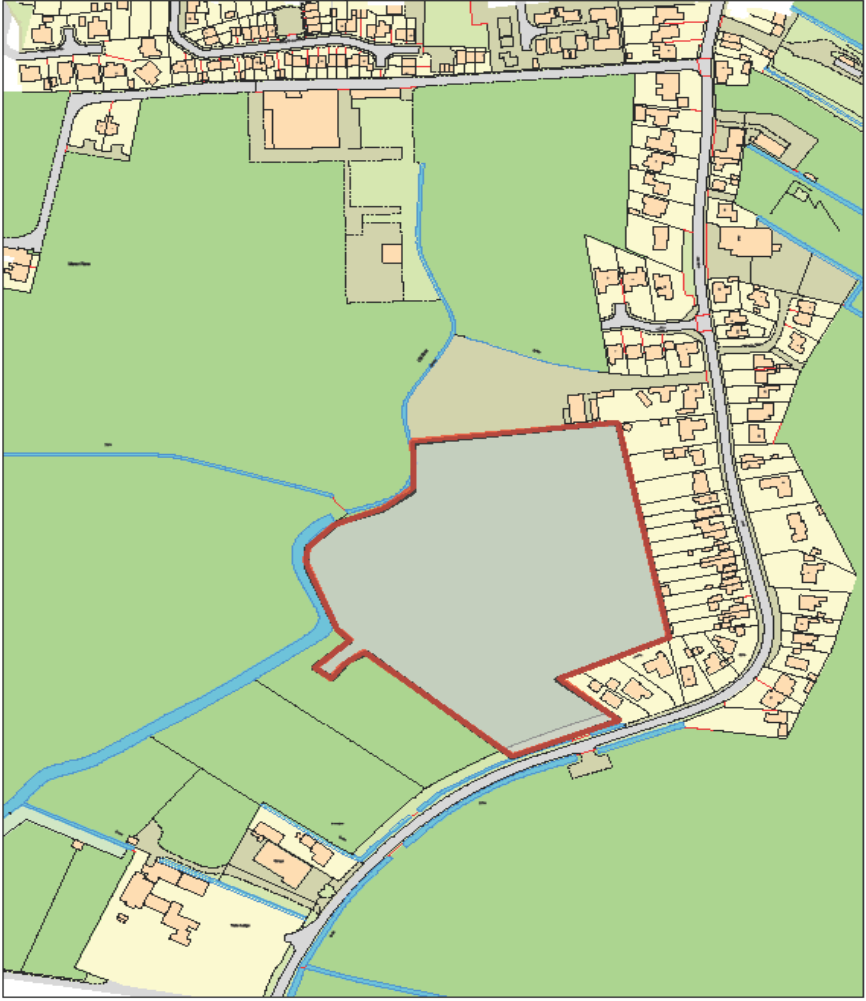


Welcome to the Planning Committee

MapThat Scale Print Title

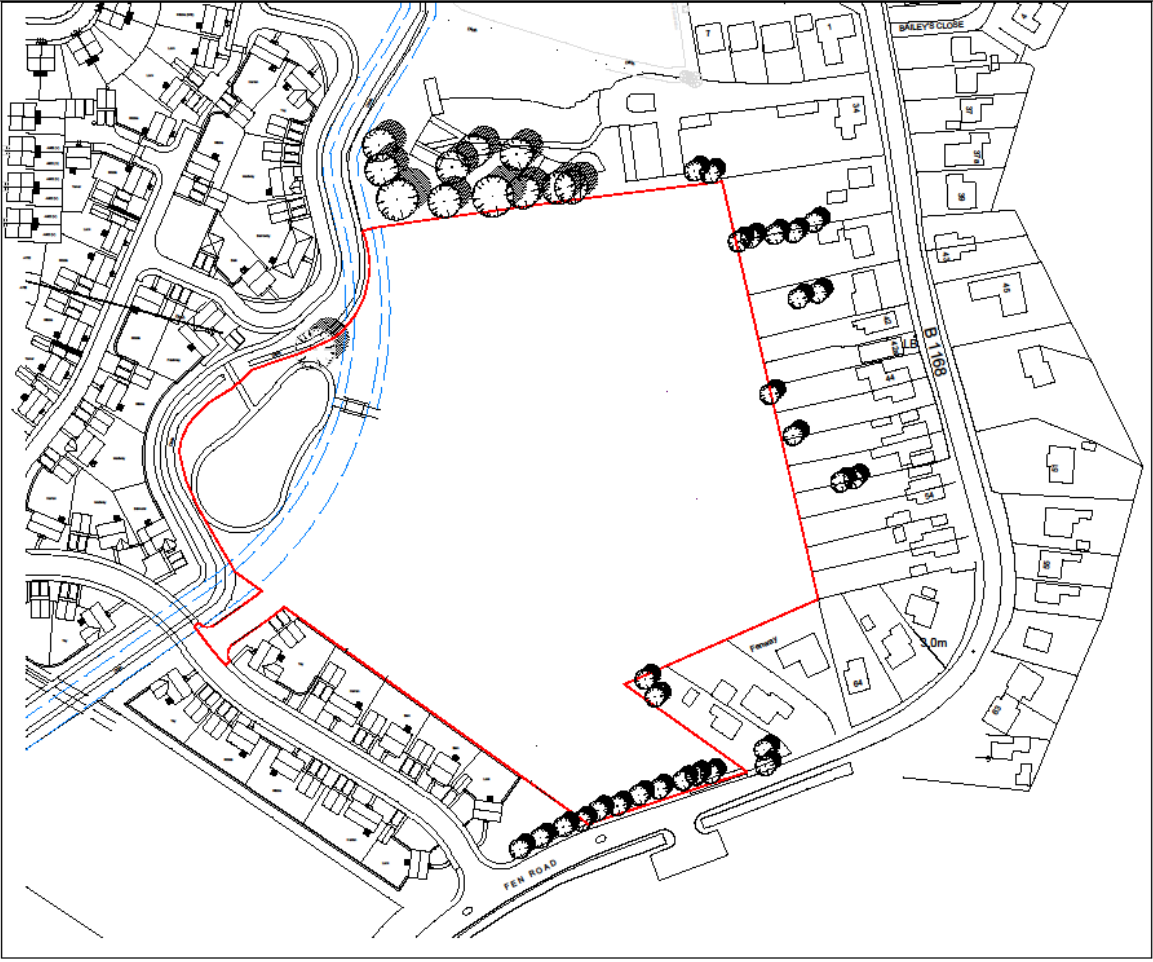


S O U T H

H O L L A N D
0151 4 684540

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MAP SCALE 1:2500
CREATED DATE: 10/07/2019
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IN SCALE



NKW DESIGN Architects Landscape Architects Interior Designers Planning Consultants Quantity Surveyors			
PROJECT: FEN ROAD, HOLBEACH			
TYPE: LOCATION PLAN			
CLIENT: ASHWOOD HOMES 1 GOODSON ROAD, LINES GATEWAY BUSINESS PARK SPALDING, LINCOLNSHIRE PE12 4JF TEL: 01430 49000			
SCALE:	DRAWN BY:	DATE:	REVISION:
1:2000 AS SHOWN	12/07/14	12/07/14	001
DRAWING NUMBER: 1207-LP			ISSUE:





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MAP SCALE 1:1250
CREATED DATE: 27/02/2020
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EXISTING SITE PLAN
Scale 1:200

Contact
 Web: www.consultconstruct.co.uk
 Email: info@consultconstruct.co.uk
 Office: 01237 757770
 Mobile: 07855 548970 & 07764487685
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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

NOTE:
 Dimensions of garage at No. 56 are based on Ordnance Survey Maps.
 Dimensions of garage extension at No. 56 are approximate and based on Google Aerial View and photographic survey.

Existing landscape surrounding annexe proposal:
 T1 - 14m high Conifer tree
 T2 - 7m high Willow tree
 T3 - 13m high Silver Birch tree
 T4 - 7m high Ash tree
 T5 - 7m high unknown tree
 H1 - 2m high hedge
 H2 - 1.6m high hedge
 H3 - 3.4m high hedge
 H4 - 2.2m high hedge

Consult Construct
 PROPERTY CONSULTANTS AND CONTRACTORS

Project:
 04 Spalding Road
 Louth LE12 7HG

Client:
 Ashmore Together

Drawing No:
 Existing Site Plan

Sheet No.	Revision	Date	Scale
19.1119	02	A	1:200 @ A3
			April 2020



PROPOSED SITE PLAN
Scale 1:200

Contact
 Web: www.consultconstruct.co.uk
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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

NOTE:
 Dimensions of garage at No. 56 are based on Ordnance Survey Maps.
 Dimensions of garage extension at No. 56 are approximate and based on Google Aerial View and photographic survey.

