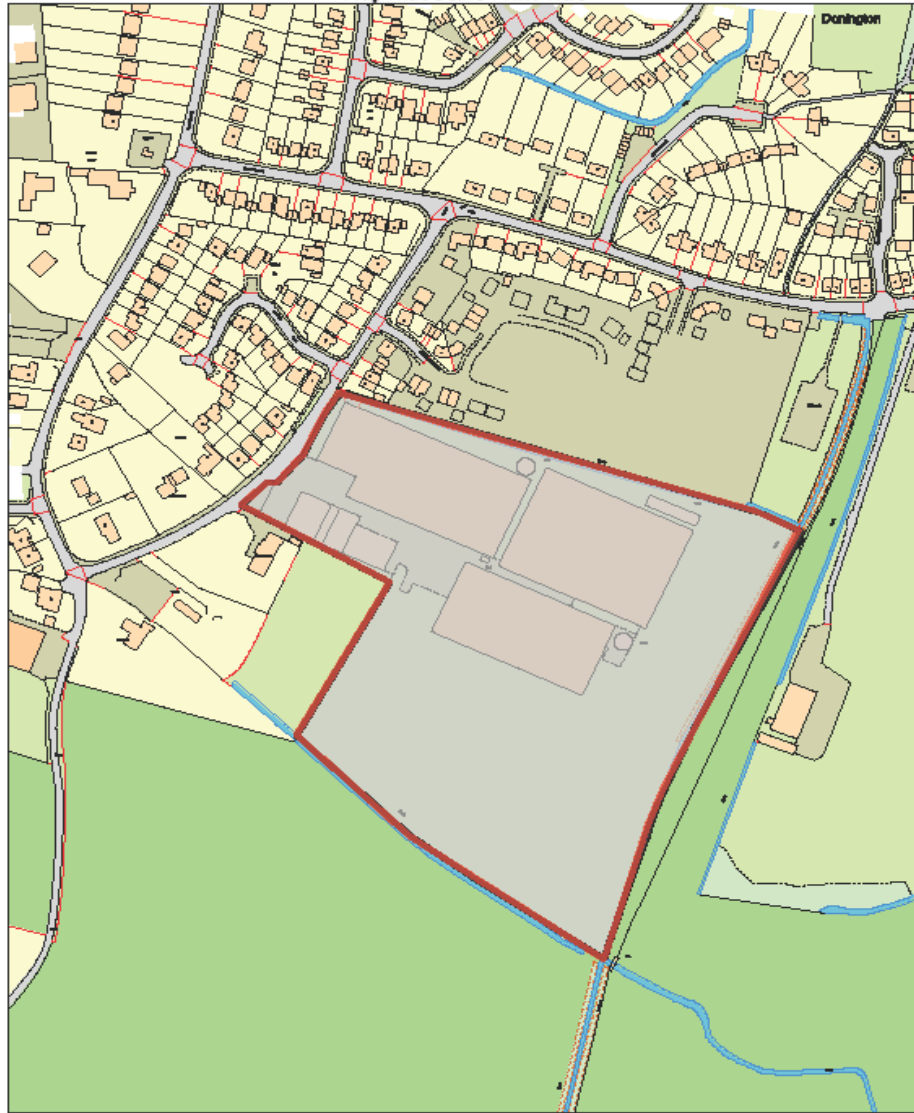


Welcome to the Planning Committee

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- Attractive Service**
- Shared Driveway: ●
 - Garage: ●

SCHEDULE

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331	2	2			

Plate 1: View from the north part of the west side of site looking east across site.



Plate 2: Shot from the central part of the west side of site looking northeast





Plate 4: Shot from the southeast corner of site looking northwest across site





Plate 6: Shots from the central part of the eastern border of the site looking north and northwest

