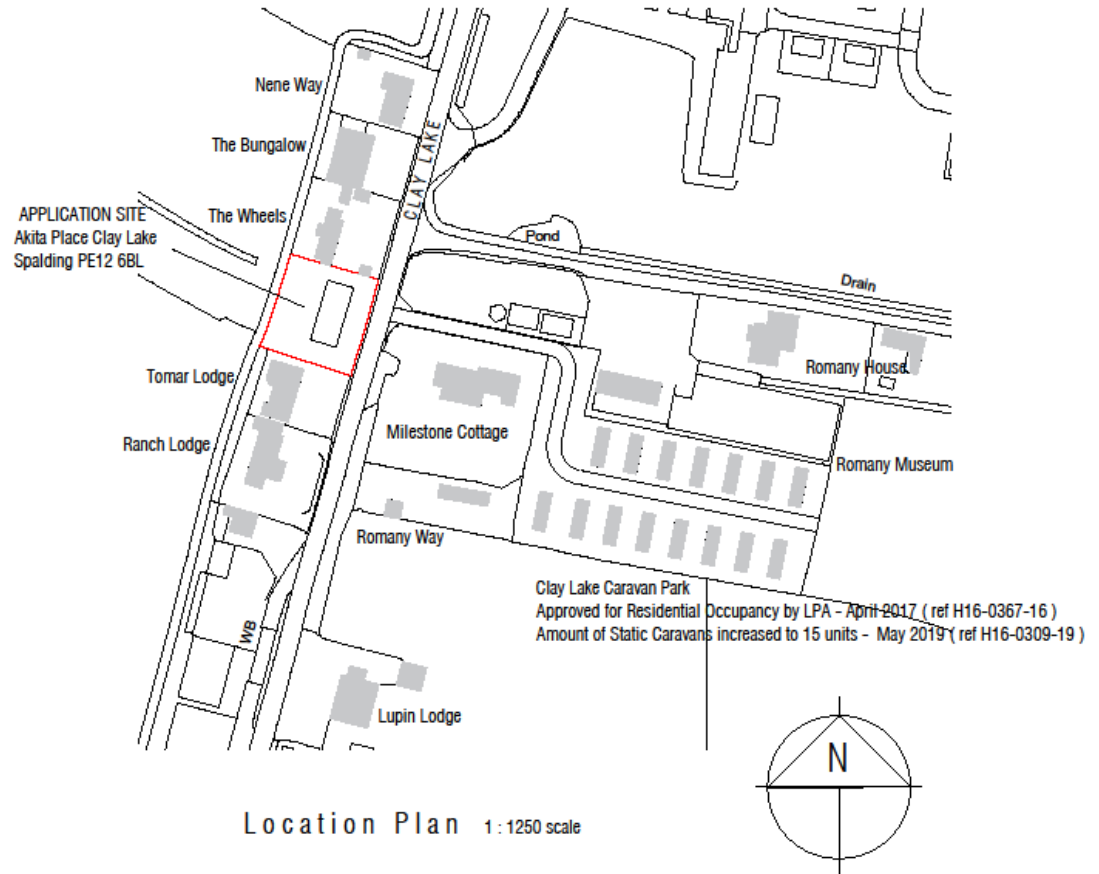
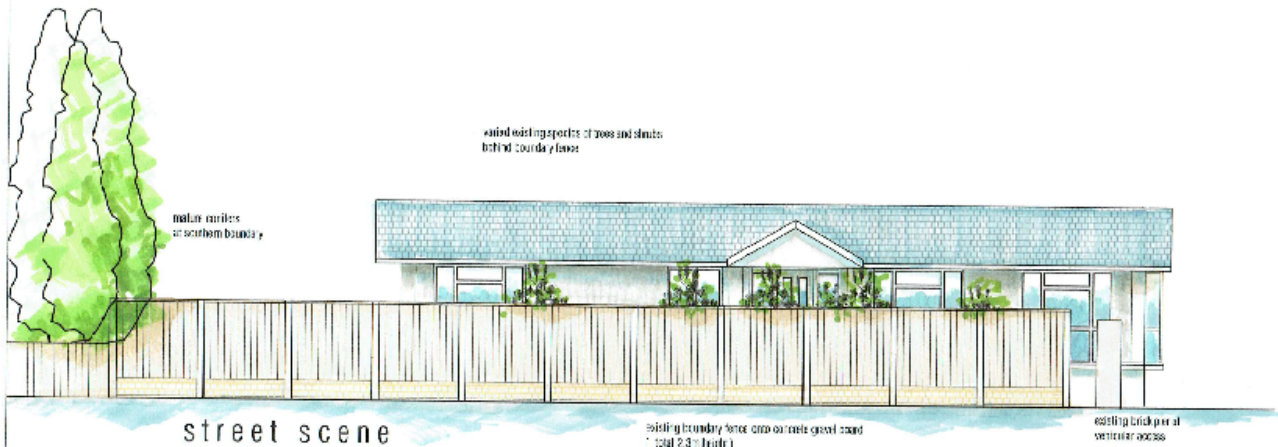


# Welcome to the Planning Committee



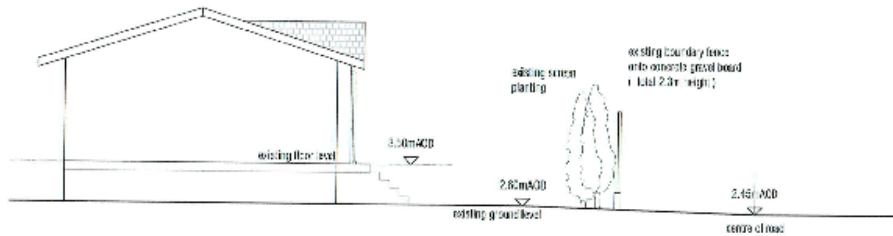






street scene

Refer to Elevations Drawing for details of materials used

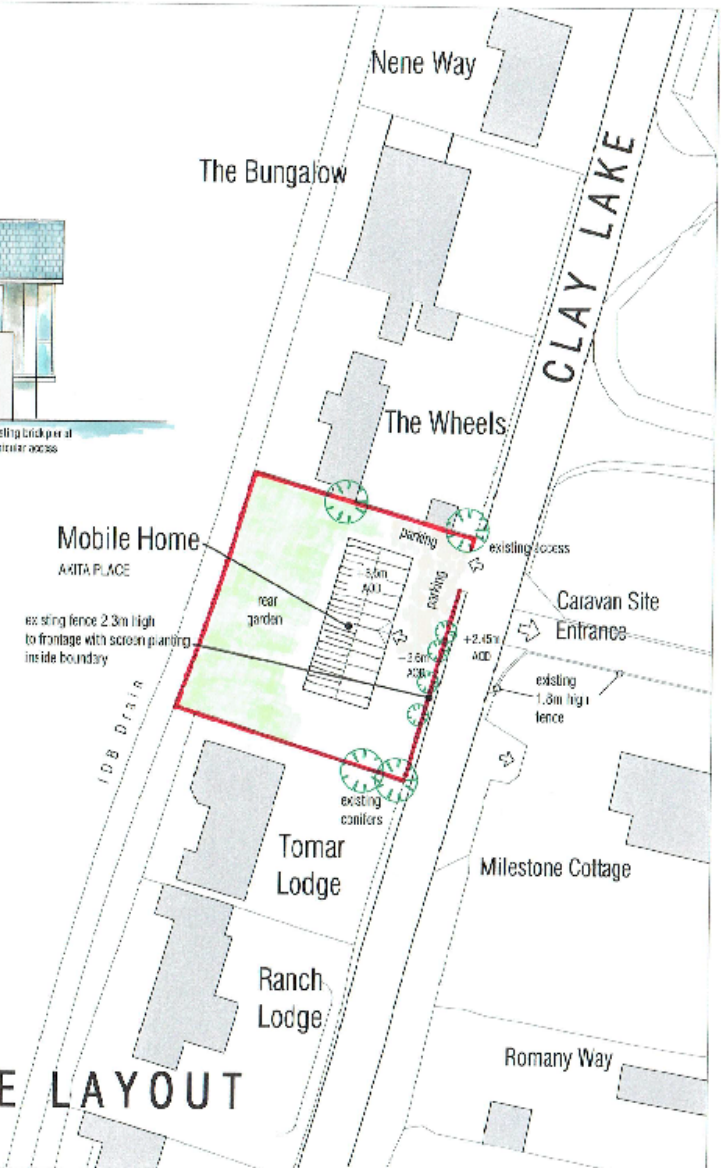


section through site

Refer to Flood Risk Assessment for details of survey methods



SITE LAYOUT



dark grey pitched roof cover

light grey textured render

white pre-u windows & doors

floor level (+0.000m)

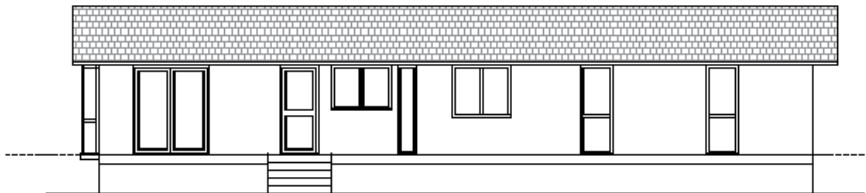
ground level



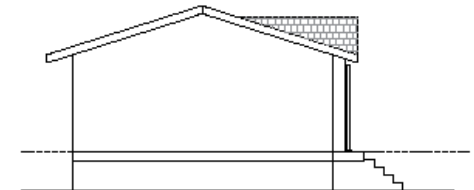
front elevation to Clay Lake



side elevation ( north )



rear elevation ( west )



side elevation ( south )

**mlp** Mobile Land and Planning

mobilelandandplanning.co.uk 7 Great Lane Mobile Lane PE12 0PN  
tel 01463 870001 and 07964 991648 e-mail alex@mobileland.co.uk

Project  
Siting of Mobile Home (retrospective)  
Aldia Place, Clay Lake  
Spalding PE12 6BL for Ms. S.Street

Drawing  
Elevations

date July 2018  
scale(s) 1:100 scale @A3  
DRG. No. SS1 / pl / elev01

AKITA PLACE CLAY LAKE SPALDING ( PLANNING REF H16-0734-19 )