Existing landscape surrounding annexe proposal (proposed alterations highlighted in grey):
 T1 - 14m high Conifer tree
 T2 - 7m high Willow tree
 T3 - 13m high Silver Birch tree
 T4 - 7m high Ash tree
 T5 - 7m high unknown tree
 H1 - 2m high hedge
 H2 - 1.6m high hedges (part only)
 H3 - 3.4m high hedge
 H4 - 2.2m high hedge

Consult Construct
 PROPERTY CONSULTANTS AND CONTRACTORS

Project:
 Annexe Proposal (attached to existing garage)
 54 Spalding Road
 Hebbusch PE12 7HG

Client:
 Achieve Together

Property Ref:
 Proposed Site Plans

Project No	Revision No	Date	Author	Issue
19.1119	03	A	1:200@ A3	April 2020



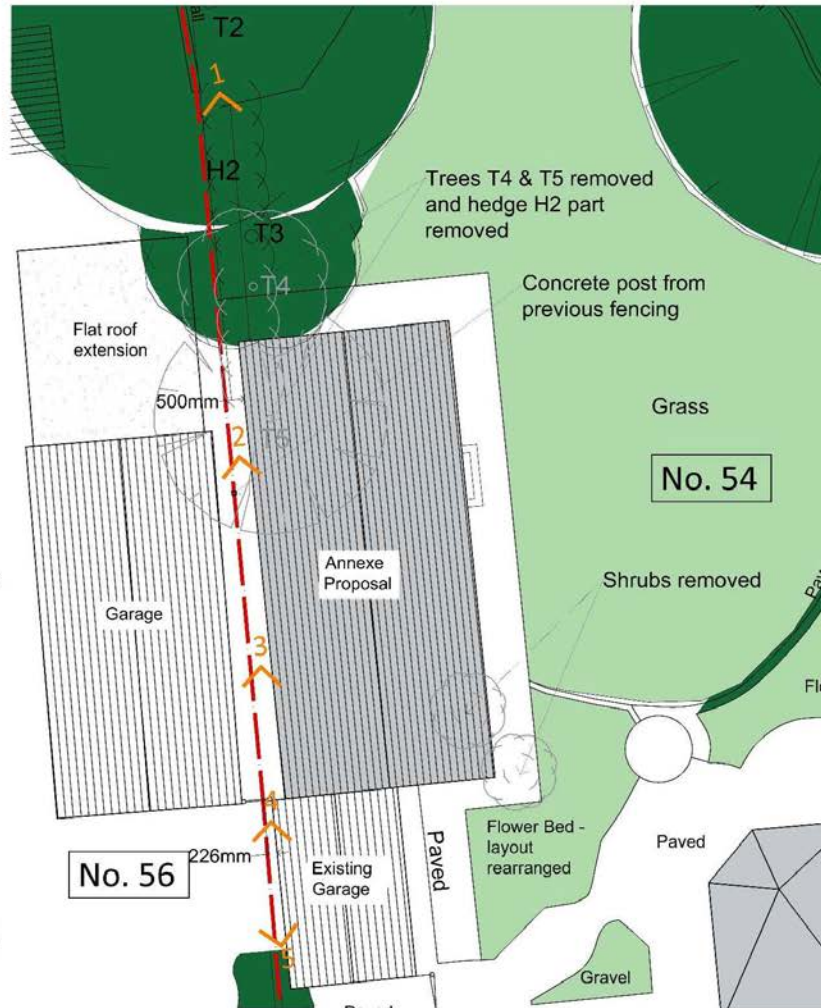
Figure 1. View of rear brick boundary wall towards the rear of garage



Figure 2. View of concrete post that delineates boundary towards the rear of garage



Figure 3. View of existing part fencing between Nos. 54 & 56 towards Spalding Rd



PROPOSED SITE PLAN
Scale 1:100



Figure 4. View of existing front hedge (H1) that delineates site boundary towards Spalding Rd



Figure 5. View from side of garage at No. 54 towards the rear

Contact
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 Mobile: 07855 548979 & 07764497586
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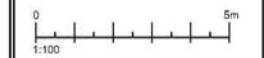
Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

NOTE:
 Dimensions of garage at No. 56 are based on Ordnance Survey Maps. Dimensions of garage extension at No. 56 are approximate and based on Google Aerial View and photographic survey.

Existing landscape surrounding annexe proposal (proposed alterations highlighted in green):

- T1 - 14m high Conifer tree
- T2 - 7m high Willow tree
- T3 - 13m high Silver Birch tree
- T4 - 7m high Ash tree
- T5 - 7m high unknown tree

- H1 - 2m high hedge
- H2 - 1.6m high hedge (part only)
- H3 - 3.4m high hedge
- H4 - 2.2m high hedge



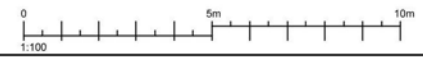
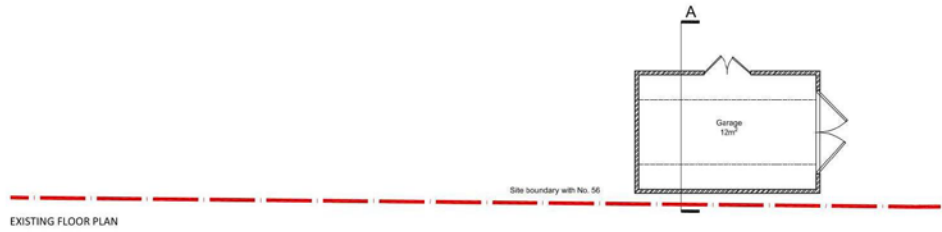
Consult Construct
 PROPERTY CONSULTANTS AND CONTRACTORS

Client: Garage conversion
 54 Spalding Road
 Walsworth PE12 7HG

Client: Care Management Group (CMG)

Drawing title: Site Location Layout & Existing and Proposed Site Plans

Project No.	Drawing No.	Rev.	Scale	Date
19.1119	04	A	1:100 @ A3	April 2020



Contact
 Web: www.consultconstruct.co.uk
 Email: info@consultconstruct.co.uk
 Office: 01227 767770
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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.



Project: Annex Proposal (attached to existing garage)
 54 Spalding Road
 Holbeach PE12 7HG

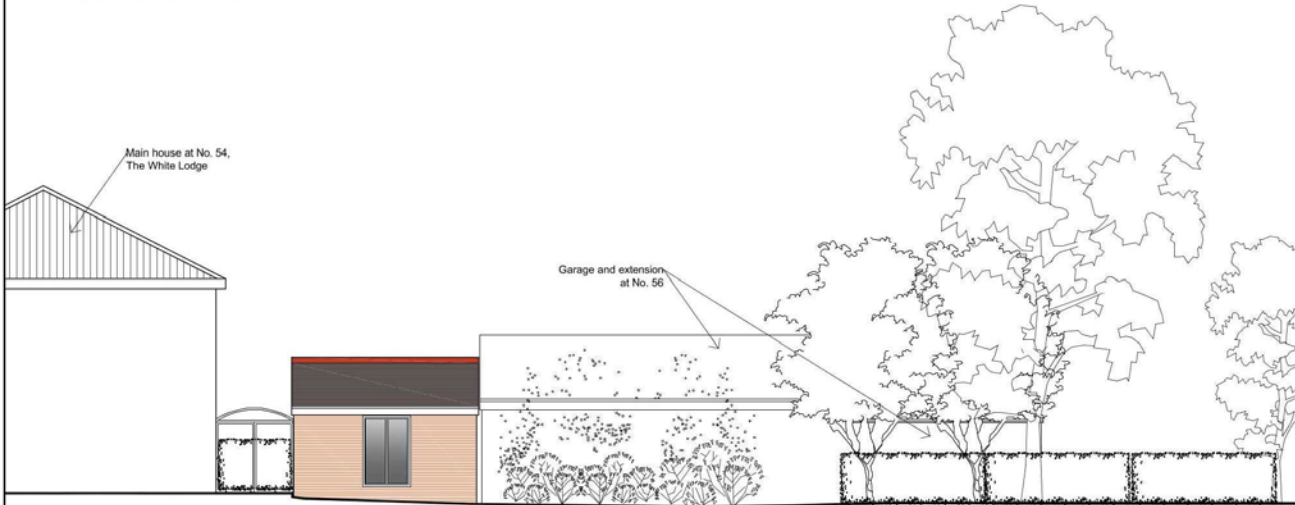
Client: Achieve Together

Drawing title: Existing floor plan and Proposed South elevation (front)


Project No:	18.1119	Issue:	05	Revision:	A	Scale:	1:100 @ A3	Date:	April 2020
-------------	---------	--------	----	-----------	---	--------	------------	-------	------------



EXISTING NORTH ELEVATION - REAR




EXISTING EAST ELEVATION - SIDE

Contact
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 Email: info@consultconstruct.co.uk
 Office: 01227 767770
 Mobile: 07855 548979 & 07764497586
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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