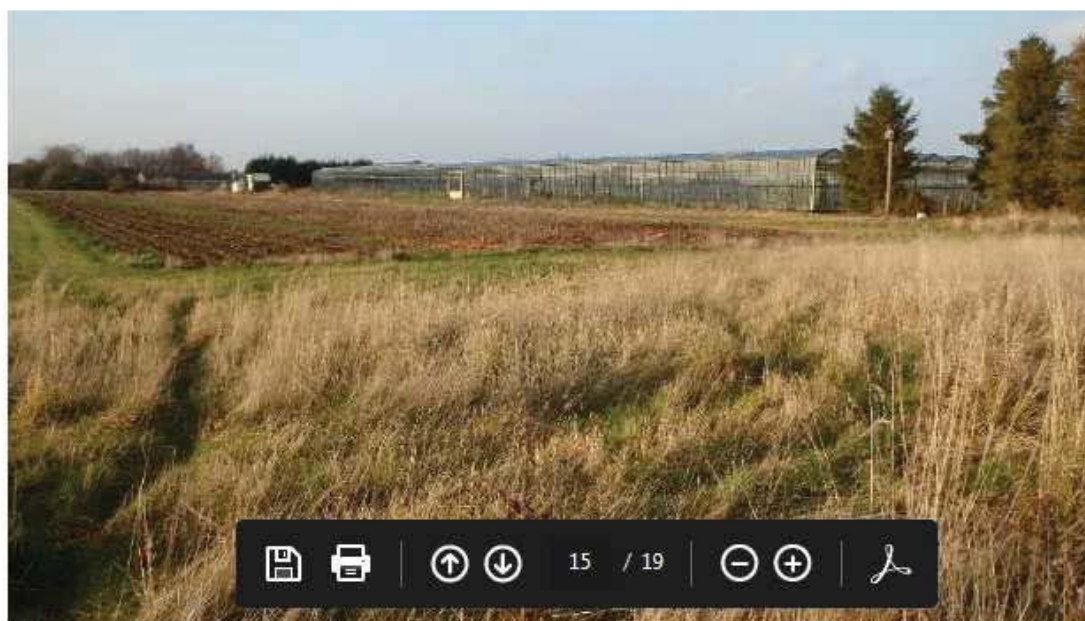
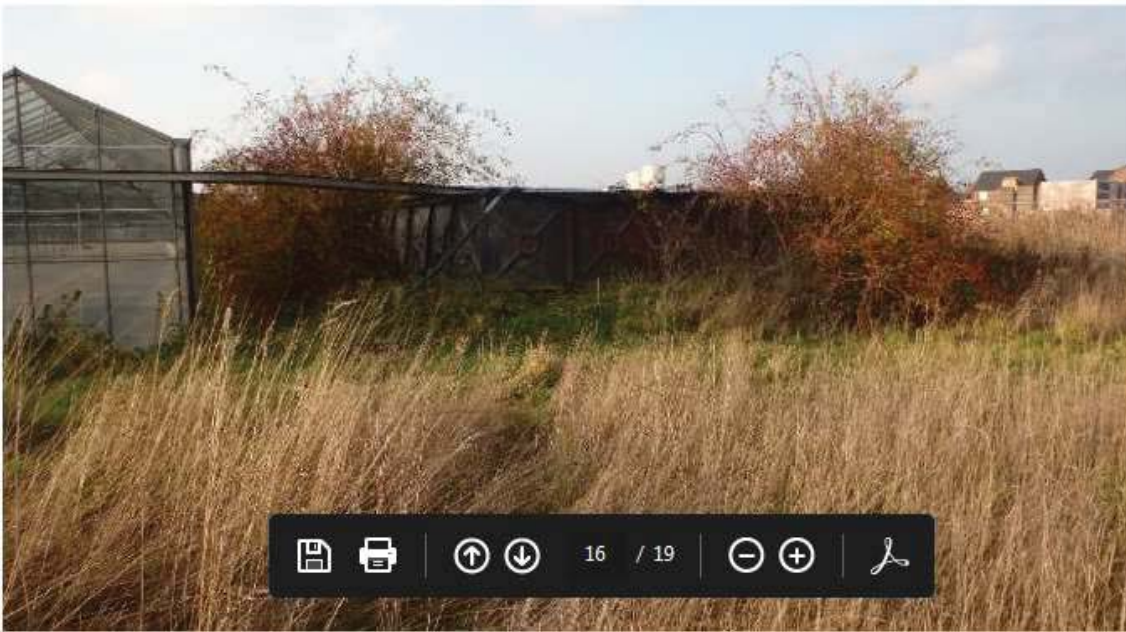