ADDITIONAL PHOTOGRAPHIC INFORMATION - SEPTEMBER 2019



SIDE ELEVATION OF MOBILE HOME (SOUTH ) TOWARDS TOMAR LODGE



VIEW LOOKING NORTH ACROSS REAR GARDEN TOWARDS THE WHEELS

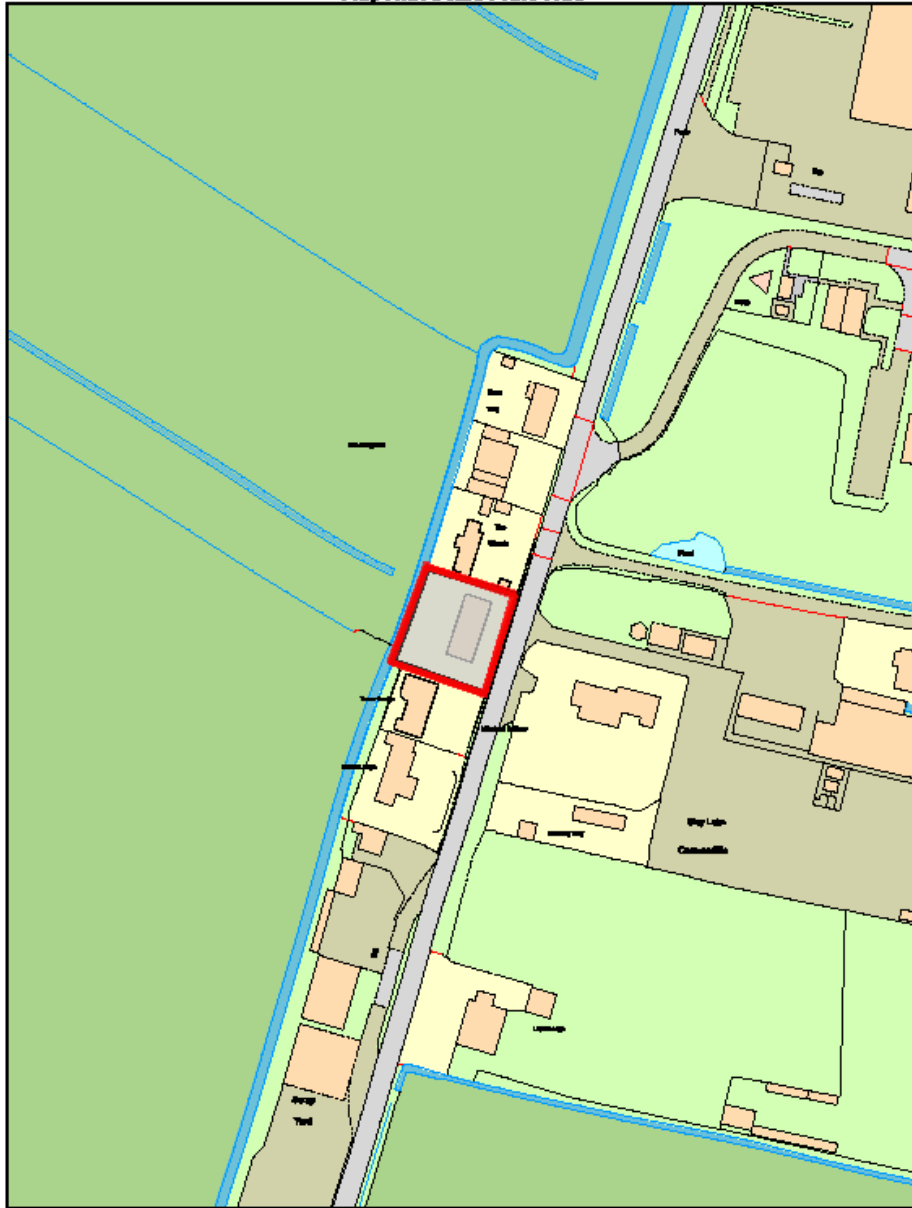


SIDE ELEVATION OF MOBILE HOME (NORTH ) TOWARDS THE WHEELS



VIEW LOOKING SOUTH ACROSS REAR GARDEN TOWARDS TOMAR LODGE

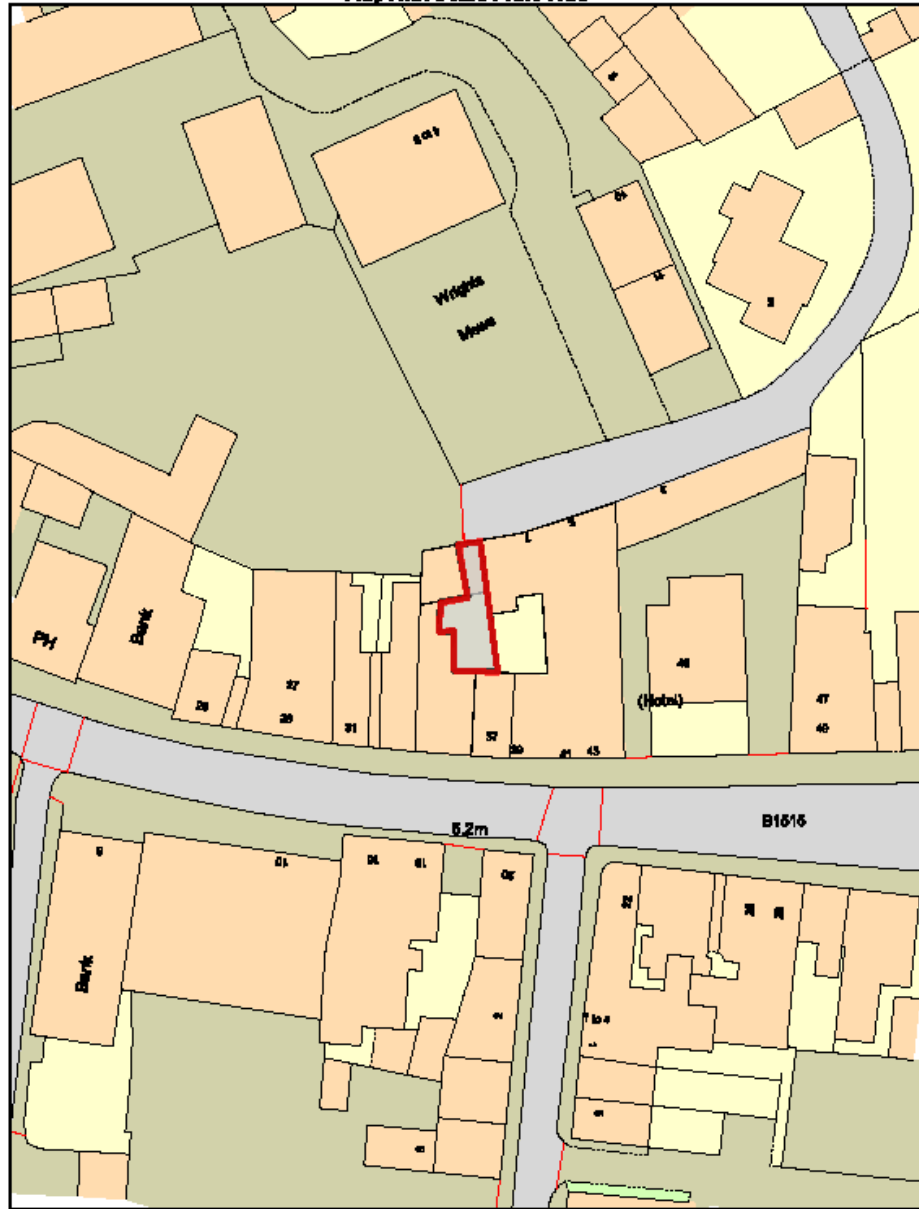
MapThat Scale Print Title





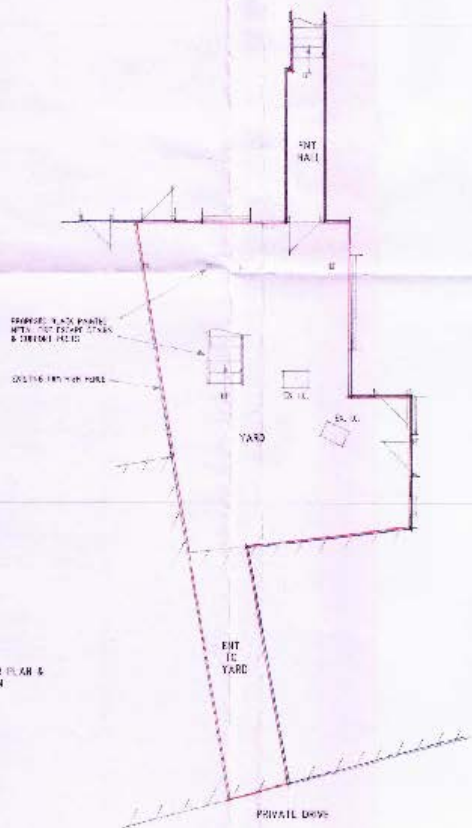


MapThat Scale Print Title





GROUND FLOOR PLAN &  
SITE PLAN



ELEVATION



STAIR

**Status**  
CONSULTANTS  
CONSULTANTS IN ARCHITECTURE & PLANNING

PROPOSED ALTERATIONS TO  
EXISTING FLATS AT 155 &  
156 HIGH STREET, ADURSTACH  
OF

MR. H. FRANKS

ELEVATIONS &  
GROUND FLOOR PLAN

SCALE 1:100 SHEET 05/17/2  
TCS 19 BIRMINGHAM

155, 156, 157 & 158  
HIGH STREET, ADURSTACH  
OF







15A

15B

15C























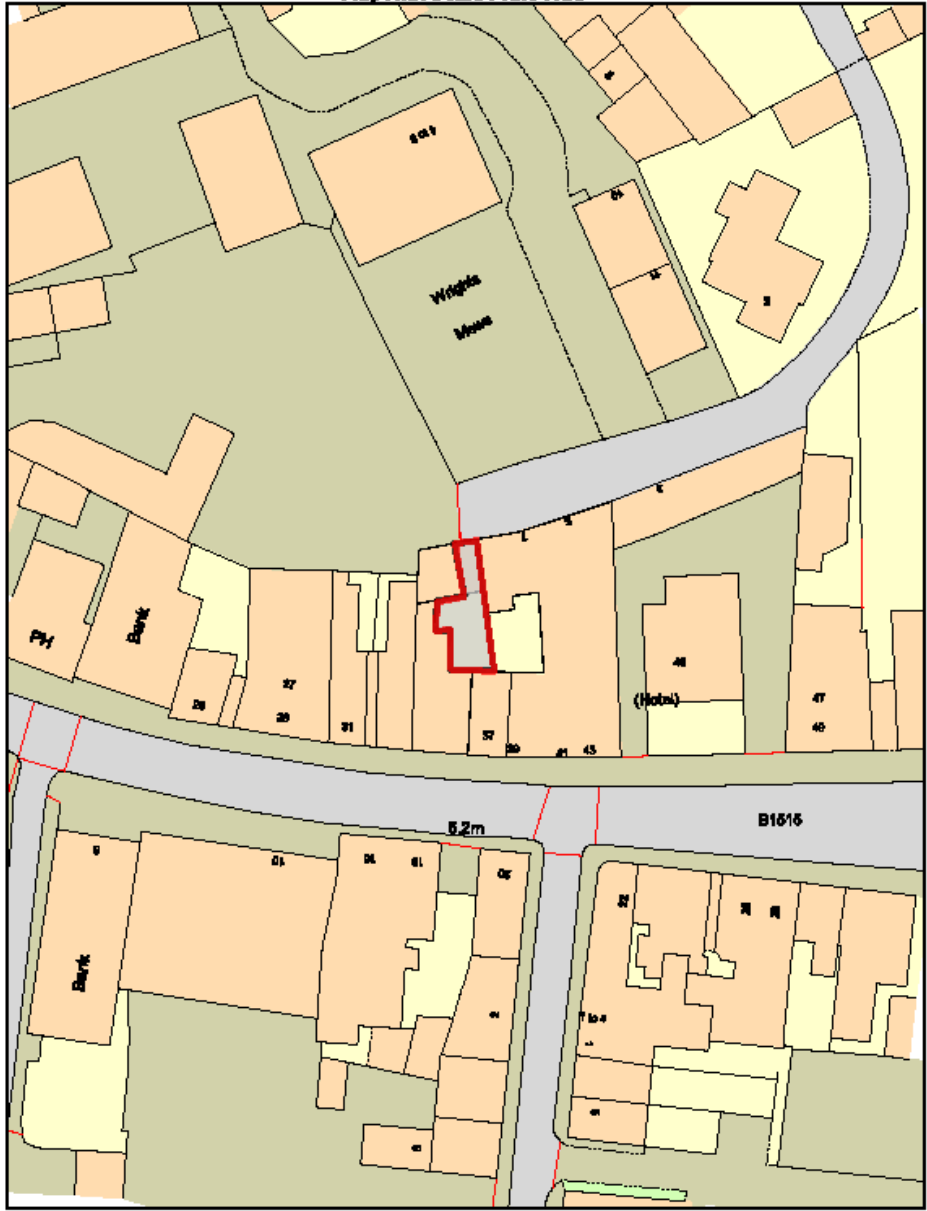








MapThat Scale Print Title





MapThat Scale Print Title

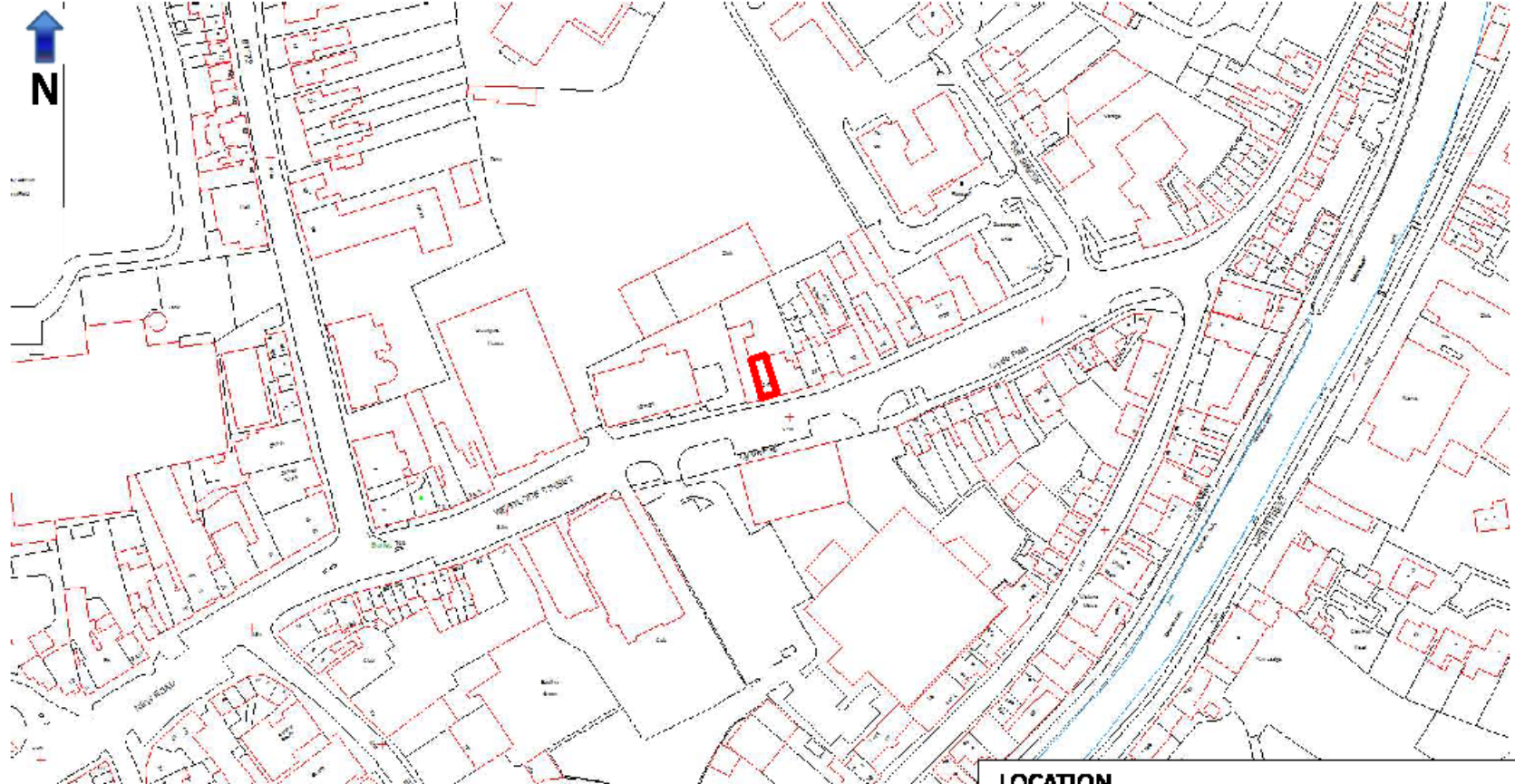


S O U T H



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MAP SCALE 1:500  
CREATED DATE: 25/09/2019  
PHOTOGRAPHIC COPY  
LIABLE TO DISTORTION  
IN SCALE



**LOCATION**  
 Westlode Street, Spalding  
 Nearest Postcode: PE11 2AE

**LEGEND**

— OFFICE LOCATION

**Anglian Water Services Ltd.**  
 Registered Office:  
 Lancaster House, Lancaster Way,  
 Empire Business Park, Huntingdon,  
 Cambridgeshire PE9 6YJ.  
 Registered in England  
 No. 2366656 an AWC Company

Scale 1: 1250@ A4  
 Plan No.

This plan is provided by Anglian Water Services Ltd. It is subject to the provisions of the Water Industry Act 1989 and the Water Act 2003. It is not to be used in any other way than for the purposes for which it is provided. The information on this plan is based on the records provided for the purposes of the plan and is not to be used for any other purpose. The information on this plan is based on the records provided for the purposes of the plan and is not to be used for any other purpose. The information on this plan is based on the records provided for the purposes of the plan and is not to be used for any other purpose.



OFFICE LAYOUT 24-25 WESTLODE STREET  
SCALE 1:50







Conservative

PULL 24

W10 211

L672 UPL



Conservatives

W.M.F. BUILDINGS LAFER THE GARDEN LETTING



MapThat Scale Print Title



S O U T H

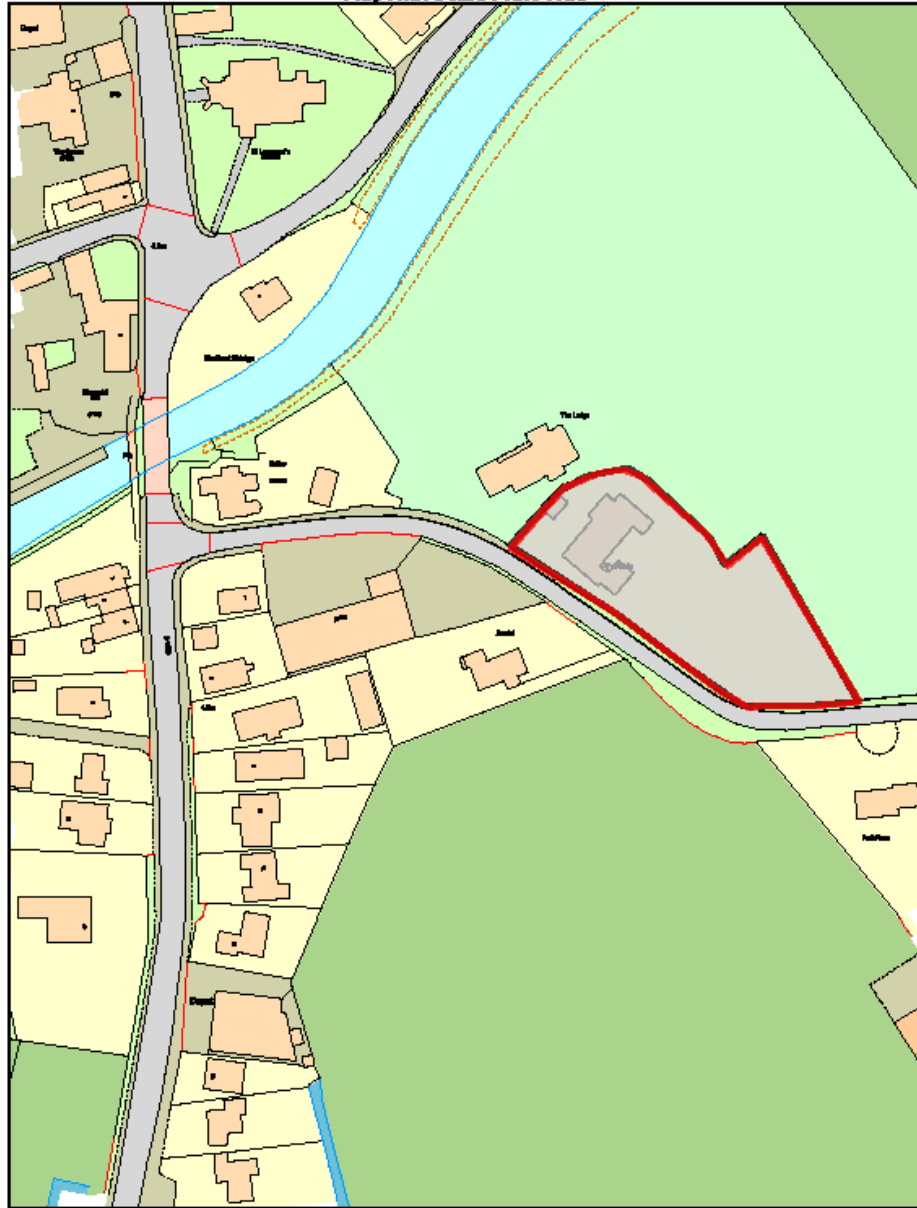


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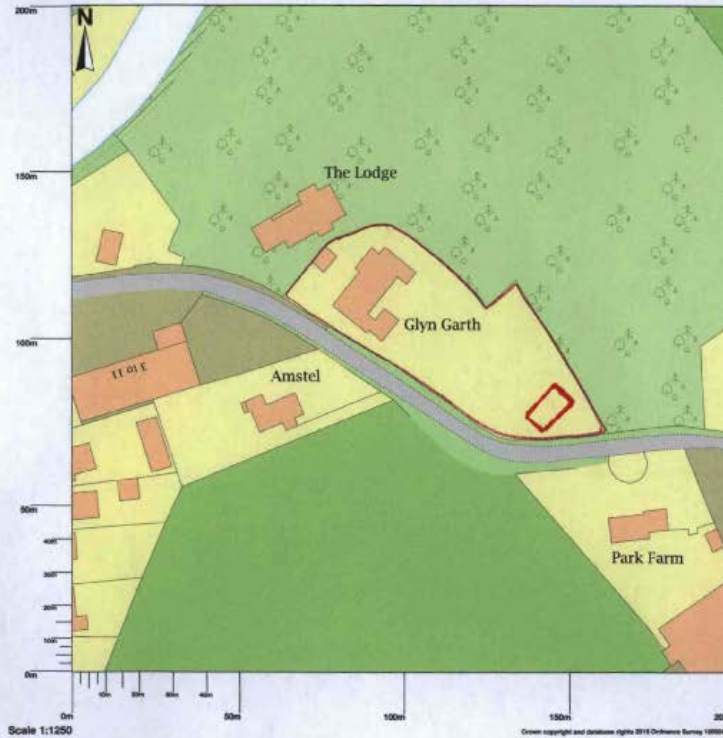
MapThat Scale Print Title