0 5m
 1:100

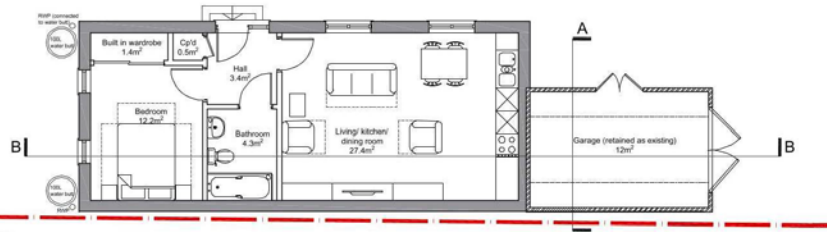

Consult Construct
 PROPERTY CONSULTANTS AND CONTRACTORS

Project: Annex Proposal (attached to existing garage)
 54 Spalding Road
 Husbrough PE12 7HG

Client: Achieve Together

Drawing title: Existing North and East elevations

Project No.	Drawing No.	Rev.	Scale	Date
19.1119	07	A	1:100 @ A3	April 2020

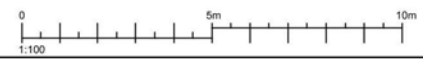


Site boundary with No. 56

PROPOSED FLOOR PLAN
TOTAL GIA = 49.5m²



PROPOSED SOUTH ELEVATION - FRONT



Contact
 Web: www.consultconstruct.co.uk
 Email: info@consultconstruct.co.uk
 Office: 01227 767770
 Mobile: 07855 548979 & 07764897566
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Revisions

Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

1. Facing brick to match existing garage
2. Red brick plinth
3. White uPVC windows
4. Reconstituted slate tiles to match existing roof
5. uPVC fascia and gutters
6. Half round ridge tiles
7. Solid timber entrance door to match existing garage door

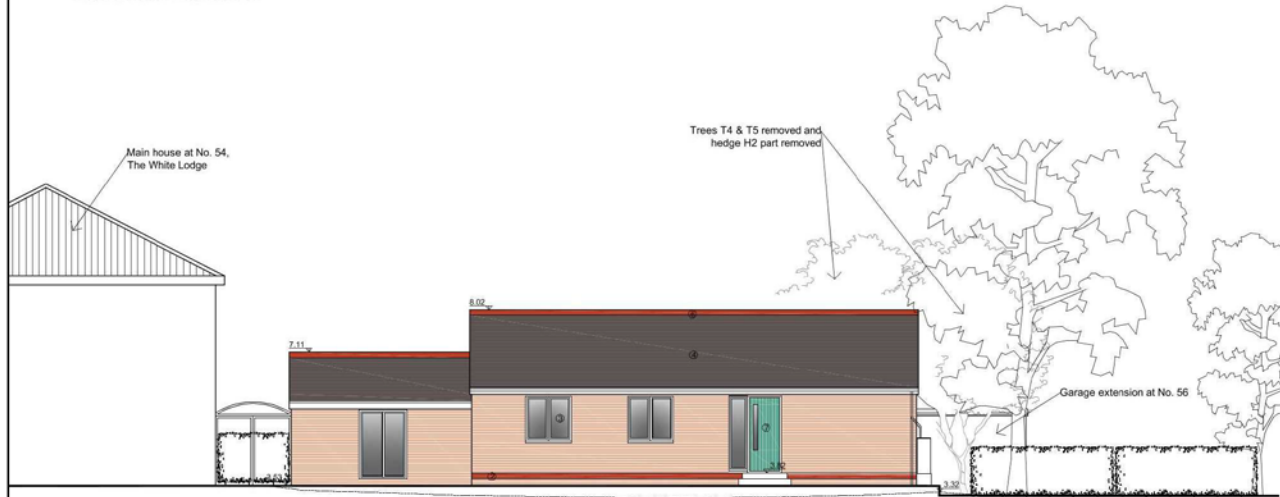


Consult Construct
 PROPERTY CONSULTANTS AND CONTRACTORS

project: Access Proposal (attached to existing garage) 54 Spalding Road Holbeach PE12 7HG					
client: Achieve Together					
drawing title: Proposed floor plan and Proposed South elevation (front)					
project no:	drawing no:	rev:	scale:	date:	
19-1119	08	A	1:100 @ A3	April 2020	



PROPOSED NORTH ELEVATION - REAR



PROPOSED EAST ELEVATION - SIDE

Contact
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 Mobile: 07853 548979 & 01756497566
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Revisions
 Rev A: amendments to drawings following additional survey on site boundary with No. 56 Spalding Road.

1. Facing brick to match existing garage
2. Red brick plinth
3. White uPVC windows
4. Reconstituted slate ties to match existing roof
5. uPVC fascia and gutters
6. Half round ridge tiles
7. Solid timber entrance door to match existing garage door



Project: Address Proposal (attached to existing garage)					
54 Spalding Road					
Hobbeath PE12 7HG					
Client: Achieve Together					
Drawing title: Proposed North and East elevations					
Project no:	Drawing no:	Rev:	Scale:	Date:	
19.1119	10	A	1:100 @ A3	April 2020	





























MapThat Scale Print Title



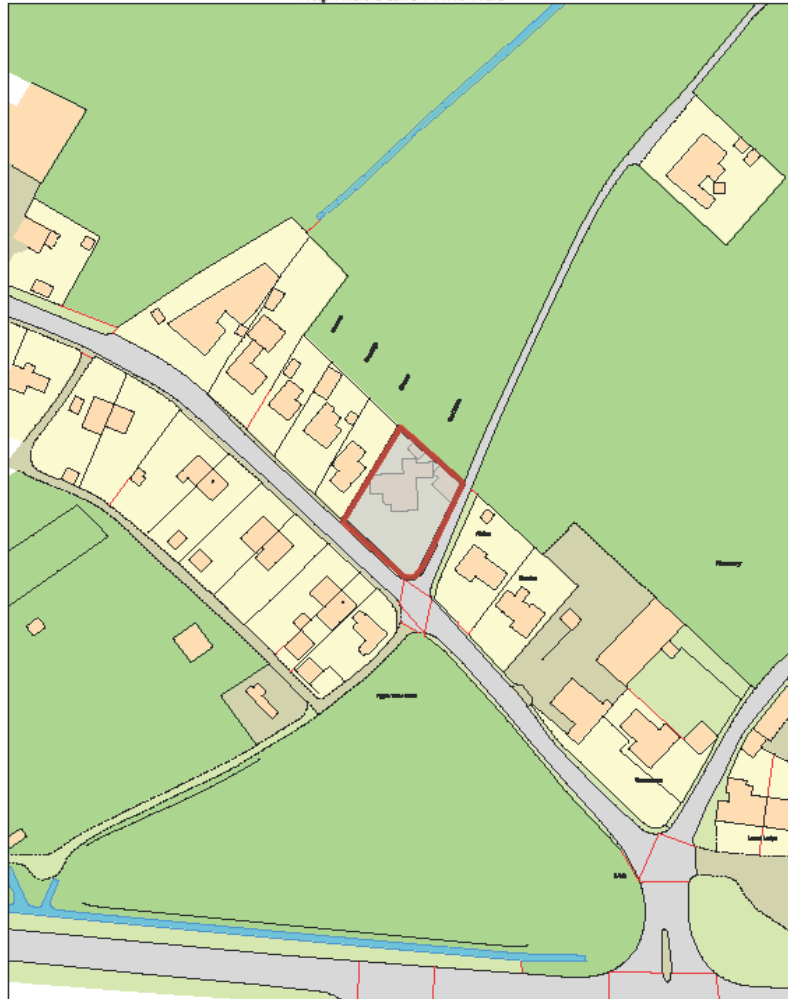
S O U T H

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P U B L I C I T I E S

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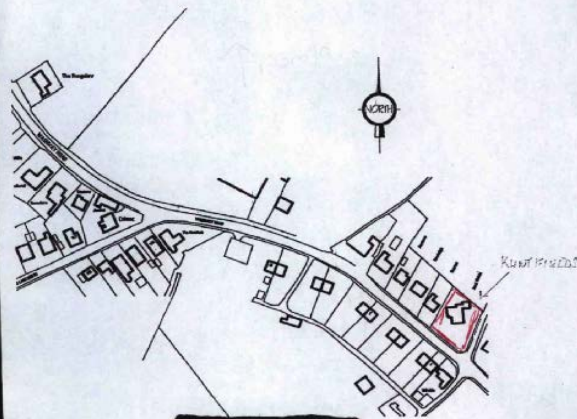