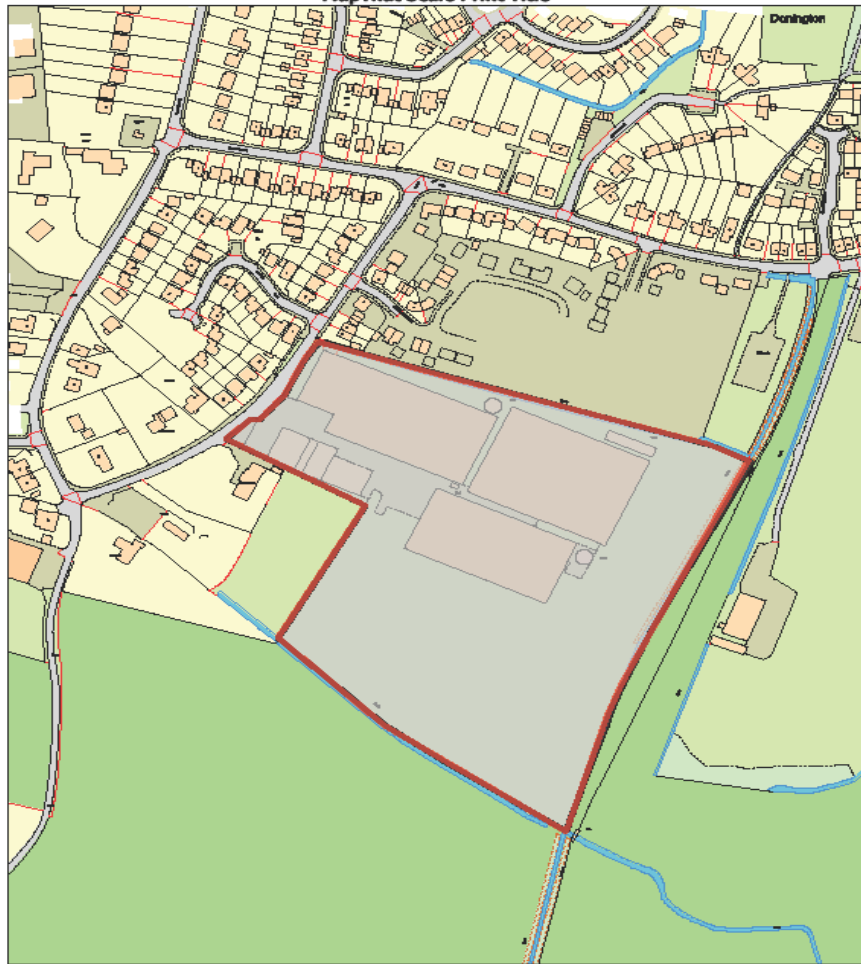


Plate 8: Showing the eastern site of structures that currently occupy the site





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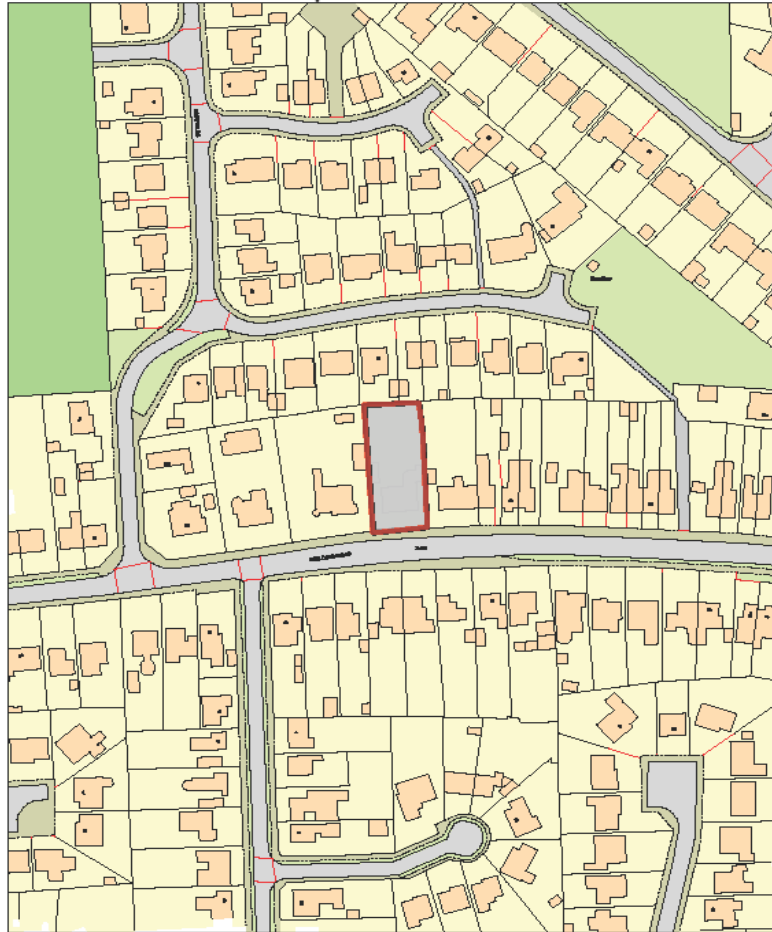
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SOUTH
HOELAND
DISTRICT

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EXISTING SITE PLAN
Scale 1:200

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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

NOTE:
 Dimensions of garage at No. 56 are based on Ordnance Survey Maps.
 Dimensions of garage extension at No. 56 are approximate and based on Google Aerial View and photographic survey.