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CREATED DATE: 25/09/2019  
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IN SCALE

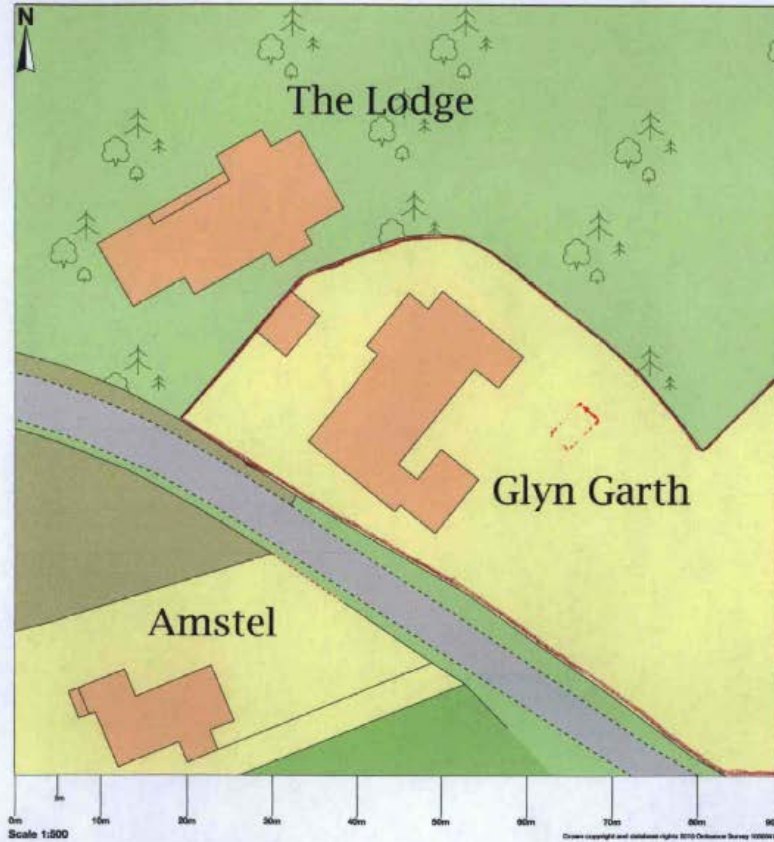
**Park House, Park Lane, Surfleet, Spalding, PE11 4AF**



Map area bounded by: 525145,327993 525345,328193. Produced on 16 August 2019 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2019. Supplied by OSPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: p4bos/377751/512796



**Park House, Park Lane, Surfleet, Spalding, PE11 4AF**

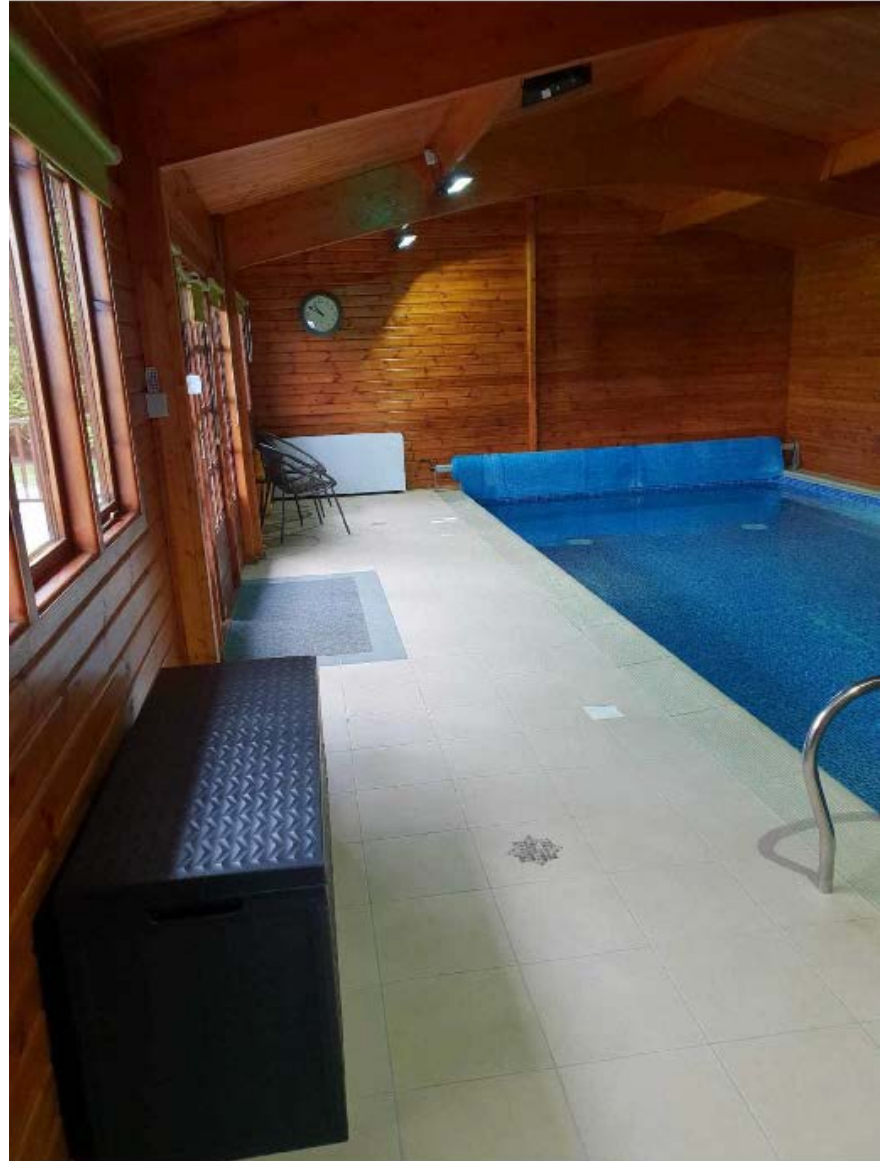


Map area bounded by: 525189,328064 525279,328154. Produced on 16 August 2019 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2019. Supplied by OSPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: b90b06/377751/512793



23 Metres Long

13 Metres Long





**13 Metres Long**











































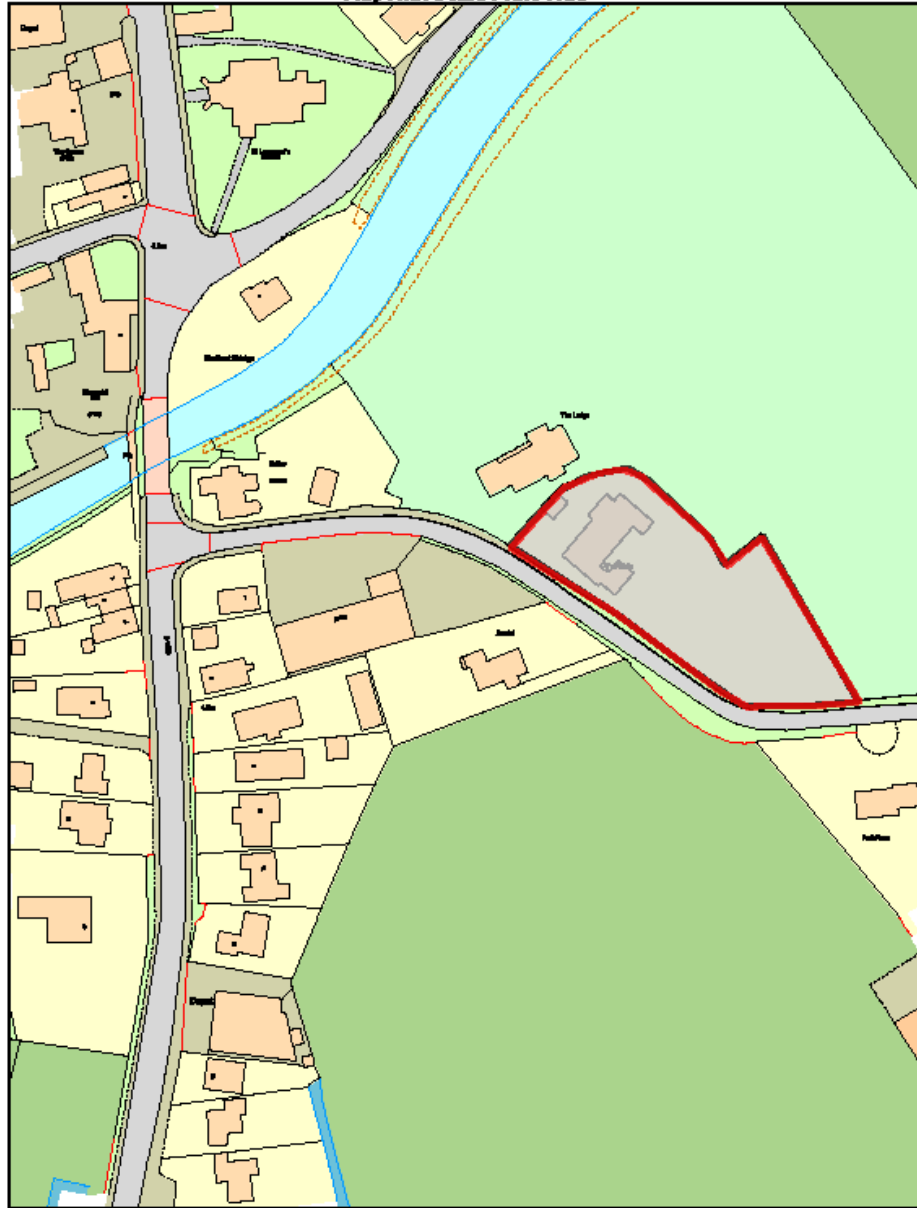






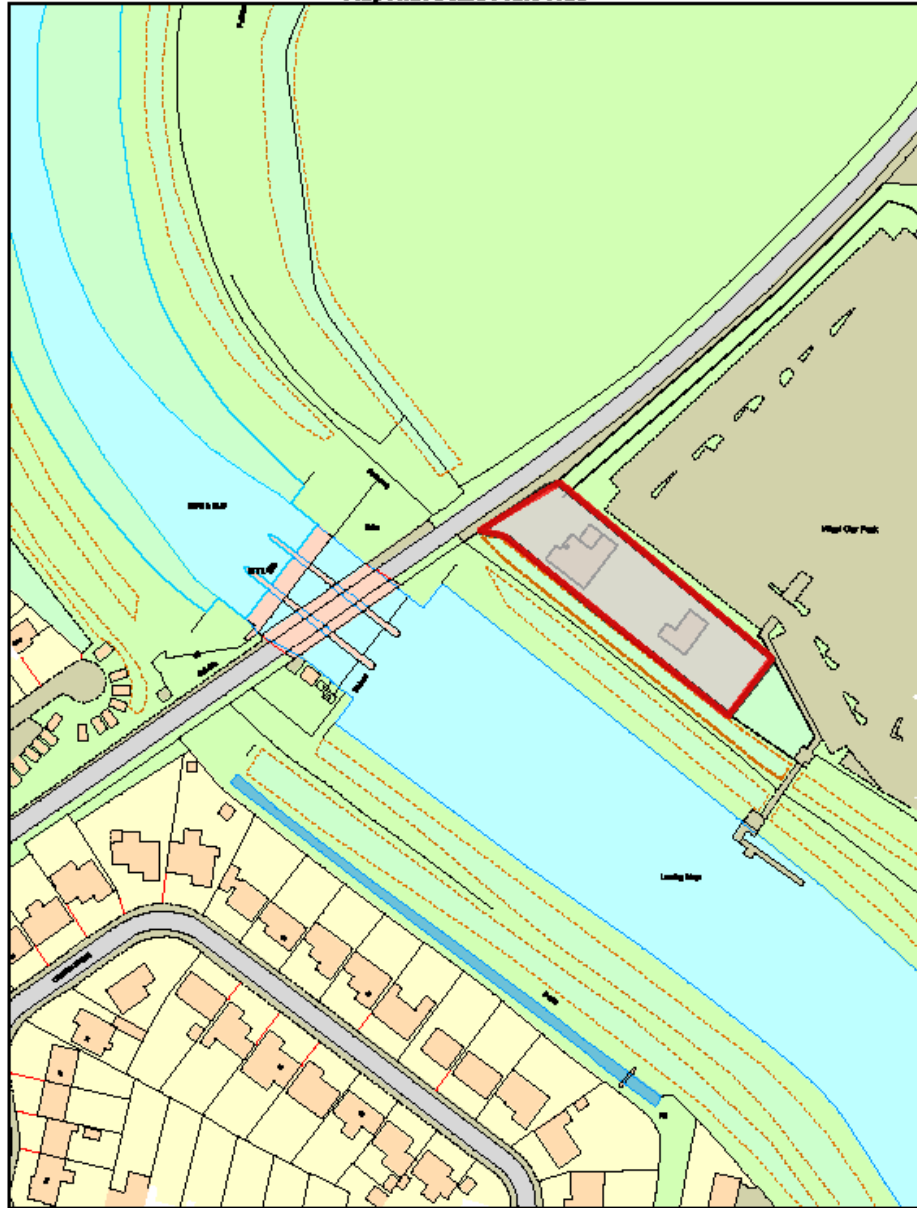


MapThat Scale Print Title





MapThat Scale Print Title

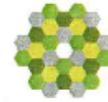


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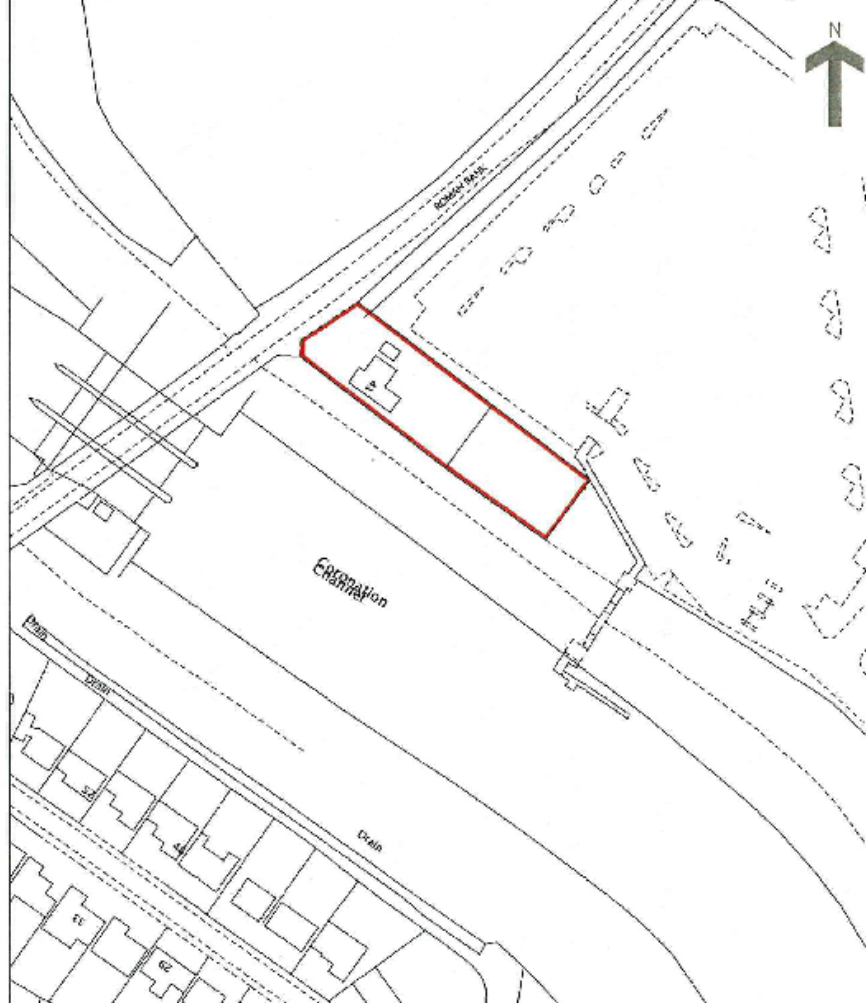
MAP SCALE 1:1250  
CREATED DATE: 25/09/2019  
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IN SCALE