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LOCATION PLAN

- DR + FRH SCHMIDT
- KUNSTHAUS
- WOLFRUMS LAGE
- HAUSEN
- STRASSE
- KUNSTHAUS PLAZZ

WASHWAY ROAD

GRASS VERGE

2M

WALL

27M

NEW WALL

1m HIGH BRICKWORK WITH 8 IRON RAILINGS

M D SKYMOUR
KENTFIELD
WOODHOUSE LANE
HOLBEACH
PE12 7PD

AMENDED PLAN

~~29 APRIL 2020~~

29 JUNE 2020

KENTFIELD

WOODHOUSE LANE

GRASS VERGE

1.5M

12M

WALL

6M

DRIVE

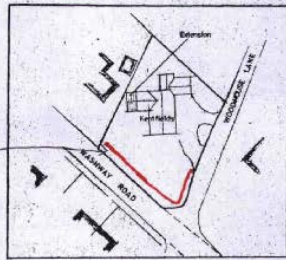
VERGE

2.3M

2.7M

2.3M

WALL
4.5M



SITE PLAN
1/ ~~200~~ 1000







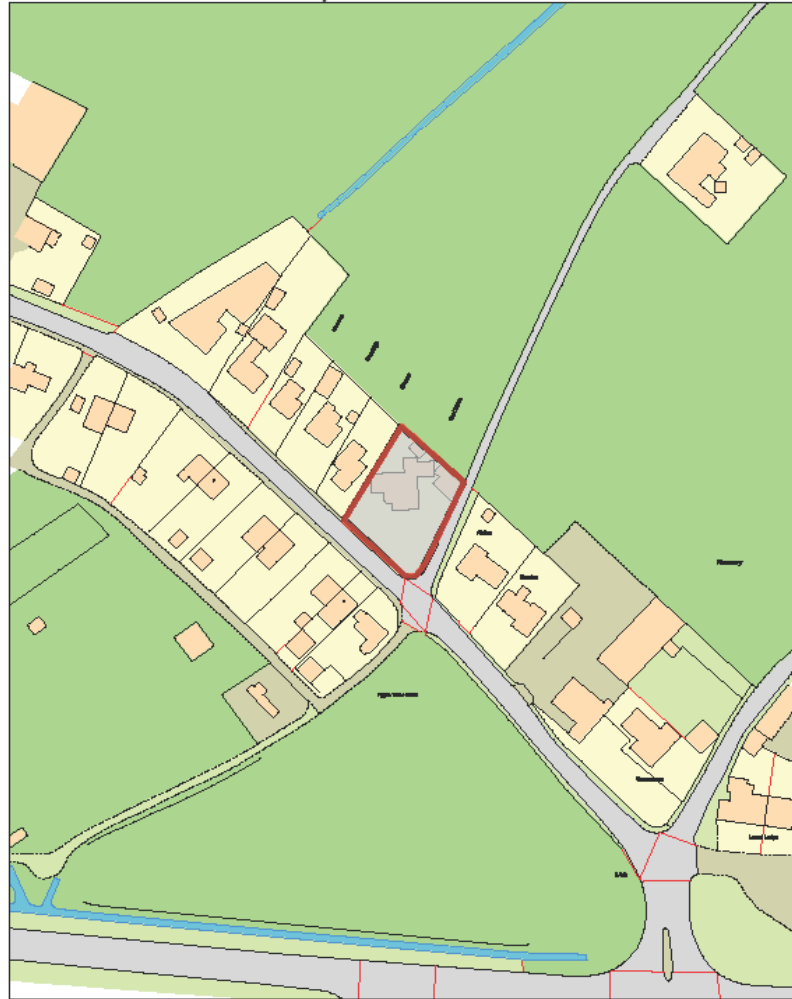
WOODHOUSE LANE







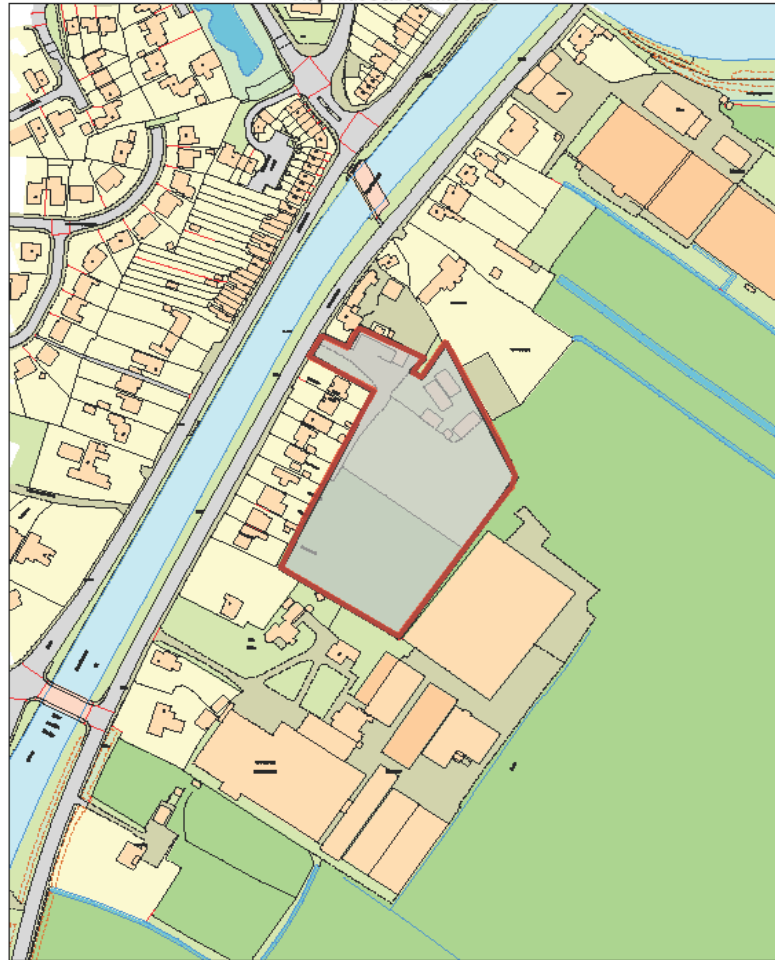
MapThat Scale Print Title



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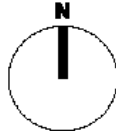
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ARMOURER IN HERITAGE LTD
CHARITABLE ARCHITECT



28 Jago Bank, Holbeach St Johns, Spalding, Lincs, PE12 6PD
 Telephone: 01430 59875 Mobile: 07940 814778

All drawings shall be subject to the following conditions:
 1. The drawings shall be the property of the Architect.
 2. The drawings shall not be used for any other purpose without the written consent of the Architect.
 3. The drawings shall not be used for any other purpose without the written consent of the Architect.

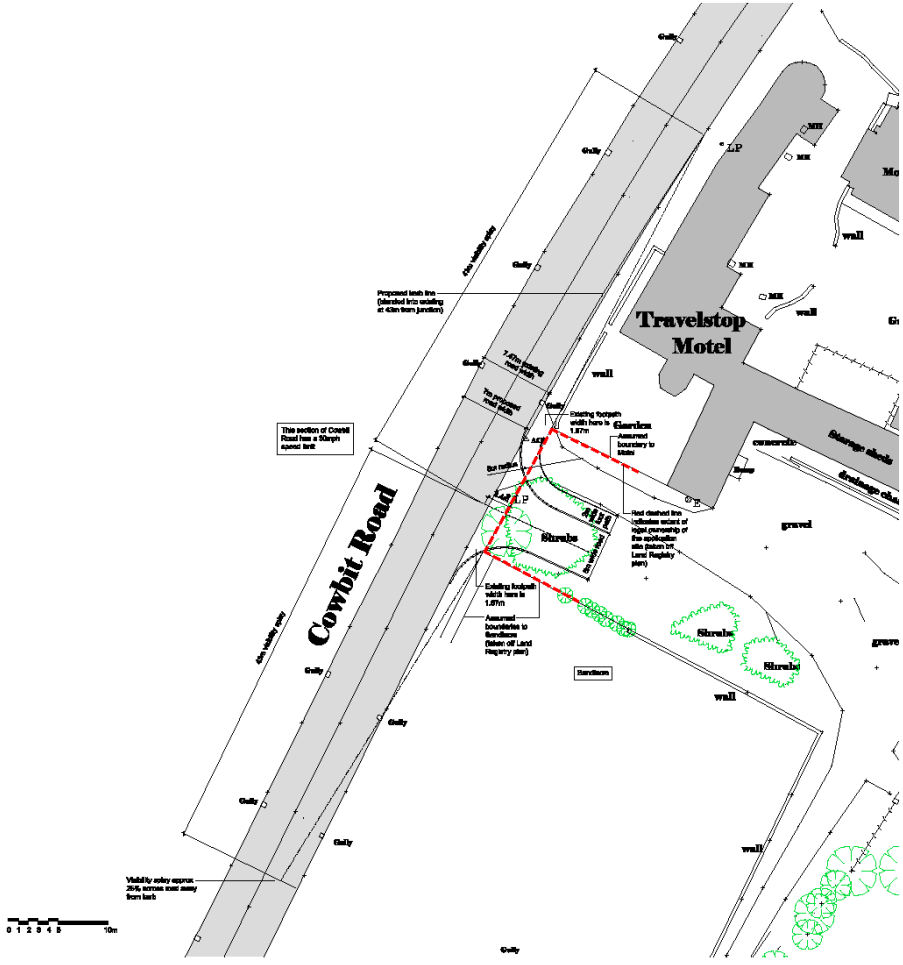
Architect:
 Date:
 Scale:

Project: **Residential Development
 Coastal Road
 Spalding**

Location: **Location Plan**

Site: **Site and property Group List**

Site	Area	Use	Notes	Area
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2	1.25M	12.00-18	12000	12
3	1.25M	12.00-18	12000	12
4	1.25M	12.00-18	12000	12
5	1.25M	12.00-18	12000	12
6	1.25M	12.00-18	12000	12
7	1.25M	12.00-18	12000	12
8	1.25M	12.00-18	12000	12
9	1.25M	12.00-18	12000	12
10	1.25M	12.00-18	12000	12
11	1.25M	12.00-18	12000	12
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96	1.25M	12.00-18	12000	12
97	1.25M	12.00-18	12000	12
98	1.25M	12.00-18	12000	12
99	1.25M	12.00-18	12000	12
100	1.25M	12.00-18	12000	12



As shown on this plan, the site is bounded by the following boundaries:
 To the north by the boundary of the site shown on the plan of the site.
 To the south by the boundary of the site shown on the plan of the site.
 To the east by the boundary of the site shown on the plan of the site.
 To the west by the boundary of the site shown on the plan of the site.