Existing landscape surrounding annexe proposal:

- T1 - 14m high Conifer tree
- T2 - 7m high Willow tree
- T3 - 13m high Silver Birch tree
- T4 - 7m high Ash tree
- T5 - 7m high unknown tree
- H1 - 2m high hedge
- H2 - 1.6m high hedge
- H3 - 3.4m high hedge
- H4 - 2.2m high hedge


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Project: Annex Proposal (attached to existing garage)
 54 Spalding Road
 Holbeach PE12 7HG

Client: Achieve Together

Drawing title: Existing Site Plan

Project No.	Revision No.	Date	Scale	Date
19.1119	02	A	1:200 @ A3	April 2020



PROPOSED SITE PLAN
Scale 1:200



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Revisions Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.			
NOTE: Dimensions of garage at No. 56 are based on Ordnance Survey Maps. Dimensions of garage extension at No. 56 are approximate and based on Google Aerial View and photographic survey.			
Existing landscape surrounding annexe proposal (proposed alterations highlighted in grey): T1 - 14m high Conifer tree T2 - 7m high Willow tree T3 - 13m high Silver Birch tree T4 - 7m high Ash tree T5 - 7m high unknown tree H1 - 2m high hedge H2 - 1.6m high hedge (part only) H3 - 3.4m high hedge H4 - 2.2m high hedge			
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Project: Annexe Proposal (attached to existing garage) 54 Spalding Road Hillbush PE12 7HG			
Client: Achieve Together			
Drawing No: Proposed Site Plans			
Project no: 19.1119	Drawing no: 03	Rev: A	Scale: 1:200@ A3 Date: April 2020



Figure 1. View of rear brick boundary wall towards the rear of garage

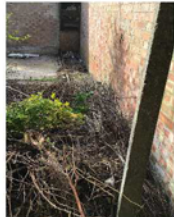
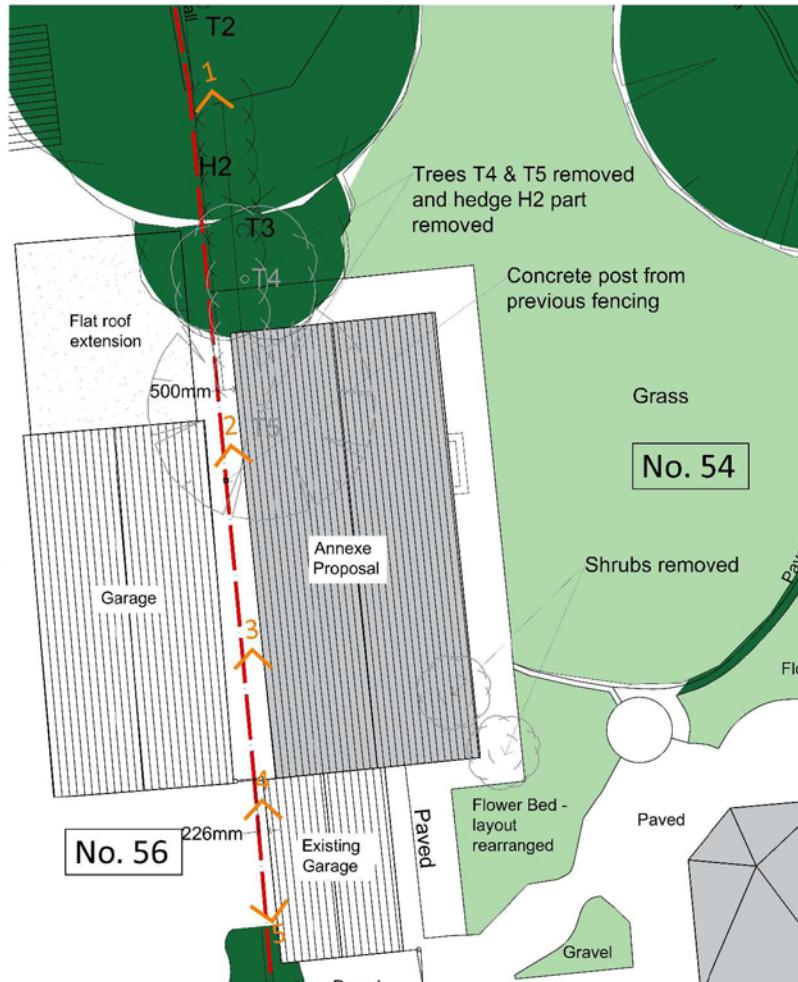