Land Registry  
Official copy of  
title plan

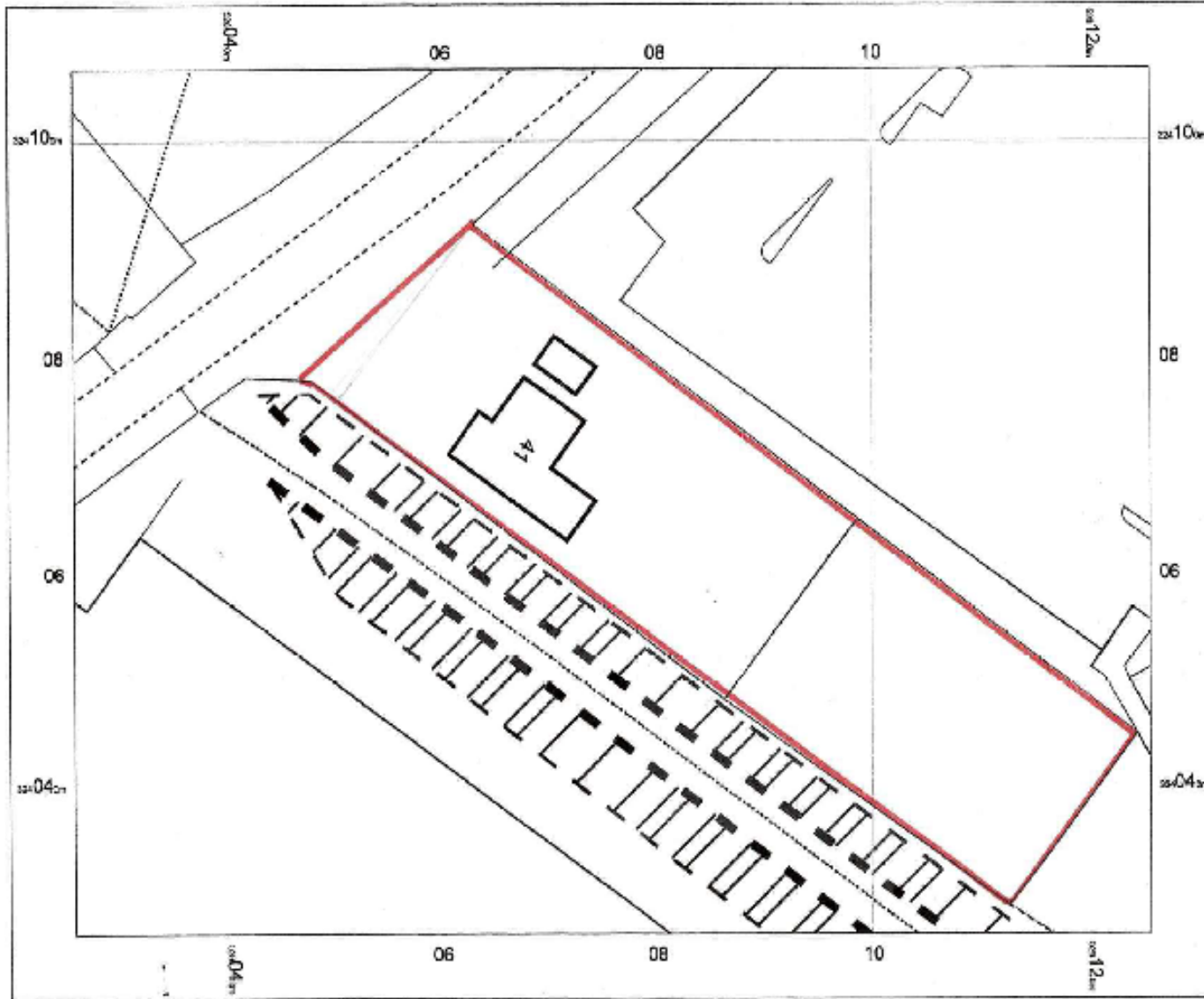
Title number LL310513  
Ordnance Survey map reference TF2624SW  
Scale 1:1250 enlarged from 1:2500  
Administrative area Lincolnshire : South  
Holland



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# Maytree Lodge

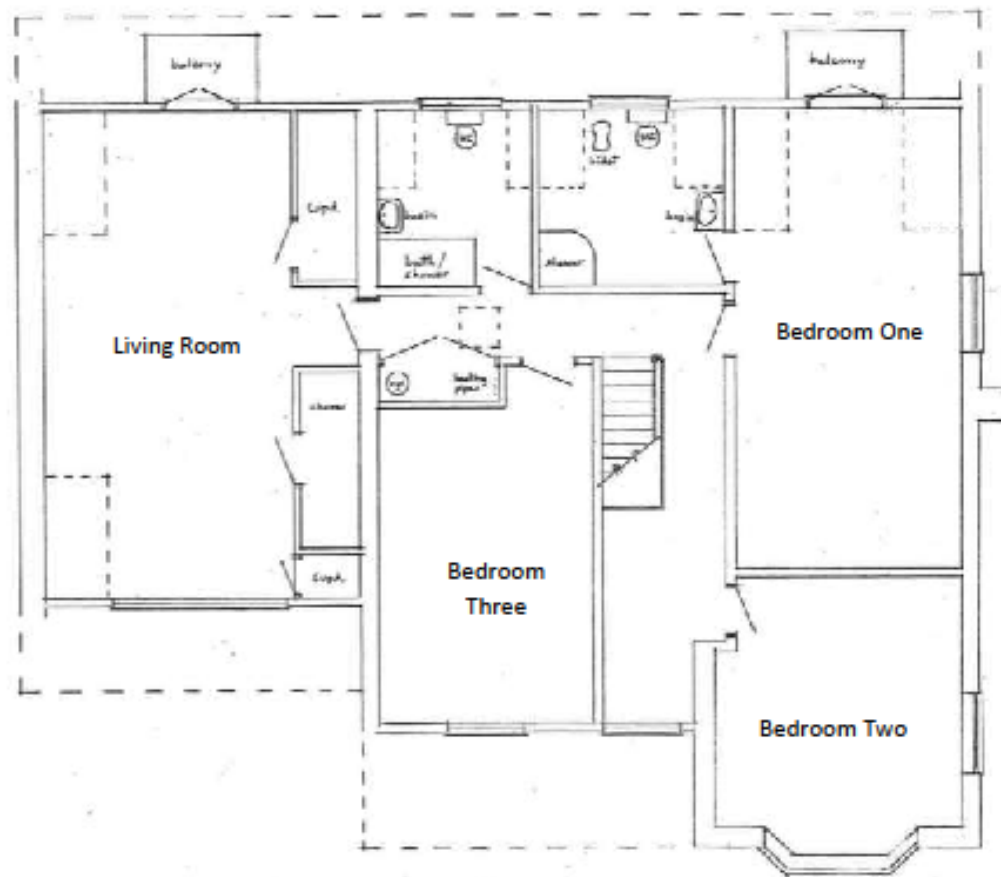


OS MasterMap 1250/2500/10000  
scale  
15 June 2015, ID:  
BLJT-00433065  
[www.planningapplicationsmaps.co.uk](http://www.planningapplicationsmaps.co.uk)

1:500  
scale  
print  
at  
A4,  
Centre:  
825078  
E,  
324067  
N

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Licence  
no.  
100061881

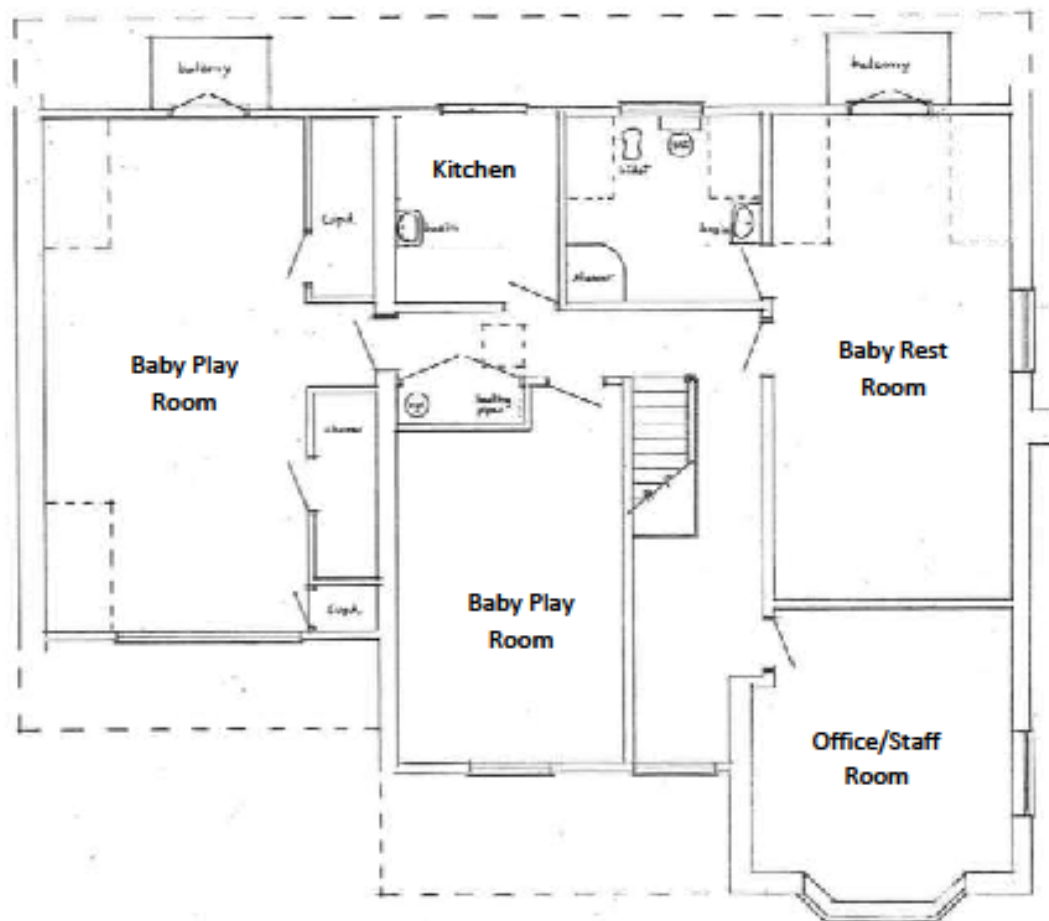




Maytree Lodge, 41 Roman Bank Spalding PE12 6EX

First Floor – current.





Maytree Lodge, 41 Roman Bank Spalding PE12 6EX

First Floor – proposed.