LEGEND: **DO NOT SCALE**



Note: The proposed access arrangement shown has been overlaid onto the topographic survey.

The access proposals shown have been agreed by LCC Highways as acceptable (as part of the pre-application consultation).

1:1	Scale	1:1	Scale
1:1	Scale	1:1	Scale
1:1	Scale	1:1	Scale

MINSTER PROPERTY GROUP

100 High Street, London, EC2A 4DF, UK
 Telephone: 020 7462 8800
 Fax: 020 7462 8801

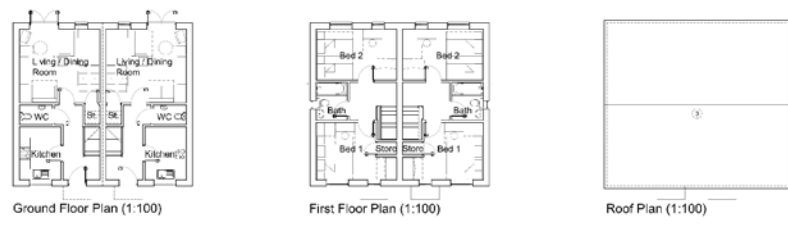
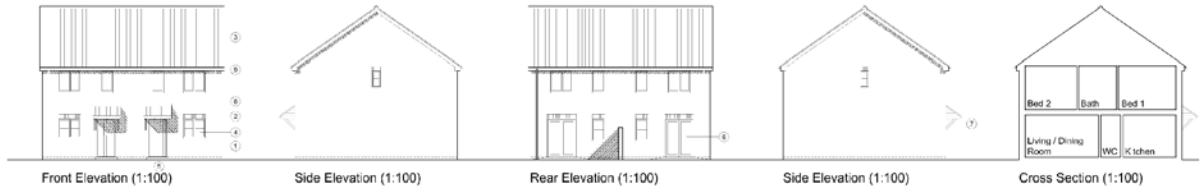
Project: Residential Development
Location: Cowbit Road, Spalding

Drawn by: Proposed Site Access Arrangement

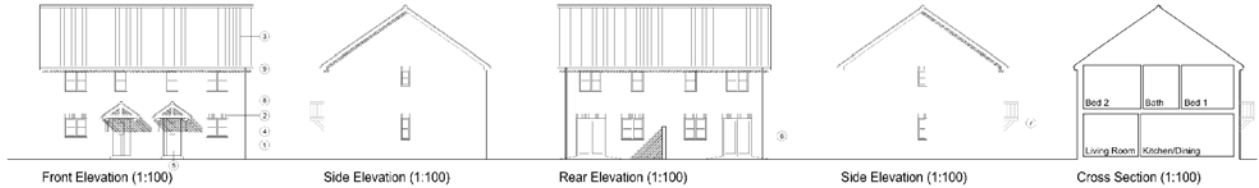
Client: Minster Property Group Ltd

Drawn	Checked	Date	Project No.
JAMM	AMM	12.06.19	1280
AMM	AMM	12.06.19	1280
AMM	AMM	12.06.19	1280

Scale: 1:1000 **Phase:** Planning **Sheet:** A2



2 Bed 4 Person Semi-detached House (Plots 1-6, 9-10, 13-14 & 26-29)



3 Bed 5 Person Semi-detached House (Plots 11-12, 15-18, 22-25 & 36-39)

All drawings to be read in conjunction with the Contract Conditions of Sale and the Contract Conditions of Sale and the Contract Conditions of Sale and the Contract Conditions of Sale.

The drawings are intended to be used for information only and do not constitute an offer of any financial product or service.

Approved by the Council of the City of London on 14/01/2019.

Approved by the Council of the City of London on 14/01/2019.

LEGEND: DO NOT SCALE

Legend (1:100 scale):

- 1 = Facing brickwork
- 2 = Facing brickwork (solid or coursed)
- 3 = Concrete interlocking roof tiles
- 4 = Upright windows
- 5 = Composite doors
- 6 = Upright doors
- 7 = Timber panel construction
- 8 = Plastic rainwater goods
- 9 = Upright doors

0	1	2	3	4	5	6	7	8	9	10
0 1 2 3 4 5 6 7 8 9 10										
01	02/10	Perimeter	100%	100%						
02	11/10	Perimeter	100%	100%						
03	10/10	Perimeter	100%	100%						
04	01/10	Perimeter	100%	100%						
05	01/10	Perimeter	100%	100%						
06	01/10	Perimeter	100%	100%						
07	01/10	Perimeter	100%	100%						
08	01/10	Perimeter	100%	100%						
09	01/10	Perimeter	100%	100%						
10	01/10	Perimeter	100%	100%						
11	01/10	Perimeter	100%	100%						
12	01/10	Perimeter	100%	100%						

ANDREW WRIGHT LTD
REGISTERED ARCHITECT

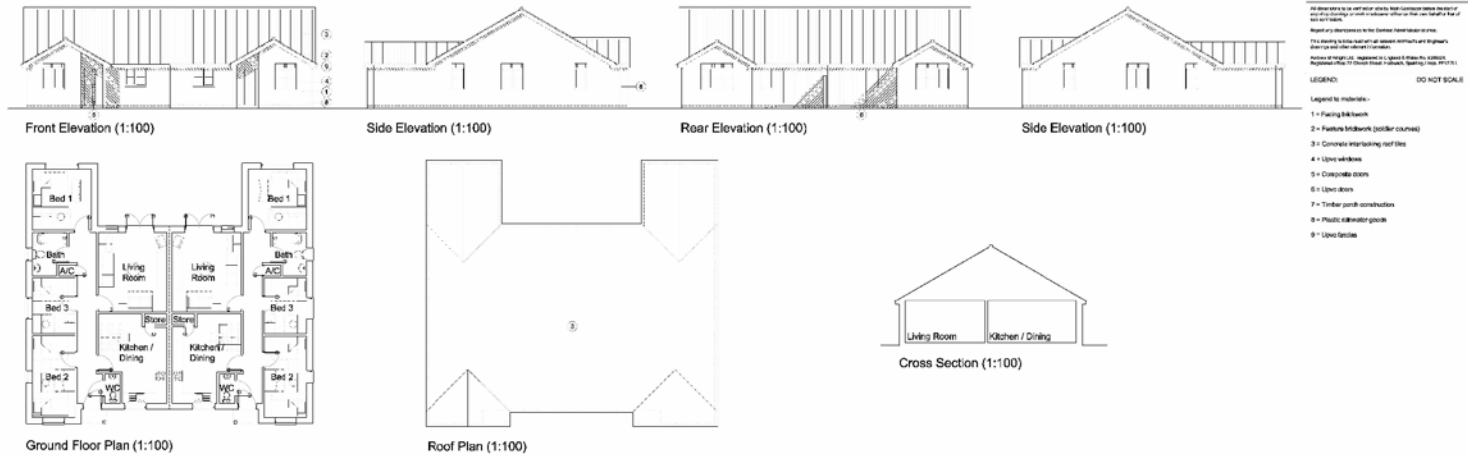
25 Avenue Road, London, N1 1PL, UK
Telephone: 020 7462 3000 Email: andrew@awright.co.uk