Figure 2. View of concrete post that delineates boundary towards the rear of garage



Figure 3. View of existing part fencing between Nos. 54 & 56 towards Spalding Rd



PROPOSED SITE PLAN
Scale 1:100




Figure 4. View of existing front hedge (H1) that delineates site boundary towards Spalding Rd



Figure 5. View from side of garage at No. 54 towards the rear



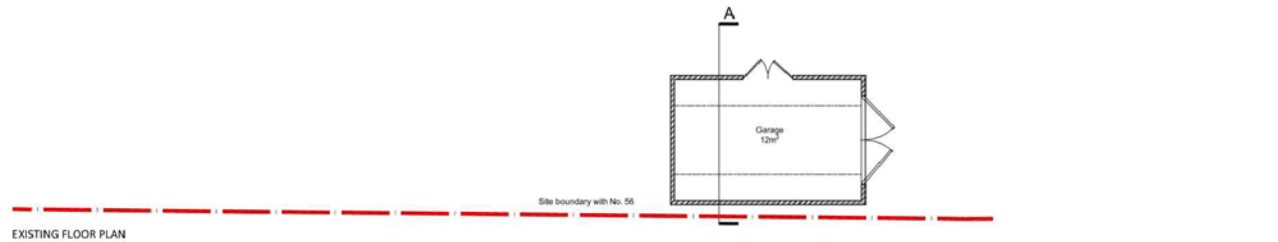
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Revisions Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.			
NOTE: Dimensions of garage at No. 56 are based on Ordnance Survey Maps. Dimensions of garage extension at No. 56 are approximate and based on Google Aerial View and photographic survey.			
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0 5m 1:100			
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Project: Garage conversion 54 Spalding Road H4-Bosch PE12 7HG			
Client: Care Management Group (CMG)			
Drawing title: Site Location Layout & Existing and Proposed Site Plans			
Project no: 19.1119	Drawing no: 04	Date: A	Scale: 1:100 @ A3 Date: April 2020



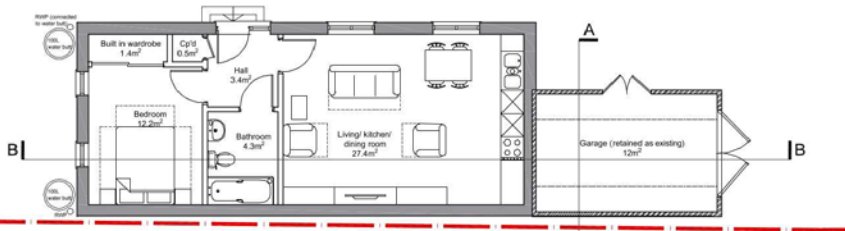
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Revisions
Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.



Project: Annexe Proposal (attached to existing garage) 54 Spalding Road Hullborough PE13 7HG			
Client: Achieve Together			
Drawing title: Existing floor plan and Proposed South elevation (front)			
Project no: 19.1119	Drawing no: 05	Rev: A	Date: 1:100 @ A3 April 2020



Site boundary with No. 56

PROPOSED FLOOR PLAN
TOTAL GIA = 49.5m²



PROPOSED SOUTH ELEVATION - FRONT



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Revisions
Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

1. Facing brick to match existing garage
2. Red brick plinth
3. White uPVC windows
4. Reconstituted slate tiles to match existing roof
5. uPVC fascia and gutters
6. Half round ridge tiles
7. Solid timber entrance door to match existing garage door



Project			
Address Proposal (attached to existing garage) 54 Spalding Road Holbeach PE12 7HG			
Slogan			
Achieve Together			
Drawing title			
Proposed floor plan and Proposed South elevation (front)			
Project No.	Drawing No.	Rev	Date
19.1119	08	A	1:100 @ A3 April 2020



Garage at No. 52

Concrete post indicating past fencing between the two boundaries

Garage and extension at No. 56

EXISTING NORTH ELEVATION - REAR

Main house at No. 54, The White Lodge

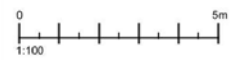
Garage and extension at No. 56

EXISTING EAST ELEVATION - SIDE

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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.