jubilant.ranks.prawn

























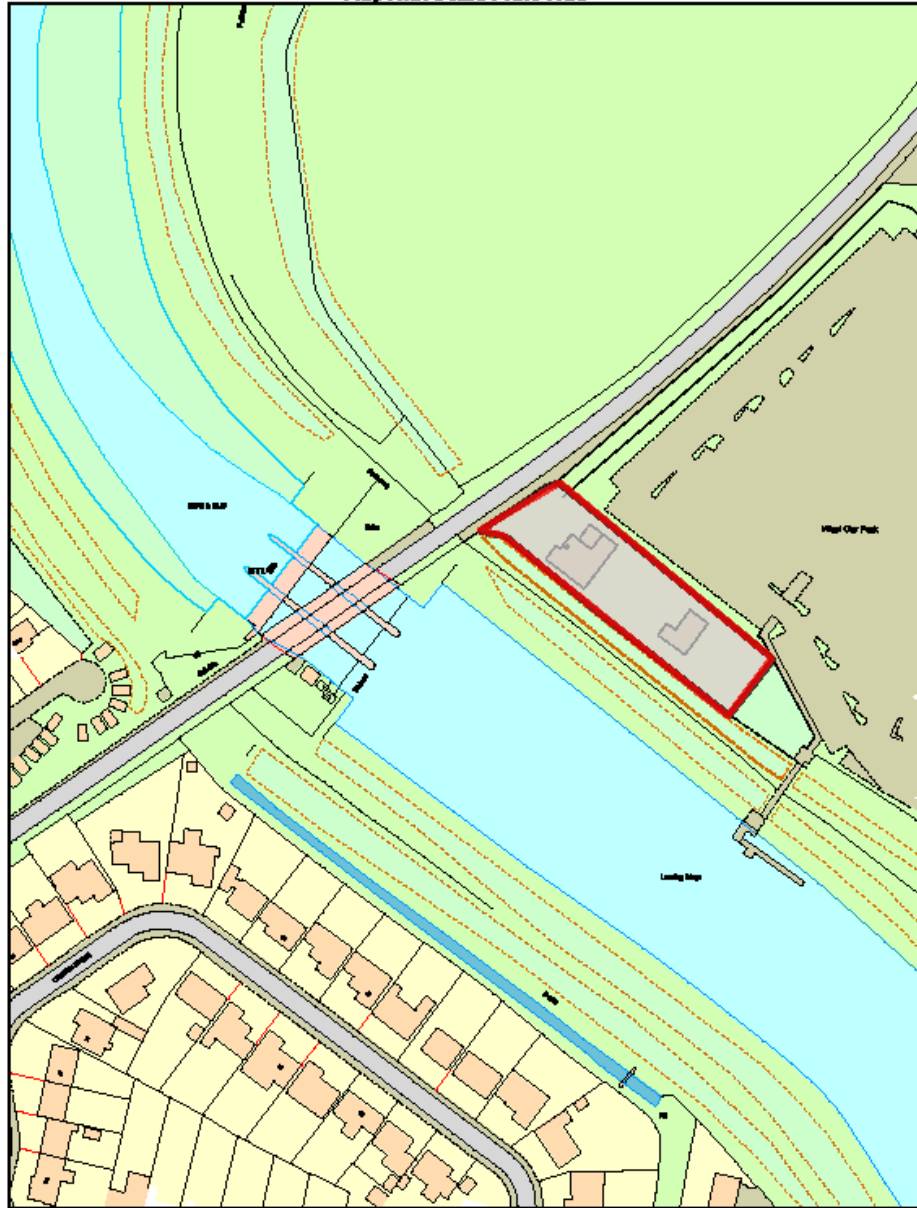








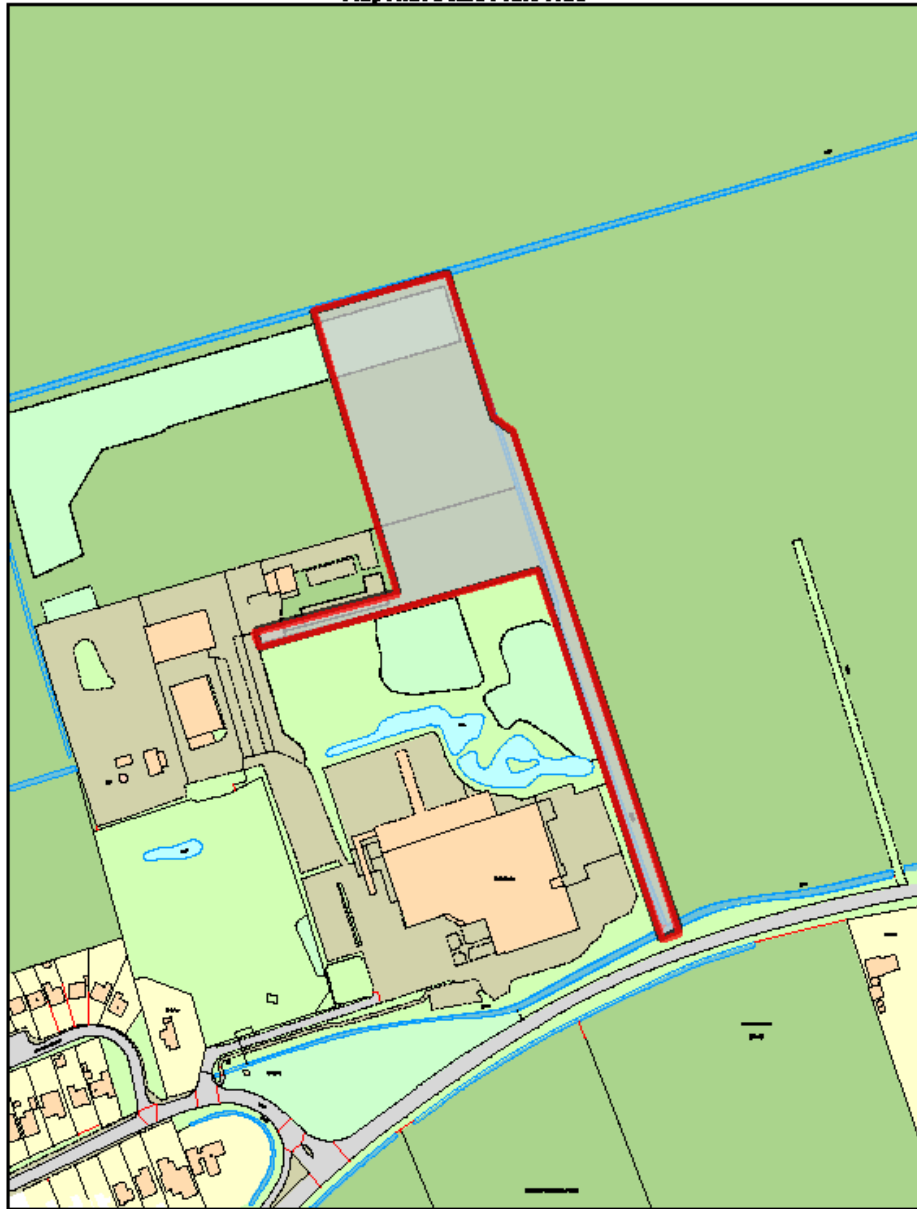
MapThat Scale Print Title

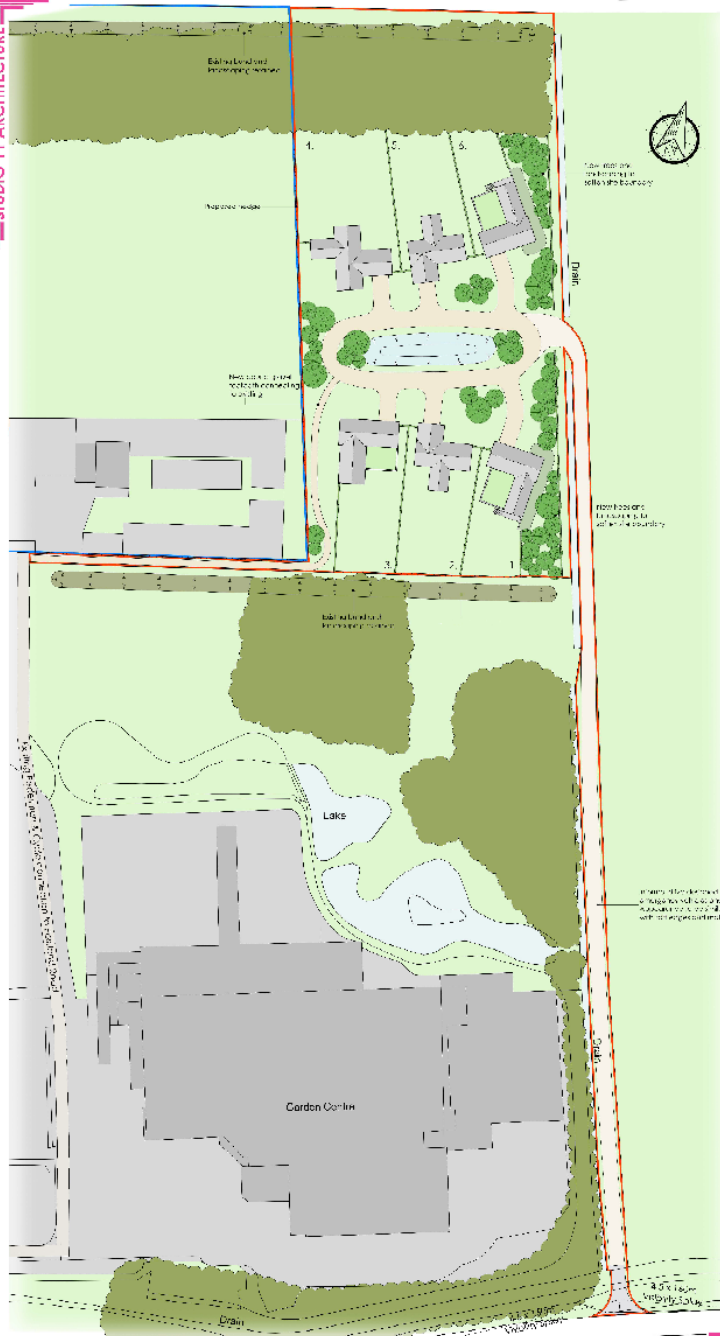


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As per the site plan, the site is divided into three main sections: 1. Educational Recreatory Center, 2. Garden Center, and 3. Agricultural Fields.

**KEY**

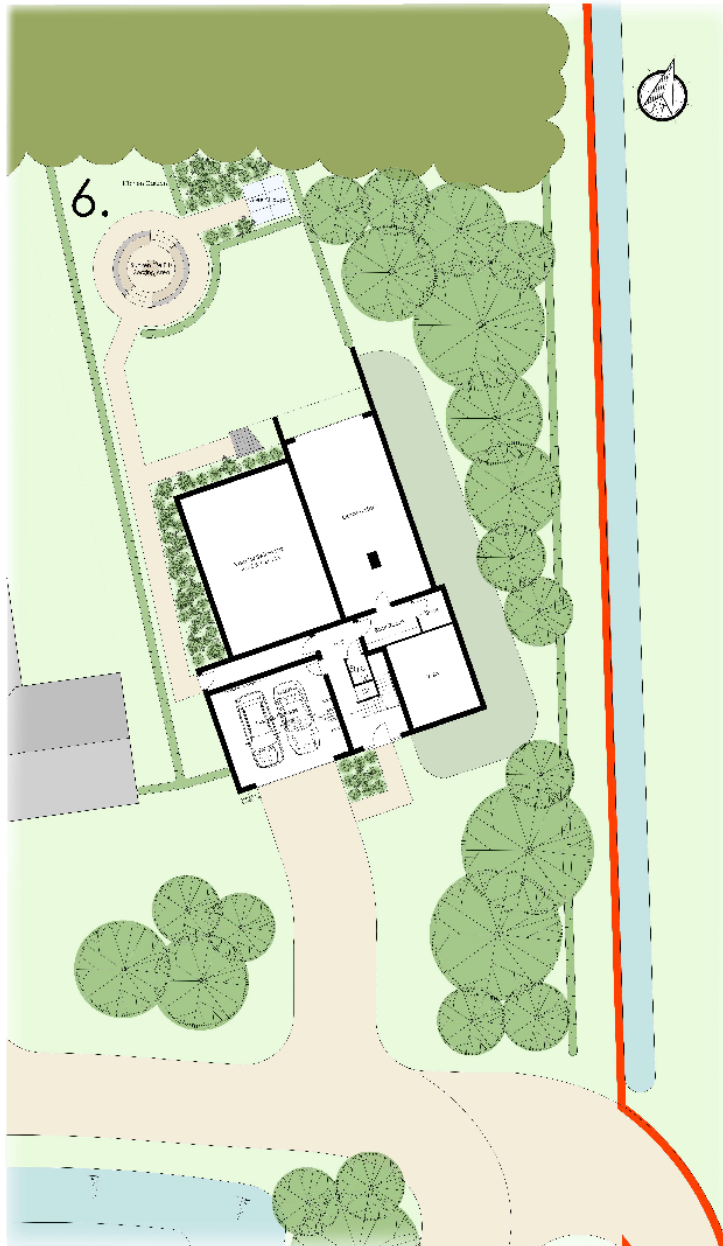
- [Green Swatch] Existing and proposed landscape
- [Green Swatch] Existing trees
- [Green Circle] Proposed trees
- [Green Swatch] Proposed lawn
- [Grey Swatch] Proposed building footprints
- [Light Green Swatch] Proposed access
- [Light Green Swatch] Proposed drive access
- [Light Green Swatch] Proposed main road
- [Green Swatch] Existing building
- [Blue Swatch] Existing water bodies
- [Green Swatch] Proposed water

Agricultural Fields

**STUDIO 11 ARCHITECTURE**  
 1100, 11th Street, New York, NY 10001  
 Tel: +1 212 555 1234  
 Fax: +1 212 555 5678  
 Email: info@studio11.com  
 Website: www.studio11.com

**PROJECT INFORMATION**

Client: ABC Corporation  
 Location: 1234 Main Street, New York, NY  
 Date: 2023-10-27  
 Scale: 1:500  
 Sheet: 1 of 1



PROPOSED DEVELOPMENT PLAN  
 1:1000  
 10/10/2010

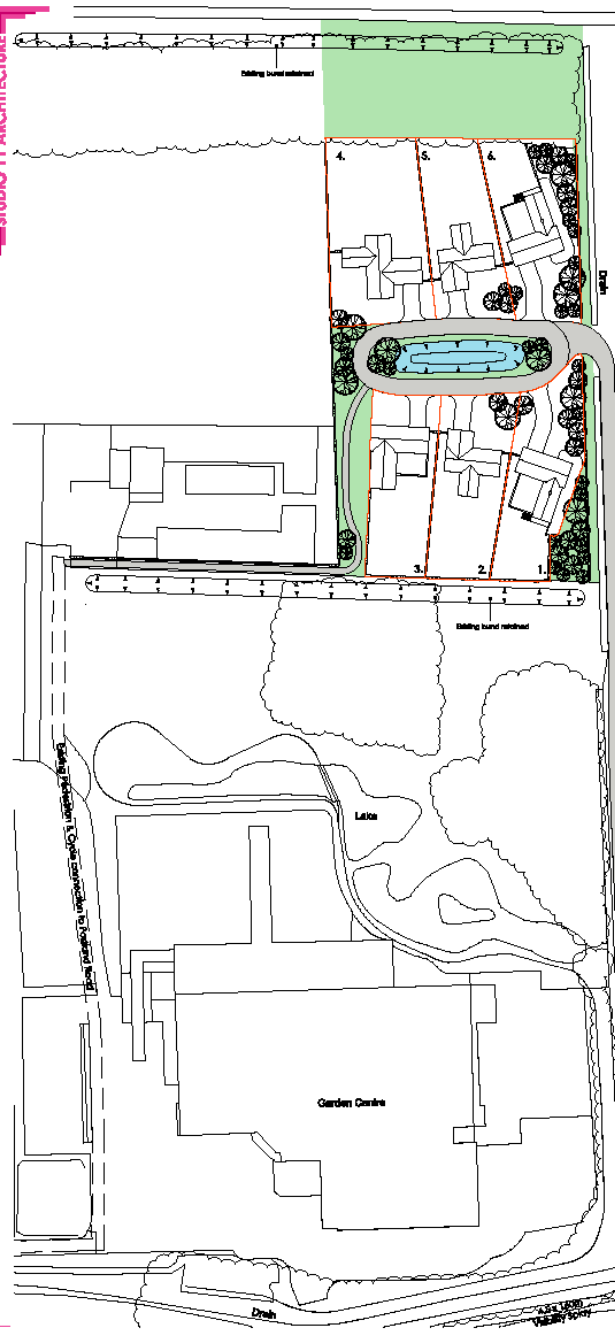
1. The site is situated on the corner of the intersection of the main road and the main road.

**PROPOSED DEVELOPMENT PLAN**  
 1:1000  
 10/10/2010

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENTAGE
1	Living Room	1000	25.00
2	Kitchen	500	12.50
3	Bedroom	1000	25.00
4	Bathroom	200	5.00
5	Parking	1000	25.00
6	Landscaping	1000	25.00
7	Driveway	1000	25.00
8	Other	1000	25.00
<b>TOTAL</b>	<b>4000</b>	<b>100.00</b>	<b>100.00</b>

DATE: 10/10/2010  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]





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- KEY**
- Plots Bound & Paved by management company
  - Plots conveyed to a purchaser by self build purchasers
  - Landscaped areas maintained by management company
  - Surface Water Affluxion Pond maintained by management company

Agricultural  
Fields

1. **PROPOSED** **RESIDENTIAL DEVELOPMENT**  
OF A 4.5 HA SITE AT  
THE GARDEN CENTRE, CHESHAM, BUCKINGHAMSHIRE



STUDIO 11 ARCHITECTURE  
ARCHITECTS

DATE: 03.08.2015  
SCALE: 1:500  
DRAWING NO: 101-014

PROJECT: Proposed Residential development of self-build houses at the Garden Centre, Chesham, Bucks.

CLIENT: AD, BSA, J&J & J Alcock

Water Pro-Addition Details (m):

ICP	IG	IS
0.00	0.00	0.00

6.0 x 140m  
1:500 Scale











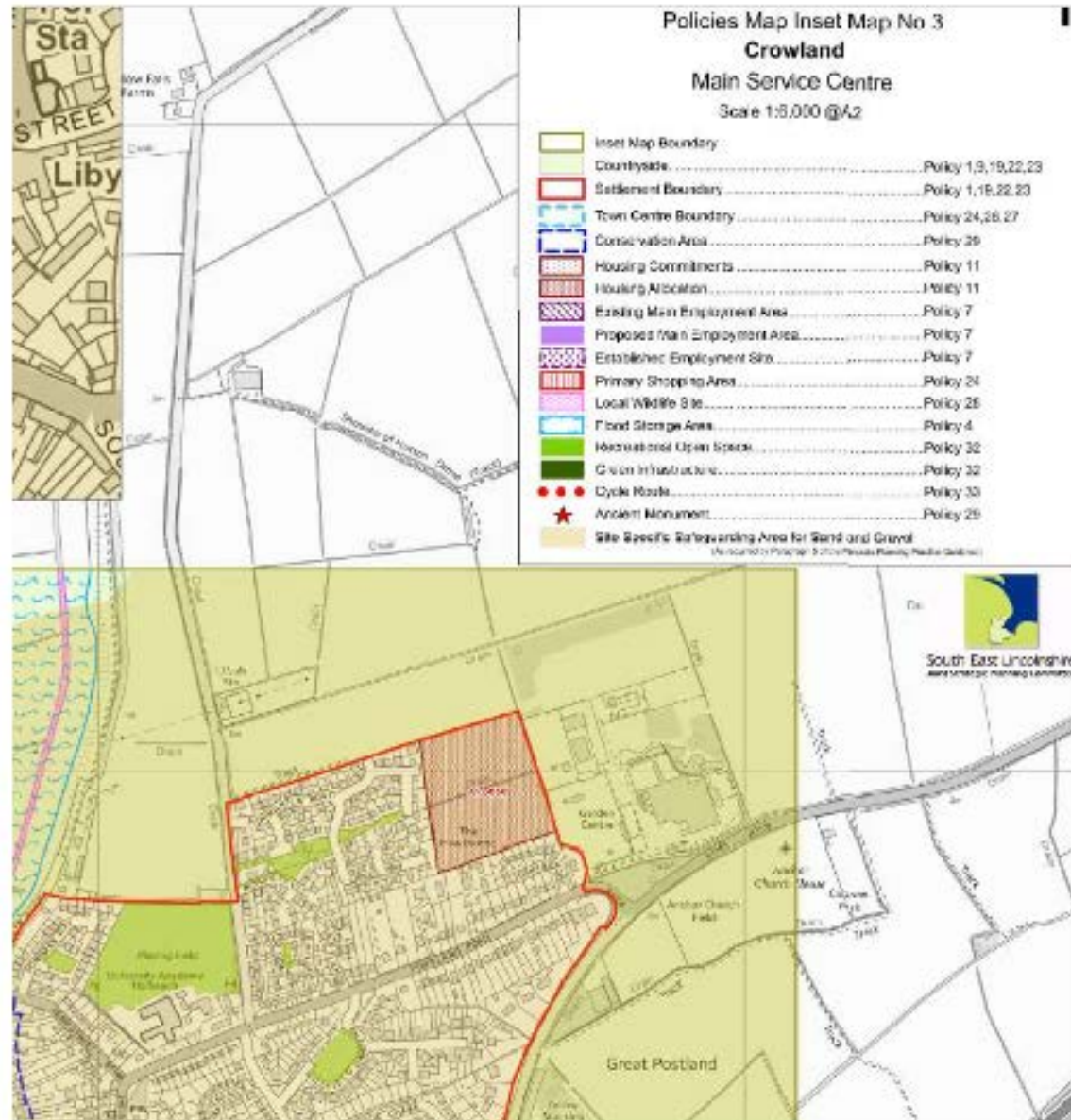
Illustrative Scheme View from adjacent to Plot 6, Land off James Road, Crowland