Project: Residential Development, Council House, Spalding

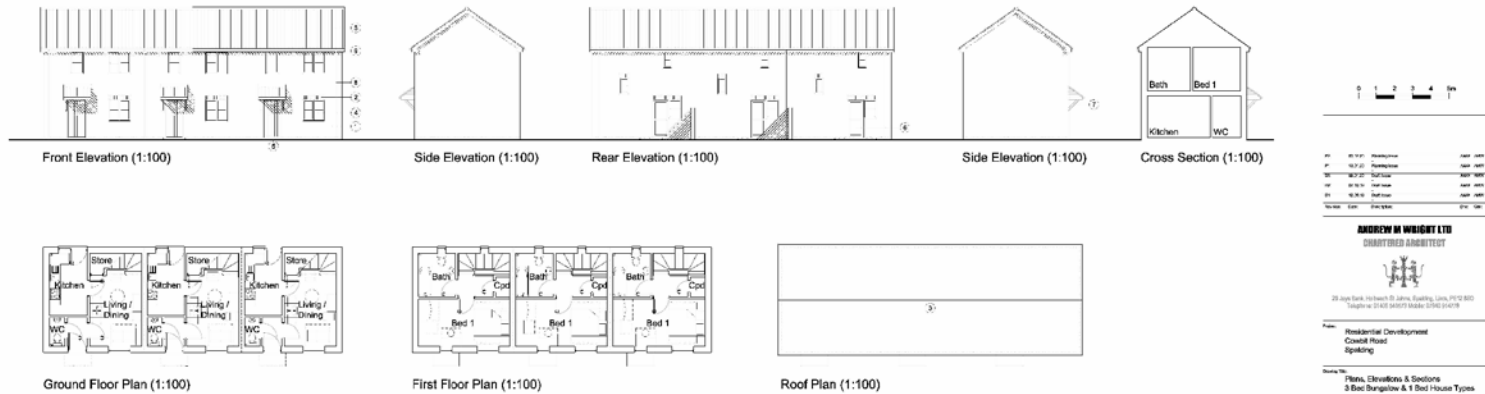
Drawings: Plans, Elevations & Sections, 2 Bed House & 3 Bed House Types

Client: Mansar Property Group, Ltd

Drawn	Checked	Date	Scale	Sheet No.
AMW	AMW	12.09.19	1:100	A1
Client Ref:	Drawn:	Checked:	Date:	Sheet No.:
011900	PD05	Flavring		P5



3 Bed 5 Person Semi-detached Bungalow (Plots 7 & 8)



1 Bed 2 Person Terraced House (Plots 33-35 shown. Plots 30-32 handed)

0	1	2	3	4	5m
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01	01.01	Foundation	1000	1000
02	02.01	Foundation	1000	1000
03	03.01	Foundation	1000	1000
04	04.01	Foundation	1000	1000
05	05.01	Foundation	1000	1000
06	06.01	Foundation	1000	1000
07	07.01	Foundation	1000	1000
08	08.01	Foundation	1000	1000
09	09.01	Foundation	1000	1000
10	10.01	Foundation	1000	1000

ANDREW M WRIGHT LTD
 REGISTERED ARCHITECT

28 South Bank, Hove, Brighton, East Sussex, BN2 3RD
 Brighton BN1 4JZ 01323 588753 Mobile 07960 214718

Project	Residential Development Coxwell Road Spalding
Scale	Plans, Elevations & Sections 3 Bed Bungalow & 1 Bed House Types
Client	Minsler Property Group Ltd
Drawn	AMW
Checked	ANW
Date	12.06.19
Scale	1:100
Drawn	AMW
Checked	ANW
Date	12.06.19
Scale	1:100



Travel Stop Motel -
Bed & Breakfast











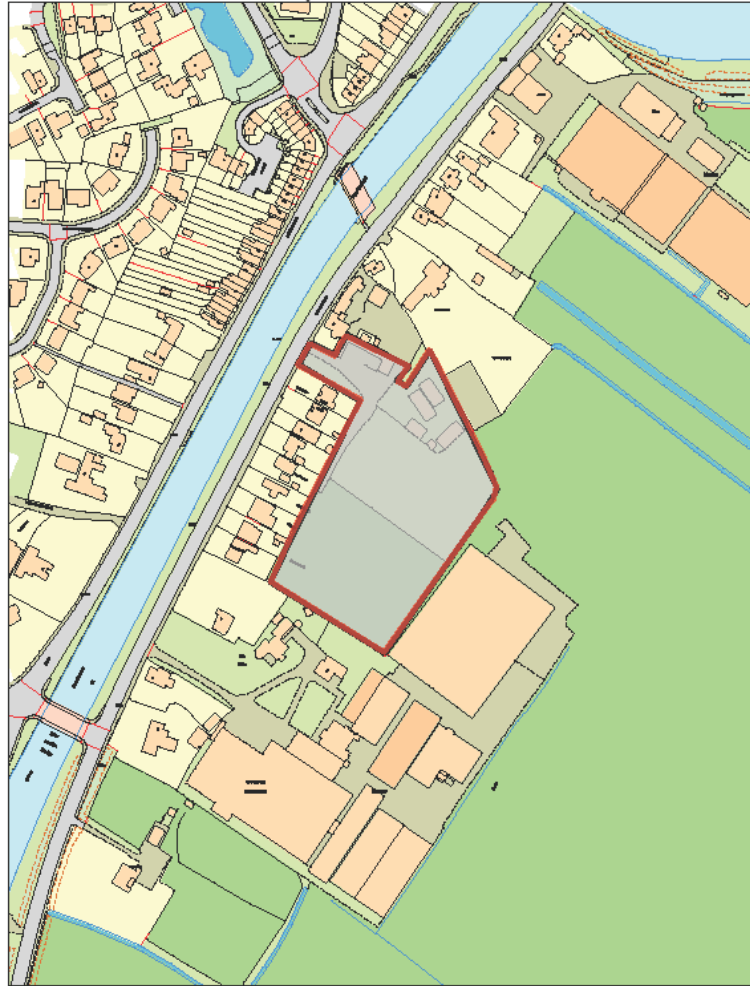








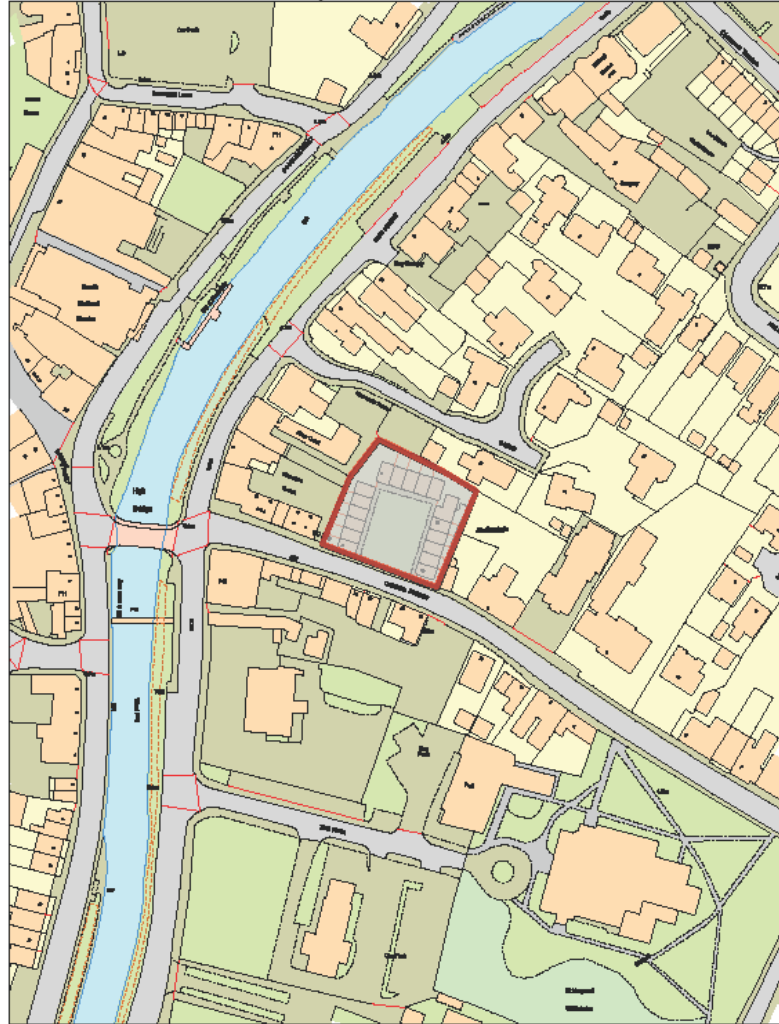
MapThat Scale Print Title



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MAP SCALE 1:2000
CREATED DATE: 20/08/2020
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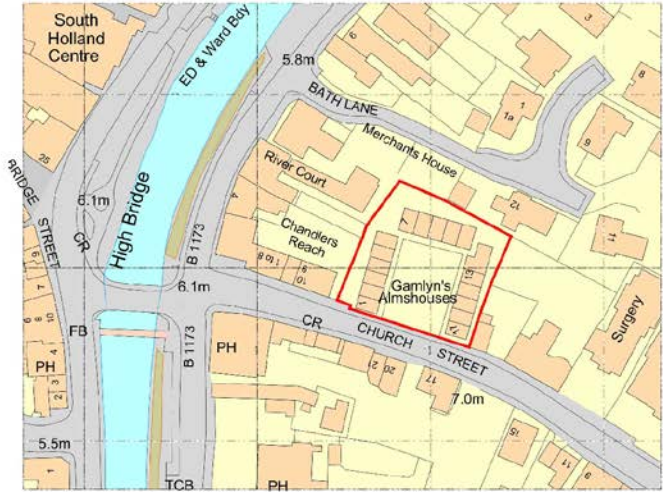
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CREATED DATE: 20/08/2020
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IN SCALE