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Project: Annex Proposal (attached to existing garage)
 54 Spalding Road
 Holbeach PE12 7HG

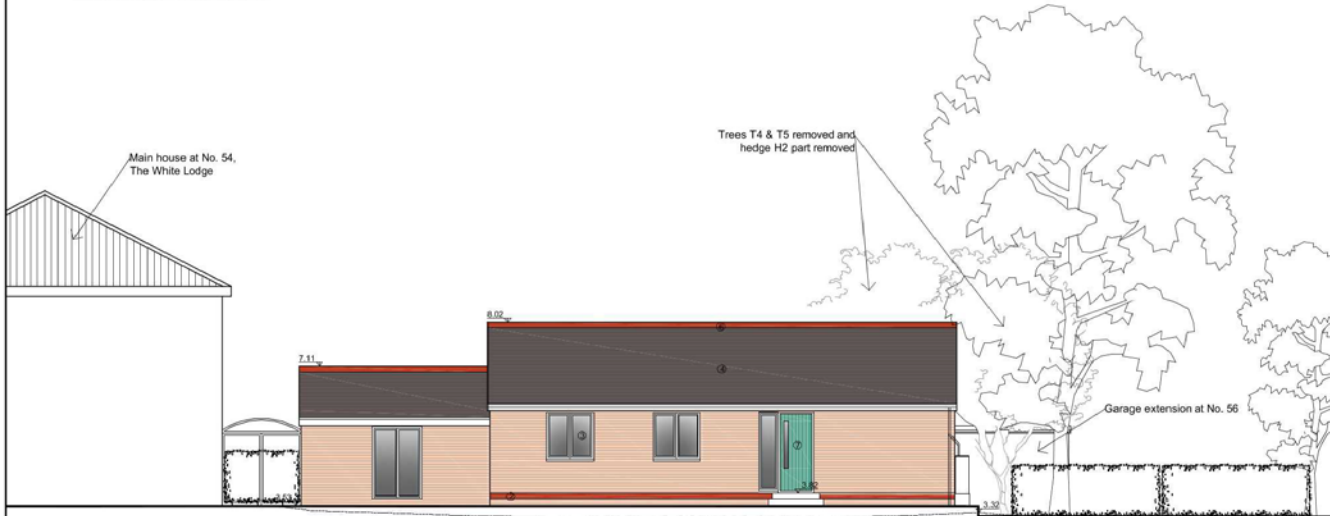
Team: Achieve Together

Drawing title: Existing North and East elevations

project no:	drawing no:	rev:	scale:	date:
19.1119	07	A	1:100 @ A3	April 2020



PROPOSED NORTH ELEVATION - REAR



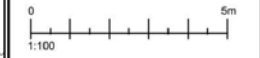
PROPOSED EAST ELEVATION - SIDE


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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

1. Facing brick to match existing garage
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3. White uPVC windows
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5. uPVC fascia and gutters
6. Half round ridge tiles
7. Solid timber entrance door to match existing garage door



Drawn:  Proposal (attached to existing garage)
 54 Spalding Road
 Hobsbach PE12 7HG