July 2019

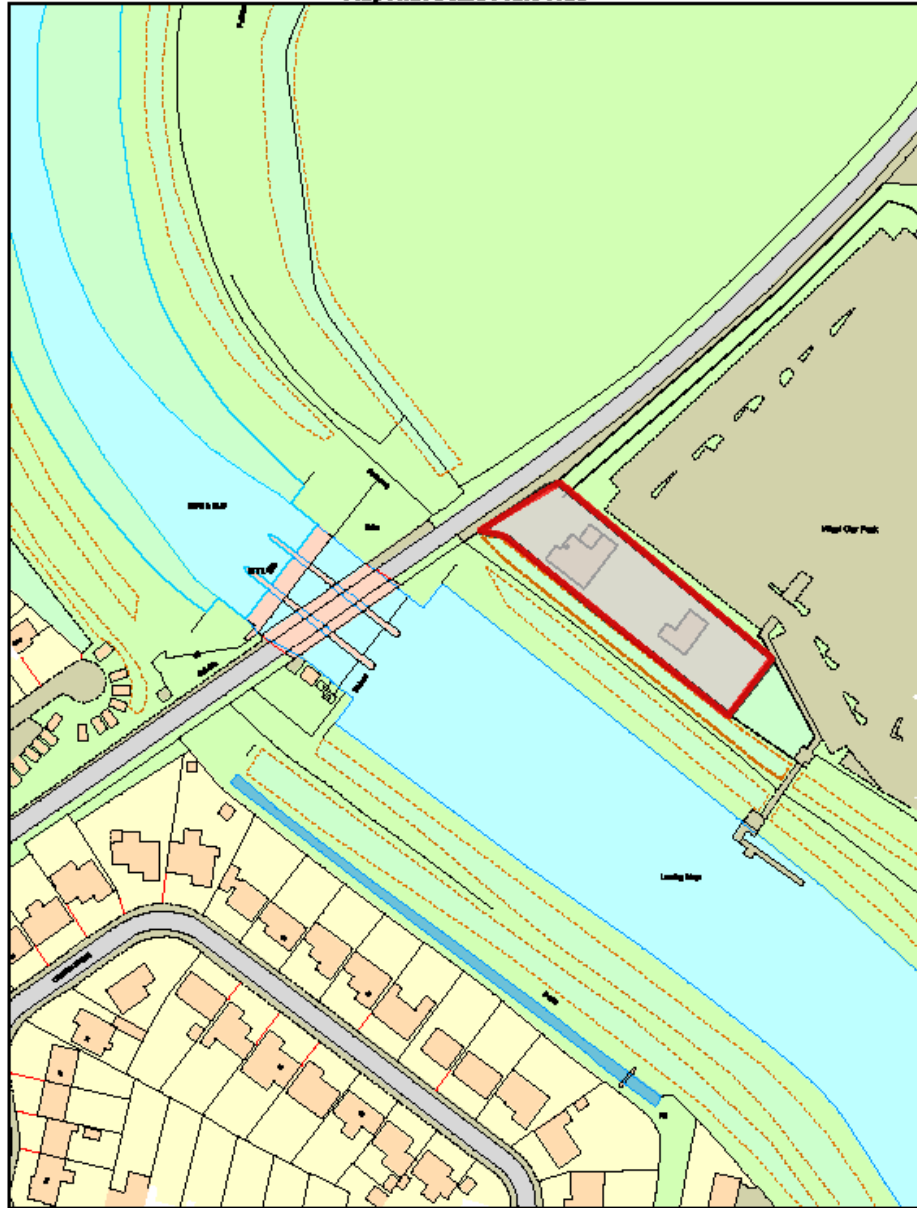




**SELP 2019 – EXTRACT FROM CROWLAND PLAN**



MapThat Scale Print Title

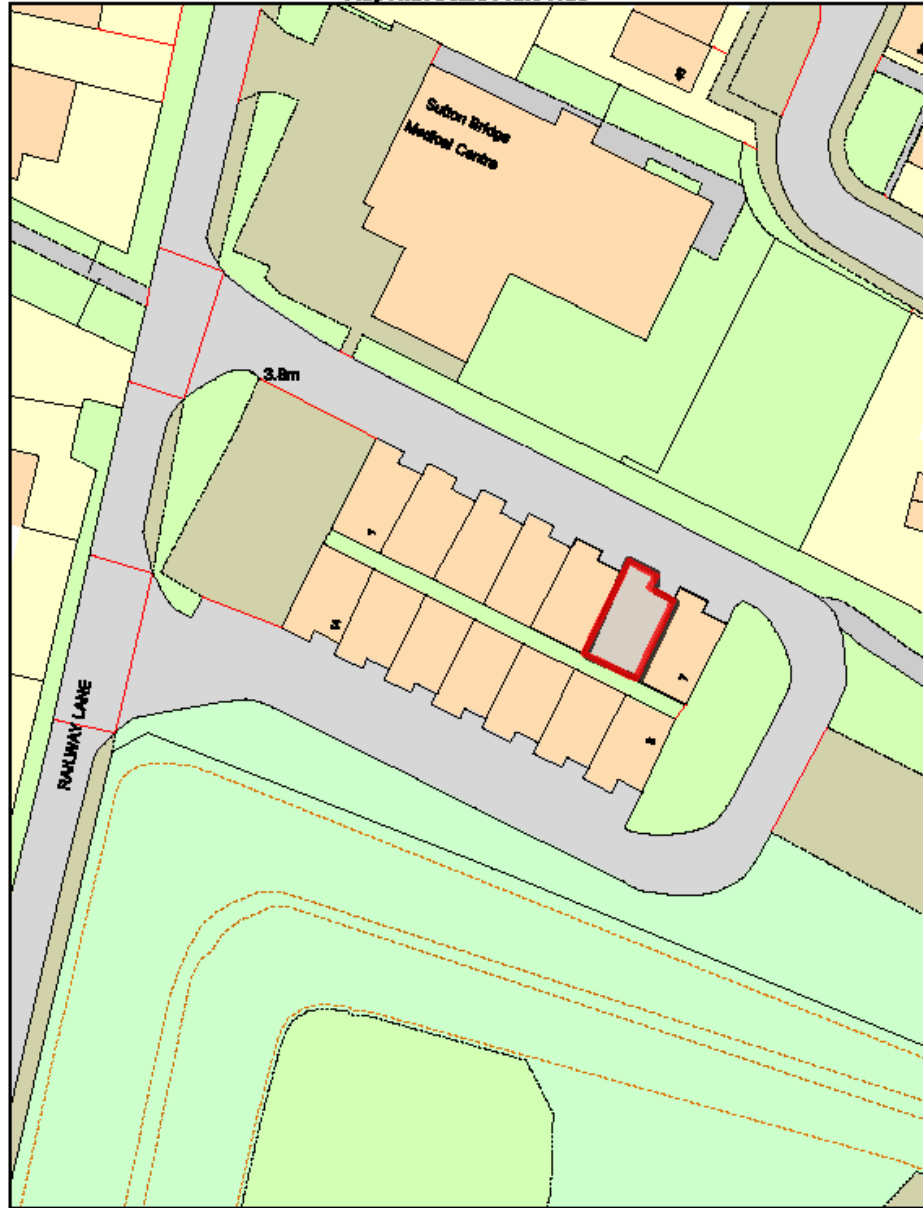


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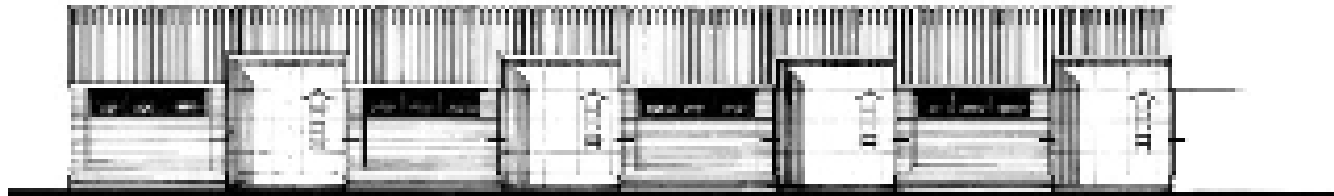
Unit 6, Railway Lane Industrial Estate, Railway Lane North, Sutton Bridge, Spalding, Lincolnshire,  
PE12 9UN



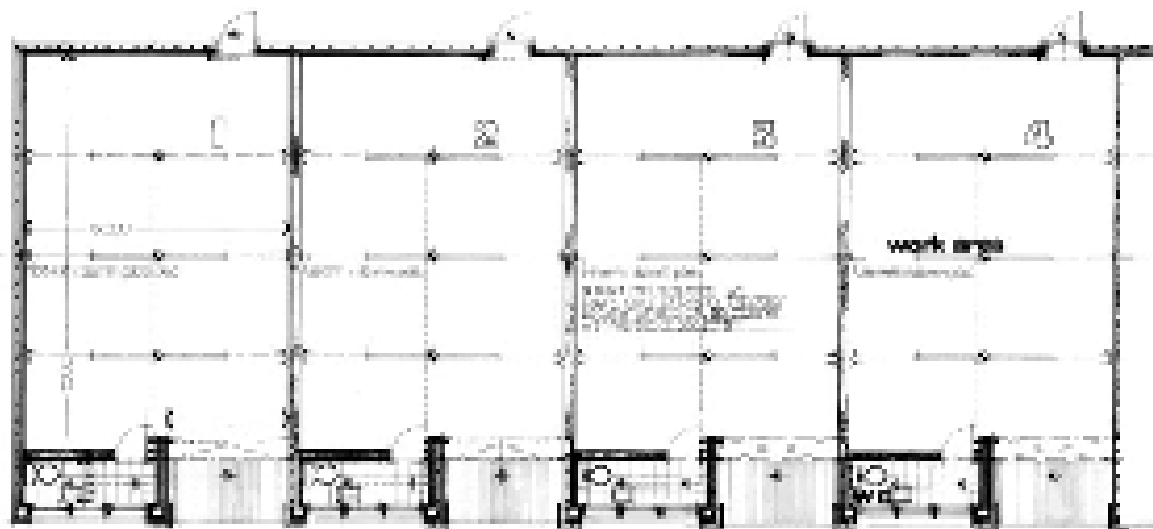
Site Plan shows area bounded by: 547267.45, 321161.51 547408.88, 321302.93 (at a scale of 1:1250), OSGridRef: TF47332123. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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PROJECT INFORMATION



**FLOOR PLAN**

Scale: 1/4" = 1'-0"

NO.	REVISION
1	ISSUED FOR CONSTRUCTION
2	REVISED PER ARCHITECT'S COMMENTS
3	REVISED PER ARCHITECT'S COMMENTS
4	REVISED PER ARCHITECT'S COMMENTS
5	REVISED PER ARCHITECT'S COMMENTS



t: 01406 259881 m: 07486 021864



HOMESIDE STORAGE CENTRE

OPEN

WINDY LINE  
INDUSTRIAL  
ESTATE

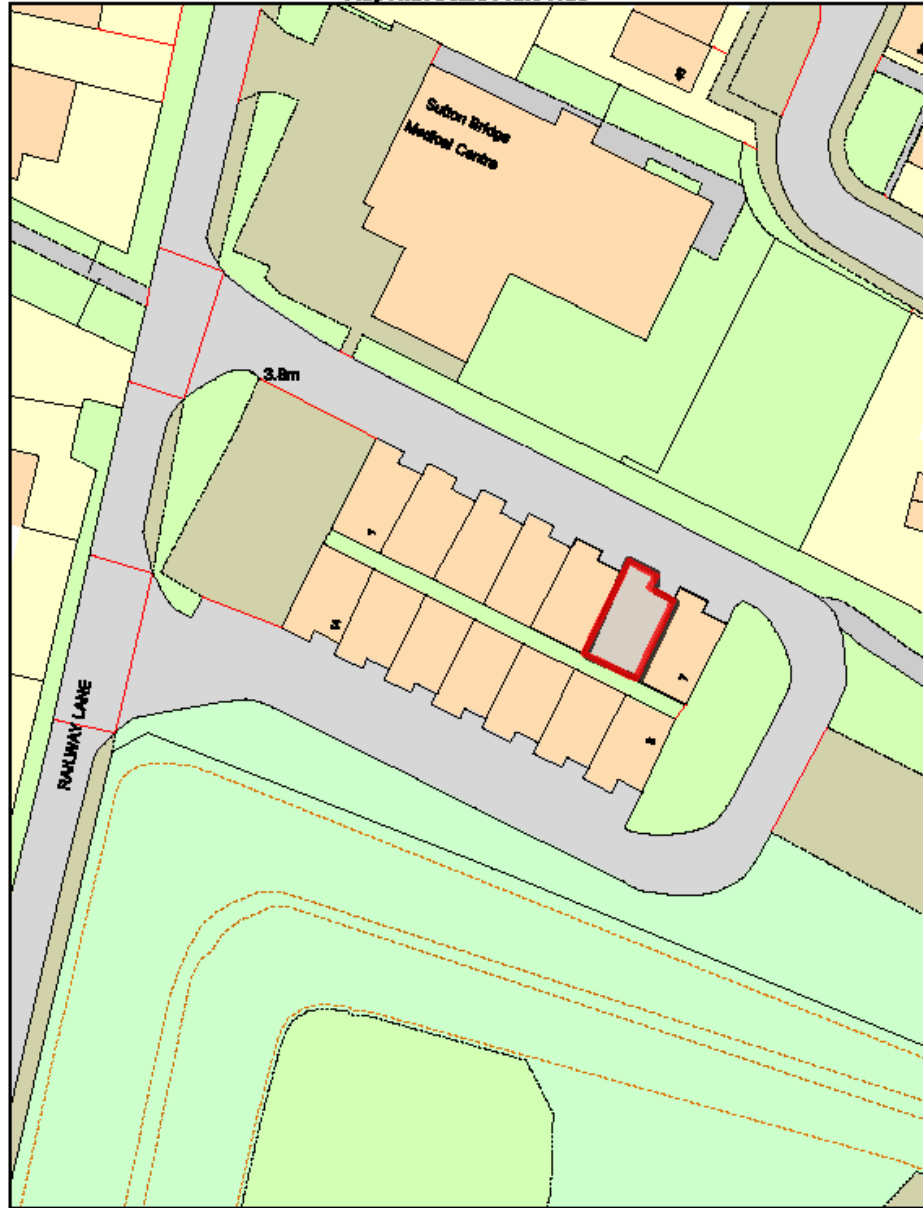
WINDY LINE











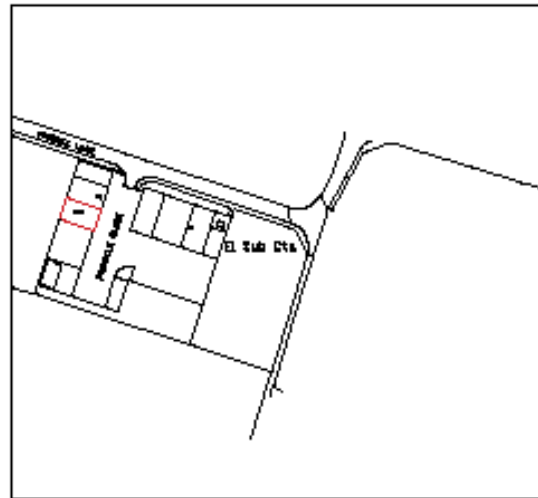


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CREATED DATE: 26/09/2019  
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**Location Plan 1:2500**



South Holland District Council  
Property Services  
Council Offices  
Fray Road  
Burdling  
Lincs  
PE11 2XE  
01775 761161