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Site Location Plan
SCALE 1:10000
SCALE 1:1



Site Block Plan
SCALE 1:1000
SCALE 1:1



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Ref	Date	Description	Issue
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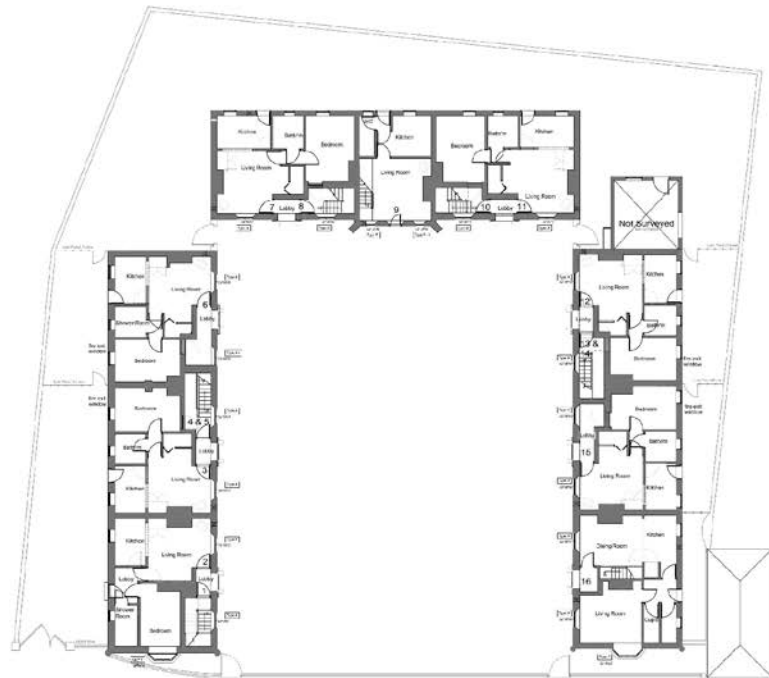
South Holland District Council

**Proposed window works to
The Square,
Church Street
Spalding**

Planning File:
Site Location and Site Block Plan
GENERAL ISSUE

Date	Jan 2024	Scale	As shown @ A1
Drawn by	CLB	Checked by	AJO

Planning File	Ref
A1424 - 01	-



Ground Floor Plan as existing
 Scale 1:100
 SCALE 1:100
 SCALE 1:1

CAUTION: This drawing is not to be used for construction purposes without the approval of the Council. It is the responsibility of the client to ensure that the drawing is used in accordance with the relevant building regulations and other applicable laws. The Council does not accept any liability for any loss or damage arising from the use of this drawing.

WINDOW SIZES
 Please note that all window sizes are approximate overall structural opening sizes given for the purpose of window condition operation.
 Degree of average working height of each type measured. The Contractor/Builder will be required to check size and check all sizes accordingly prior to the provision of any quotations and representations working drawings. The Applicant shall be responsible for the detailed design of all windows offered.

It shall be the Contractor's responsibility to ensure that all site, time and drawings are installed as accurately to prevent any moisture ingress etc.

WORKS PROPOSAL SUMMARY

Type	Windows	Units
A	QW101 & QW104, QW106, QW107, QW108, QW109, QW110, QW111	Remove as it replace with new Glazed
A1	QW105	Remove as it replace with new Glazed
B	FFW01, FFW02, FFW03, FFW04, FFW05, FFW06, FFW07, FFW08, FFW09, FFW10, FFW11	Remove as it replace with new Glazed
B1	FFW12	Remove as it replace with new Glazed
C	QW101 & QW104	Refurbish - in situ
D	FFW01 & FFW02	Refurbish - in situ with Glazed
E	FFW03 & FFW04	Refurbish - in situ
F	QW105	Refurbish - in situ
F1	QW110	Refurbish - in situ
G	FFW12	Refurbish - in situ
H	FFW03 & FFW04	Refurbish - in situ

For details of windows as existing proposed refer to the following drawings:

	As Existing	As Proposed
Type A	A142-04	A142-03
Type A1	A142-06	A142-05
Type B	A142-08	A142-07
Type B1	A142-09	A142-08
Type C	See conditions and work schedule	
Type D	A142-10	A142-09
Type E	See conditions and work schedule	



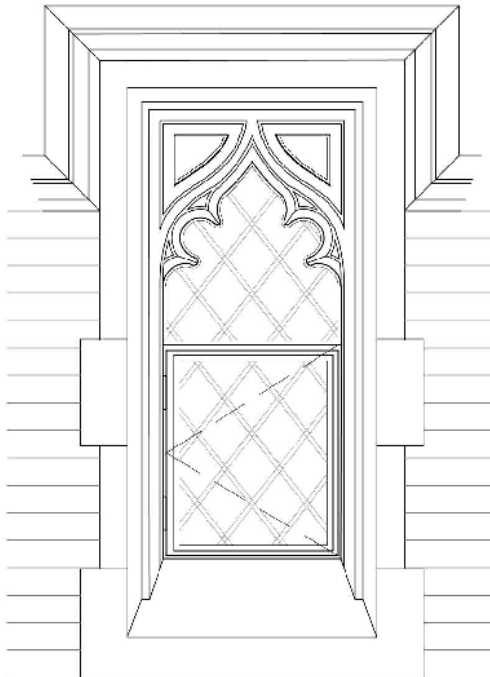
South Holland District Council

Proposed window works to
 The Square
 Church Street
 Spalding

GFL windows floor plan as existing
GENERAL ISSUE

Date: Oct 2019
 Drawn by: CLS
 Checked by: AJO
 Date: As shown @ A1

Drawing Number: A1424 - 02
 Rev: -



Proposed window (Type F) GFW09 elevation



Client:
South Holland District Council

Project: **Proposed window works to
 The Square
 Church Street
 Spalding**
 Drawing No.:
A1424- 20

Rev: -

Loaded lights works schedule:

1. Glazing specialist to complete full survey of all glass including internal and external photographic record prior to works commencing.
2. Establish a suitable method and sequence of removal of all glazing before works commence and seek approval of the CA.
3. Carefully dismantle existing glazing, iron saddlebars and lead comes to approved method and sequence avoiding damage to reveals to leave clean, smooth rebates free from obstructions and debris
4. Report to CA any signs of deterioration of the surrounding stonework revealed by removal of glazing
5. Provide temporary secure/dustproof/weatherproof protection to the approval of the CA to fully protect the building at all times whilst the windows are being refurbished. The main priority of the protection is to prevent weather and pigeon entry and to allow natural light into the building.
6. At the studio - salvage as many quarries as possible.
7. Redraw leaded light to sit centrally in arch (to avoid replicating existing defects in respect of weak points etc.)
8. Rebuild leaded light to sit centrally in arch using comes in sizes, types, materials and profiles which match the existing exactly. If the existing leadwork is of varying sizes and thicknesses, all should be recognised, identified and allowed for.
9. New saddlebars are to be stainless steel, powder coated and are to match the sections of those which have been removed.
10. New tie wires shall be 16 gauge copper, touched up matt black paint, if required, prior to completion. Ensure that unsightly lengths are removed and that the ties do not interfere with the visual appearance of the glass.
11. Any cracked or broken glass, unpainted glass shall not be re-lead but replaced with new glass which matched the original in all respects.

Casement works schedule:

1. Carefully dismantle existing casement, removing all hardware.
2. Refurbish to make the casement operational.
3. Allow to shot blast clean metal then prime with znc rich primer with high zinc undercoat and powder coat.
4. Reinstall the hardware.
5. Allow to re fix into original with a butyl putty.
6. Mortar (to match original colour on the building) around casement to make it waterproof.

Date: **21.10.2019** Scale: **As Shown @ A3**
 Drawn by: **LS** Checked by: **AJO**

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WINDOW SIZES:

Please note that all window sizes are approximate overall structural opening sizes given for the purpose of window condition preparation.