Client: Achieve Together

Showing the Proposed North and East elevations

Project No.	Issued To	Rev.	Scale	Date
19.1119	10	A	1:100 @ A3	April 2020











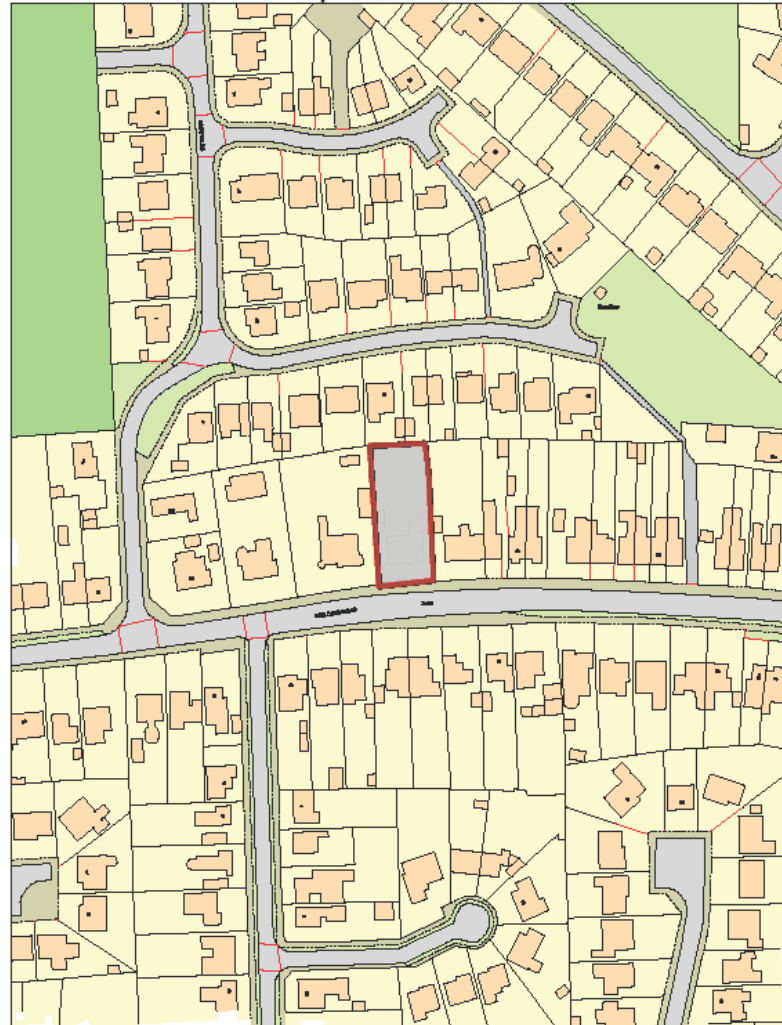








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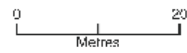
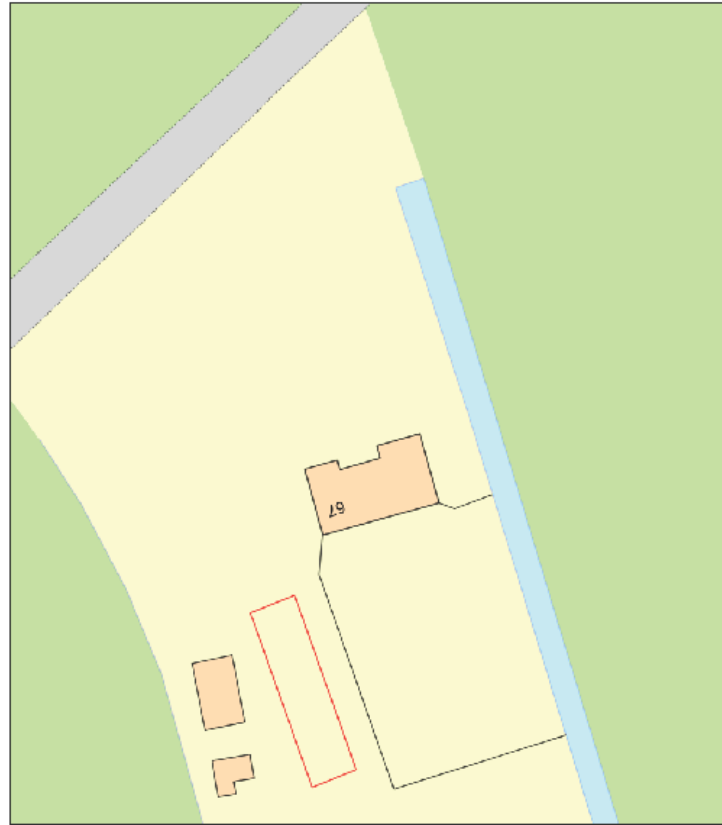
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Kennels