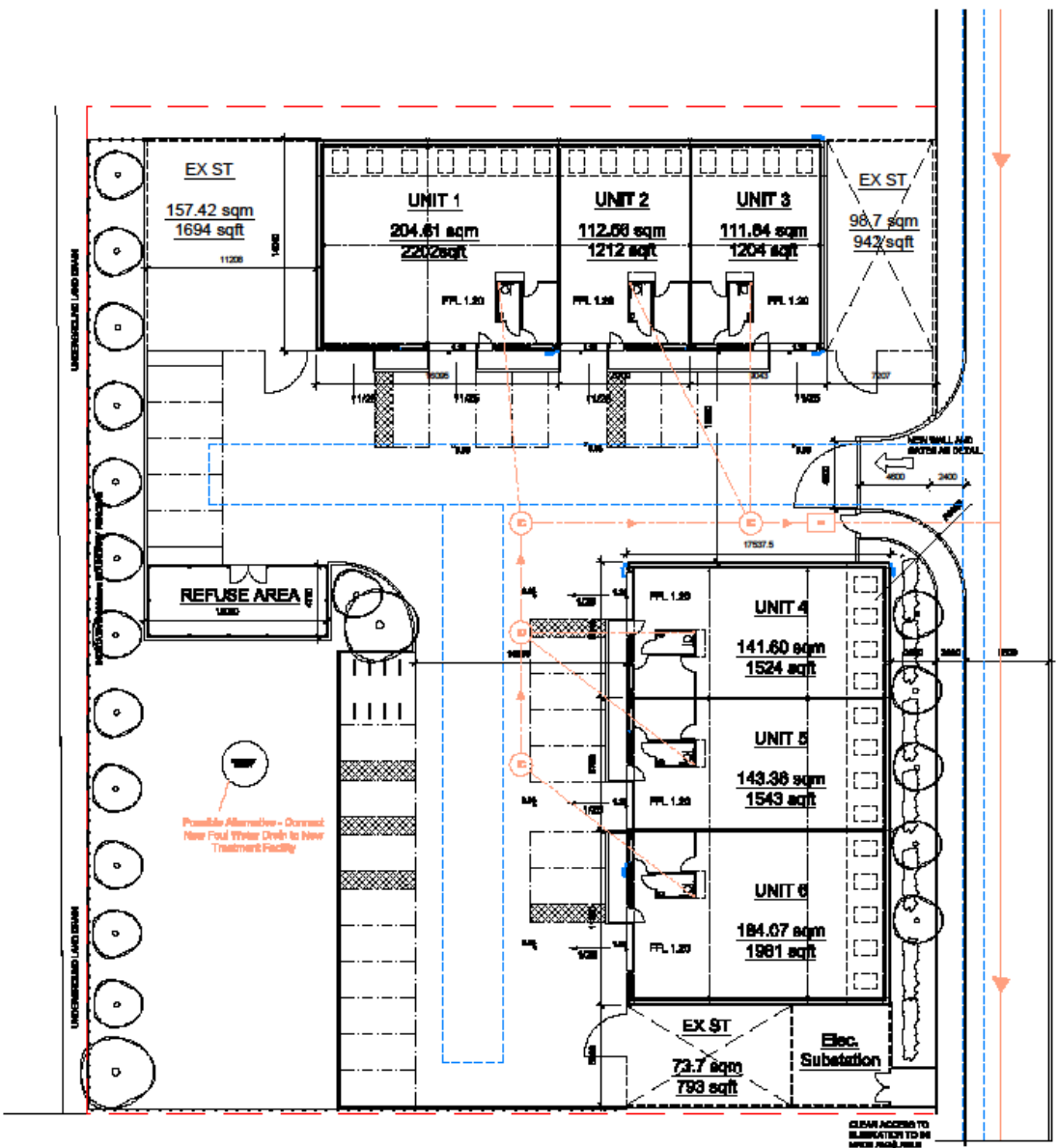
**Address** Site Plan - Pinnacle Close Unit 2

**Date** 12th June 2019

**Scale** 1:2500

1. All work shall be in accordance with the applicable codes and standards.  
 2. All work shall be in accordance with the applicable codes and standards.  
 3. All work shall be in accordance with the applicable codes and standards.  
 4. All work shall be in accordance with the applicable codes and standards.  
 5. All work shall be in accordance with the applicable codes and standards.

1. 100%  
 2. 100%  
 3. 100%  
 4. 100%  
 5. 100%



Key to Levels	
1.20	Finished Floor Level
1.00	Finished Floor Level
0.00	Finished Floor Level

Key to drainage symbols	
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage
(Symbol)	Surface water drainage

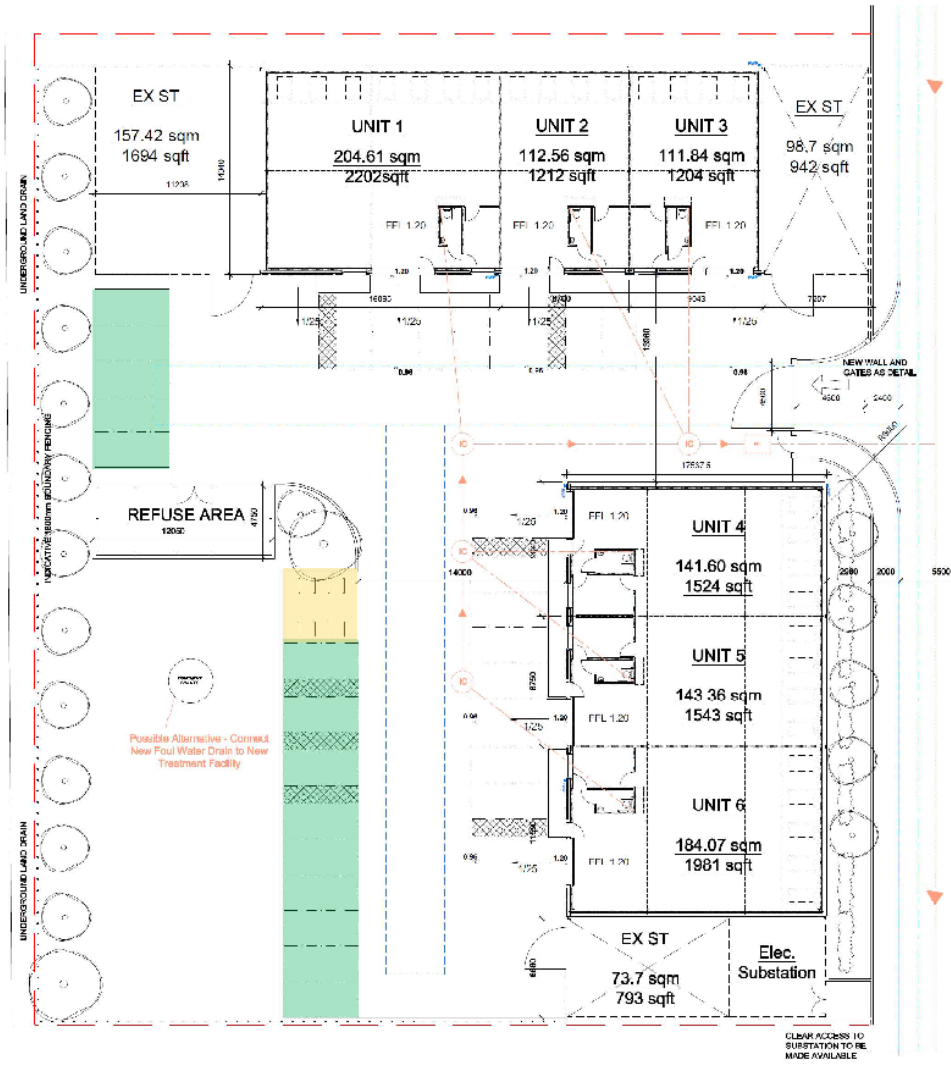
  

Foul water drainage	
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage
(Symbol)	Foul water drainage

1. 100%  
 2. 100%  
 3. 100%  
 4. 100%  
 5. 100%

1. 100%  
 2. 100%  
 3. 100%  
 4. 100%  
 5. 100%







1-11  
1-11  
1-11

More  
EVs  
1-11



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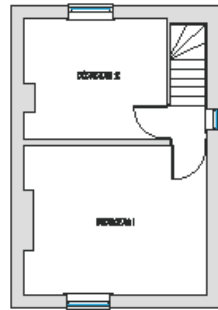


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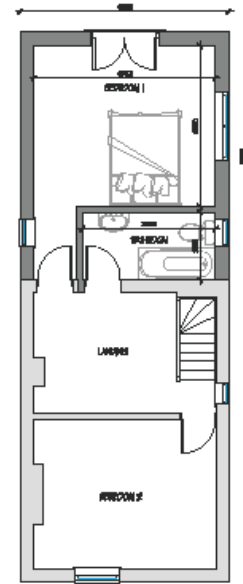
Existing Ground Floor Plan  
Scale 1:50



Existing First Floor Plan  
Scale 1:50



Proposed Ground Floor Plan  
Scale 1:50



Proposed First Floor Plan  
Scale 1:50



Existing Front (West) Elevation  
Scale 1:100



Existing Rear (East) Elevation  
Scale 1:100



Existing Side (South) Elevation  
Scale 1:100



Existing Side (North) Elevation  
Scale 1:100



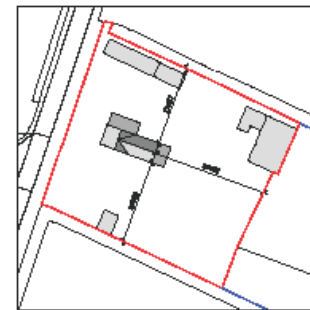
Proposed Rear (East) Elevation  
Scale 1:100



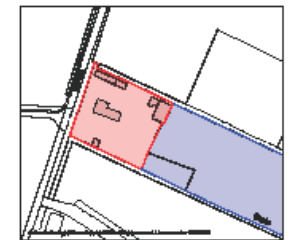
Proposed Side (North) Elevation  
Scale 1:100



Proposed Side (South) Elevation  
Scale 1:100



Proposed Block Plan  
Scale 1:500



Site Location Plan  
Scale 1:1250

PROJECT:	FIRST FLOOR REAR EXTENSION
PROPOSER:	PROPOSING LANDSCAPE ARCHITECTS
DATE:	21
SCALE:	1:100
PROJECT NO.:	1000000000
DATE:	21















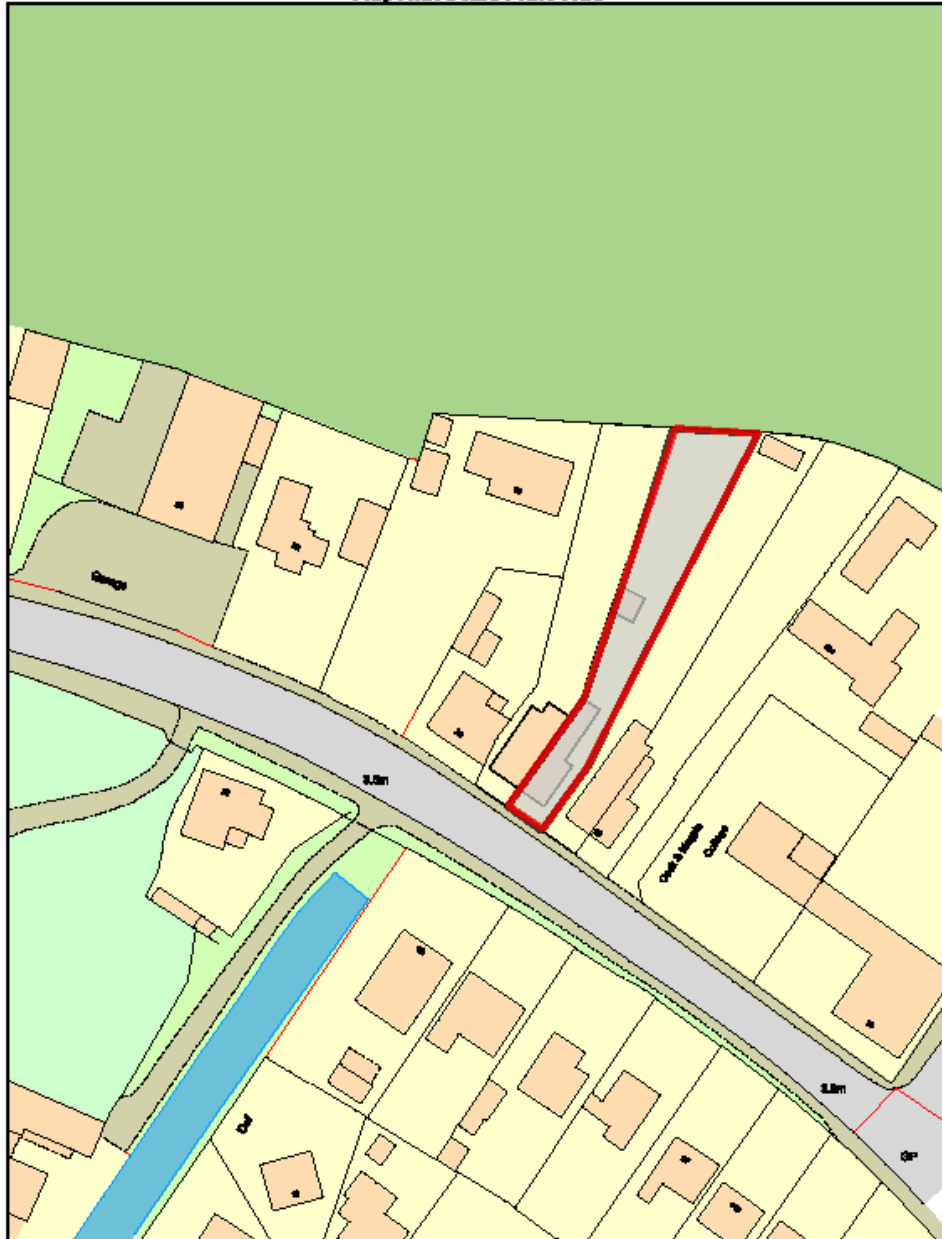
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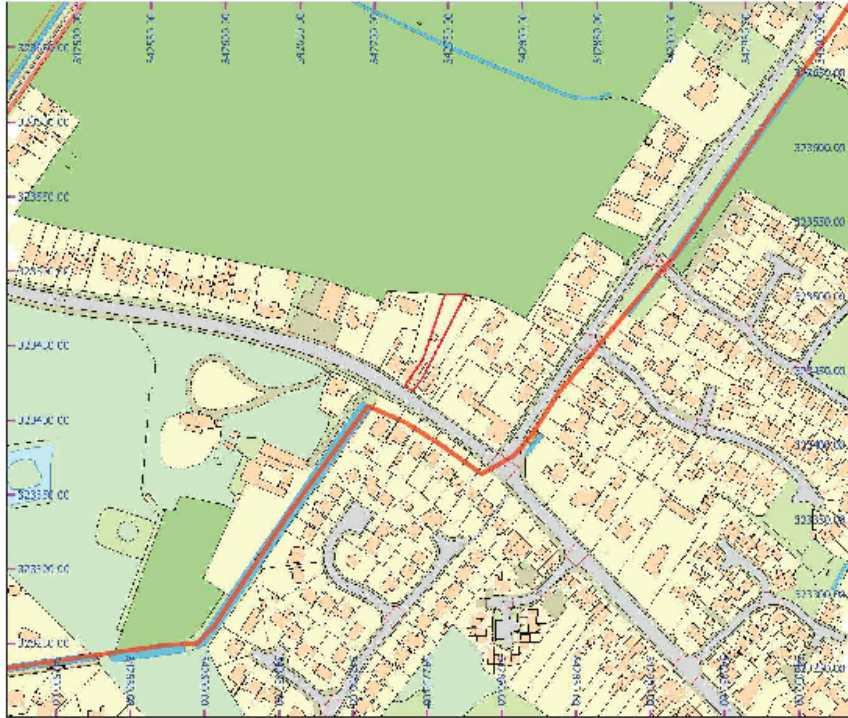
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1040 Grant - Location Plan 2500



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1040 Grant - Block Plan 500



MAP SCALE 1: 500  
 CREATED DATE: 16/07/2019  
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 LIABLE TO DISTORTION  
 IN SCALE

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Rev.	Description	Date



CLIENT  
 Mrs C Bates  
 ADDRESS  
 24 Gedney Road  
 Long Sutton  
 PE12 9JN

PROJECT  
 Accessibility Adaptations

Date  
 26/09/2019

Project number  
 DFG/19/1040

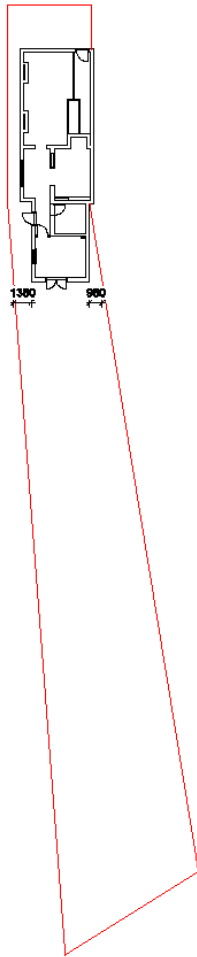
Scale (A3)

SHEET  
 Site Block Location

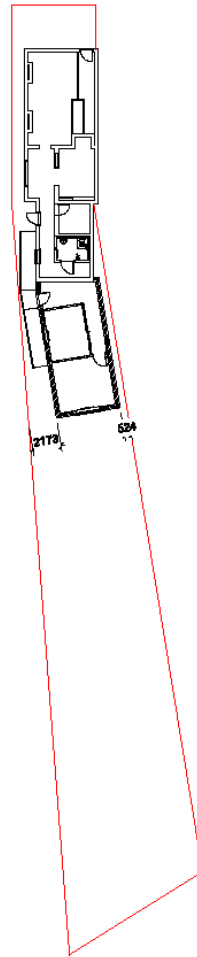
Drawn by  
 SG

DRAWING NUMBER  
 17

REV



**1** Block Plan - (Existing)  
1 : 250



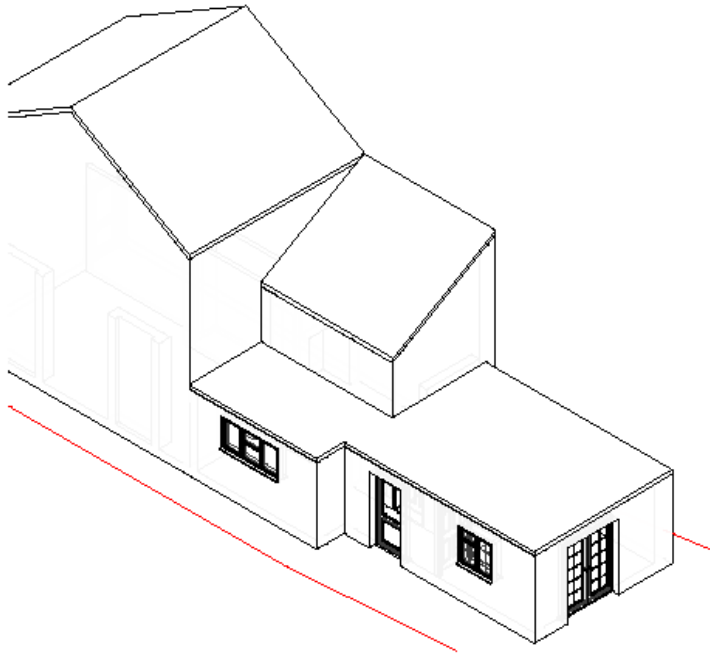
**2** Block Plan - (Proposed)  
1 : 250

Rev.	Description	Date

**CLIENT** Mrs C Bates  
**ADDRESS** 24 Gedney Road  
Long Sutton  
PE12 9JN

**PROJECT** Accessibility Adaptations  
**SHEET** Site Block Plan

**Date** 25/02/2019  
**Project number** DFG19/1040  
**Scale (@ A3)** 1 : 250  
**Drawn by** SG  
**DRAWING NUMBER** 20  
**REV**



**1** 3D View - (Existing)

Rev.	Description	Date
A	Scheme Refram	16/07/2016



CLIENT Mrs C Bates  
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 Long Sutton  
 PE12 9JN

PROJECT  
 Accessibility Adaptations

Date  
 26/09/2019

Project number  
 DFG/19/1040

Scale (to A3)

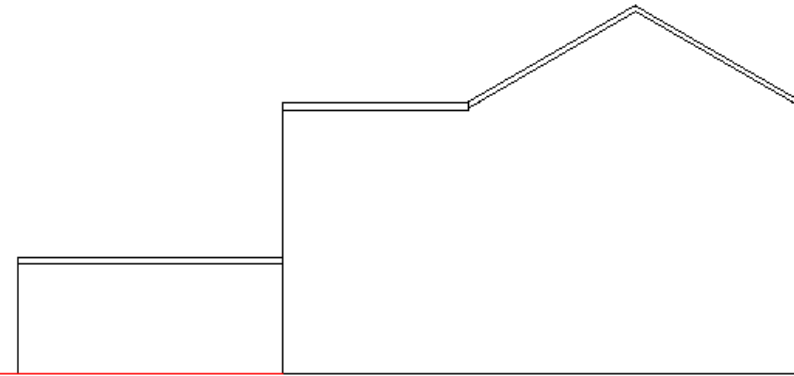
SHEET  
 Existing 3D View

Drawn by  
 SG

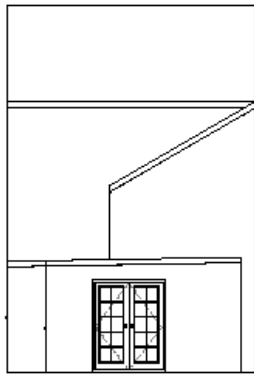
DRAWING NUMBER  
 02

REV  
 A

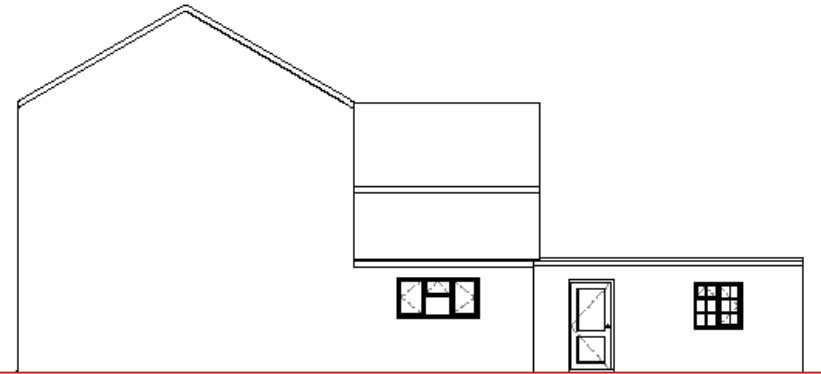




**2** NW Elevation - (Existing)  
1 : 100



**1** NE Elevation - (Existing)  
1 : 100



**3** SE Elevation - (Existing)  
1 : 100

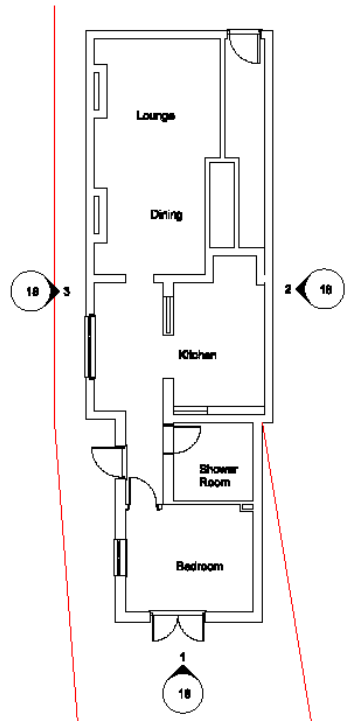
Rev.	Description	Date



CLIENT Mrs C Bates  
ADDRESS 24 Gedney Road  
Long Sutton  
PE12 9JN

PROJECT Accessibility Adaptations  
SHEET Existing Elevations

Date 26/09/2019	Project number DFG/19/1040	Scale (A3) 1 : 100
Drawn by SG	DRAWING NUMBER 18	REV

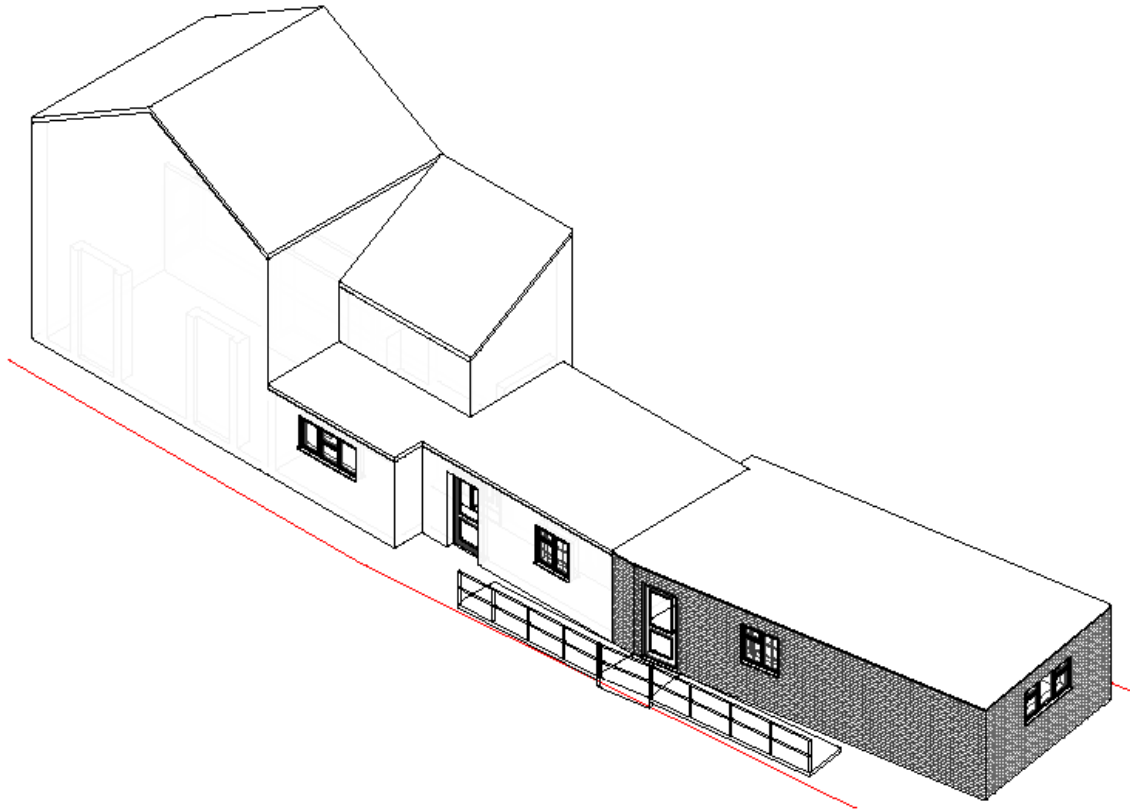


**1 Ground Floor - (Existing)**



Rev.	Description	Date
A	Elevation Markers Added	16/08/2019

<b>CLIENT</b> Mrs C Bates <b>ADDRESS</b> 24 Gedney Road Long Sutton PE12 9JN	<b>PROJECT</b> Accessibility Adaptations	<b>Date</b> 22/03/2019	<b>Project number</b> DFG19/1040	<b>Scale (A3)</b> 1:100
	<b>SHEET</b> Existing Ground	<b>Drawn by</b> SG	<b>DRAWING NUMBER</b> 01	<b>REV</b> A



**1 3D View - (Proposed)**

Rev.	Description	Date
A	Scheme Refram	16/07/2016



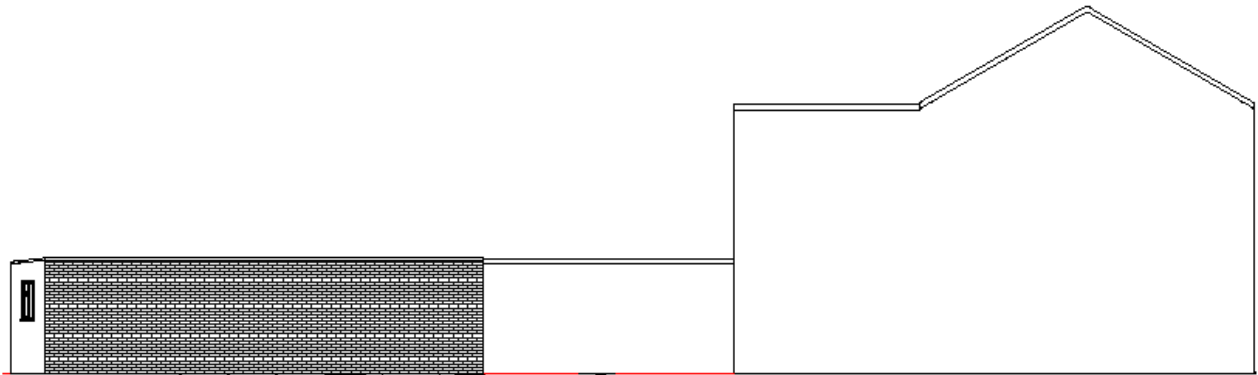
CLIENT Mrs C Bates  
 ADDRESS 24 Gedney Road  
 Long Sutton  
 PE12 9JN

PROJECT Accessibility Adaptations  
 SHEET Proposed 3D View

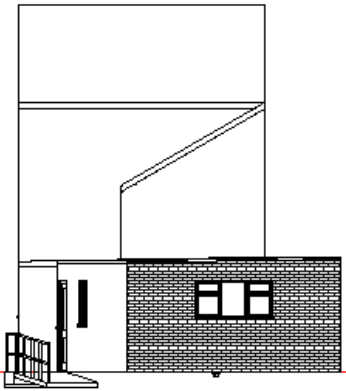
Date 26/09/2019  
 Drawn by SG

Project number DFG/19/1040  
 DRAWING NUMBER 05

Scale (to A3)  
 REV A



**2** **NW Elevation - (Proposed)**  
1 : 100



**1** **NE Elevation - (Proposed)**  
1 : 100



**3** **SE Elevation - (Proposed)**  
1 : 100

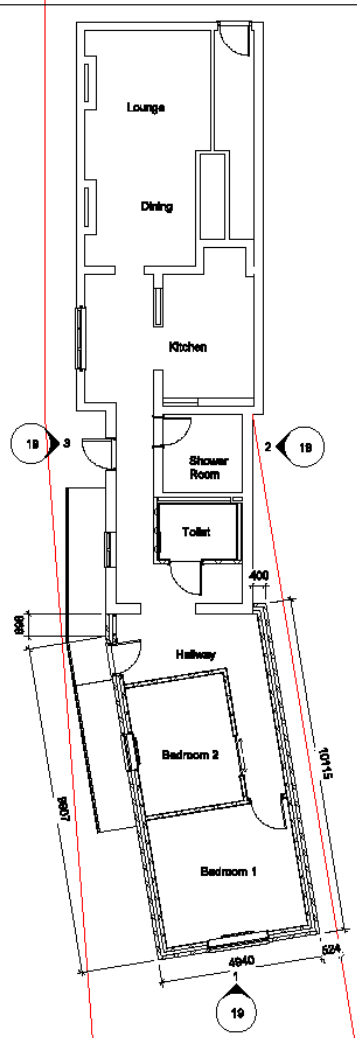
Rev.	Description	Date



CLIENT Mrs C Bates  
 ADDRESS 24 Gedney Road  
 Long Sutton  
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PROJECT Accessibility Adaptations  
 SHEET Proposed Elevations

Date 26/09/2019	Project number DFG/19/1040	Scale (A3) 1 : 100
Drawn by SG	DRAWING NUMBER 19	REV



**1** Ground Floor - (Proposed)  
1 : 100



Rev.	Description	Date
A	Schema Refused	16/07/2019
B	Bedroom floor moved and altered and bedroom extended	19/06/2019

<b>CLIENT</b> Mrs C Bates <b>ADDRESS</b> 24 Gedney Road Long Sutton PE12 9JN	<b>PROJECT</b> Accessibility Adaptations	<b>Date</b> 22/03/2019	<b>Project number</b> DFG19/1040	<b>Scale (A3)</b> 1 : 100
	<b>SHEET</b> Proposed Ground	<b>Drawn by</b> SG	<b>DRAWING NUMBER</b> 04	<b>REV</b> B