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Date Produced: 25 Oct 2018
Plan Reference Number: TQRGM18298133405397
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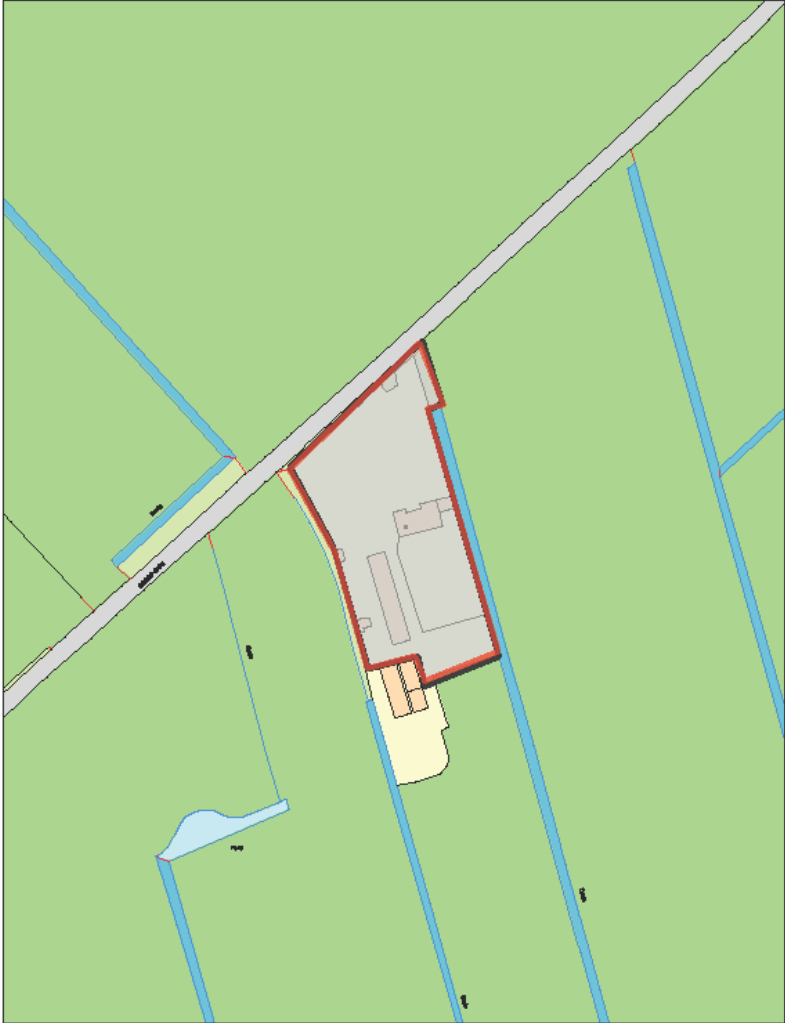








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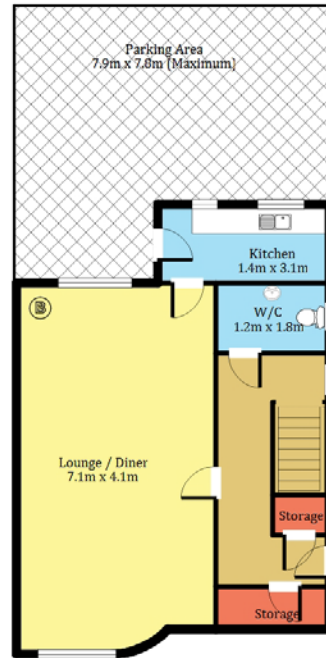
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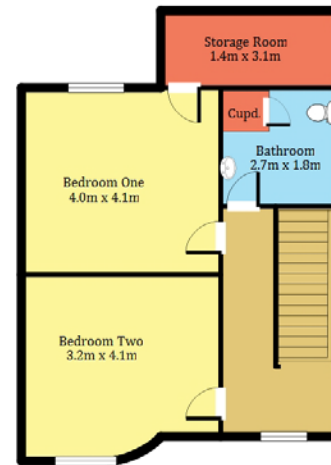
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35b Spring Gardens, Spalding

Ground Floor

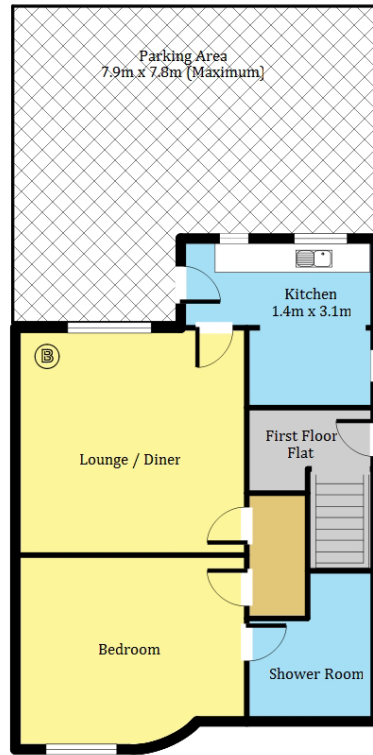


First Floor

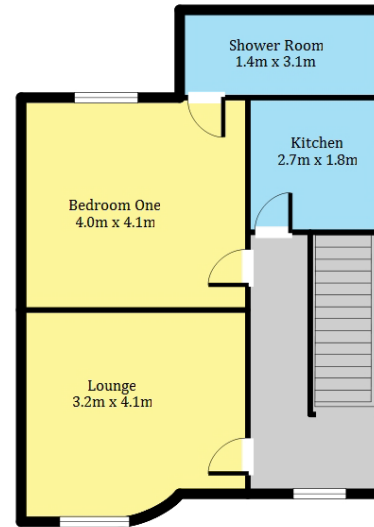


35b Spring Gardens, Spalding

Ground Floor



First Floor











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