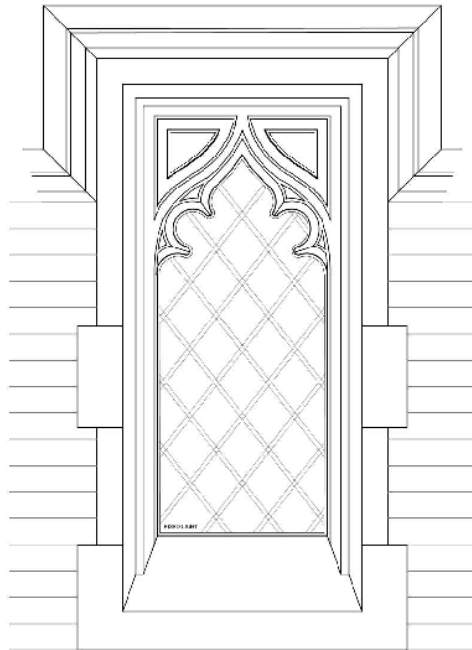
Scope of survey covering single unit of each type measured. The Contractor/Specialist will be required to visit site and check all sizes accurately prior to the production of any re-furbishment and replacement working drawings. The Specialist shall be responsible for the detailed design of all windows affected.

It shall be the Contractor's responsibility to ensure that all cills, trims and flashings are installed as appropriate to prevent any moisture ingress etc.

Drawing Title:
**Leaded light: refurbishment works
 GFW09 as proposed**
PLANNING APPLICATION ISSUE

Oglesby & Limb Ltd
 Chartered Architect

Suite 1 Market Chambers
 12 Market Place, Spalding
 PE11 1SL
 T: 01775 761196
 e-mail: design@o-limltd.co.uk



Proposed window (Type F-i) GFW10 elevation

Scale 1 : 10

SCALE 1 : 10

SCALE 1 : 1



Leaded lights works schedule:

1. Glazing specialist to complete full survey of all glass including internal and external photographic record prior to works commencing.
2. Establish a suitable method and sequence of removal of all glazing before works commence and seek approval of the CA.
3. Carefully dismantle existing glazing, iron saddlebars and lead comes to approved method and sequence avoiding damage to reveals to leave clean, smooth rebates free from obstructions and debris.
4. Report to CA any signs of deterioration of the surrounding stonework revealed by removal of glazing.
5. Provide temporary secure/dustproof/weatherproof protection to the approval of the CA to fully protect the building at all times whilst the windows are being refurbished. The main priority of the protection is to prevent weather and pigeon entry and to allow natural light into the building.
6. At the studio - salvage as many curries as possible.
7. Redraw leaded light to sit centrally to arch (to avoid replicating existing defects in respect of weak points etc.)
8. Rebuild leaded light to sit centrally in arch using comes in sizes, types, materials and profiles which match the existing exactly. If the existing leadwork is of varying sizes and thicknesses, all should be recognised, identified and allowed for.
9. New saddlebars are to be stainless steel, powder coated and are to match the sections of those which have been removed.
10. New tie wires shall be 16 gauge copper, touched up matt black paint, if required prior to completion. Ensure that unsightly lengths are removed and that the ties do not interfere with the visual appearance of the glass.
11. Any cracked and broken glass, unpainted glass shall not be re-lead but replaced with new glass which matched the original in all respects.

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WINDOW SIZES:

Please note that all window sizes are approximate overall structural opening sizes given for the purpose of window condition preparation.

Scope of survey covering single unit of each type measured. The Contractor/Specialist will be required to visit site and check all sizes accurately prior to the production of any re-furbishment and replacement working drawings. The Specialist shall be responsible for the detailed design of all windows affected.

It shall be the Contractor's responsibility to ensure that all cills, trims and flashings are installed as appropriate to prevent any moisture ingress etc.

Client:
South Holland District Council

Project: **Proposed window works to
 The Square
 Church Street
 Spalding**

Drawing No.:
A1424- 21

Rev:

Date: **21.10.2019** Scale: **As Shown @ A3**

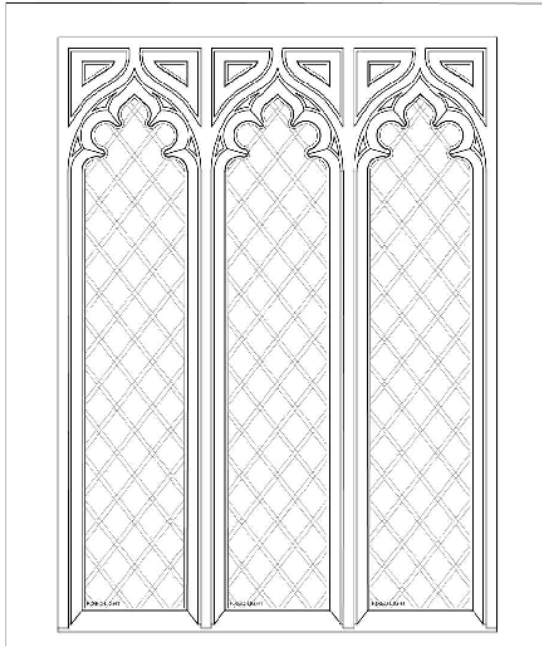
Drawn by: **LS** Checked by: **AJO**

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Drawing Title:
**Leaded light: refurbishment works
 GFW10 as proposed**

PLANNING APPLICATION ISSUE

Oglesby & Limb Ltd Chartered Architect Suite 1 Market Chambers 12 Market Place, Spalding PE11 1SL T: 01775 761196 e-mail: design@o&l.ltd.co.uk	
--	--



Proposed oriel window (Type G) FFW10 elevation

Scale 1 : 10

SCALE 1 : 10

SCALE 1 : 1



Client:
South Holland District Council

Project: **Proposed window works to
The Square
Church Street
Spalding**

Drawing No:
A1424- 22

Rev: -

Leaded lights works schedule

1. Glazing specialist to complete full survey of all glass including internal and external photographic record prior to works commencing.
2. Establish a suitable method and sequence of removal of all glazing before works commence and seek approval of the CA.
3. Carefully dismantle existing glazing, iron saddlebars and lead comes to approved method and sequence avoiding damage to reveals to leave clean, smooth rebates free from obstructions and debris.
4. Report to CA any signs of deterioration of the surrounding storework revealed by removal of glazing.
5. Provide temporary secure/dustproof/weatherproof protection to the approval of the CA to fully protect the building at all times whilst the windows are being refurbished. The main priority of the protection is to prevent weather and pigeon entry and to allow natural light into the building.
6. At the studio - take rubbings of each leaded light, noting new make sizes, lead came sizes and profiles and the position of existing saddlebars.
7. All leaded glass windows are to be re-leaded using comes sizes, types, materials and profiles which match the existing exactly. If the existing leadwork is of varying sizes and thicknesses, all should be recognised, identified and allowed for.
8. New saddlebars are to be stainless steel, powder coated and are to match the sections of those which have been removed.
9. New tie wires shall be 18 gauge copper, latched up matt black paint, if required, prior to completion. Ensure that unsightly lengths are removed and that the ties do not interfere with the visual appearance of the glass.
10. Any cracked and broken glass, unpainted glass shall not be re-leaded but replaced with new glass which matched the original in all respects.

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ANY DIMENSIONS NOT SHOWN ARE TO BE CHECKED AND AGREED WITH OGLESBY & LIMB LTD.

WINDOW SIZES:

Please note that all window sizes are approximate overall structural opening sizes given for the purpose of window condition preparation.

Scope of survey covering single unit of each type measured. The Contractor/Specialist will be required to visit site and check all sizes accurately prior to the production of any re-furbishment and replacement working drawings. The Specialist shall be responsible for the detailed design of all windows affected.

It shall be the Contractor's responsibility to ensure that all cills, trims and flashings are installed as appropriate to prevent any moisture ingress etc.

Date: **21.10.2019** Scale: **As Shown @ A3**

Drawn by: **LS** Checked by: **AJO**

Drawing Title:
**Leaded light: refurbishment works
FFW10 as proposed**

PLANNING APPLICATION ISSUE

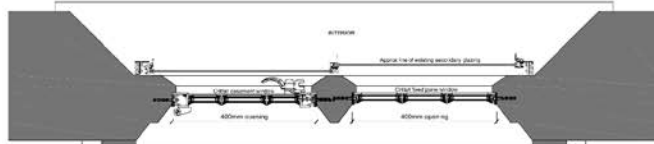
Oglesby & Limb Ltd
Chartered Architect

Suite 1 Market Chambers
12 Market Place, Spalding
PE11 1SL

T: 01773 761190

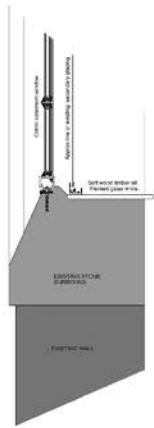
e-mail: design@o&l.co.uk





Proposed Crittall window (Type A) plan view

Sheet 1 of 3
 Location: 25 WARD, 08, 11, 13
 SCALE 1: 5
 SCALE 1: 1



Proposed Crittall window (Type A) cross section
 Scale 1: 5



Proposed Crittall window (Type A) elevation
 Scale 1: 10
 SCALE 1: 10
 SCALE 1: 1

NOTE: SEE THE DRAWING FOR CONSTRUCTION AND DETAILING INFORMATION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

WINDOW SIZES:
 Please note that all window sizes are approximate overall structural opening sizes given for the purpose of window condition preparation.
 Scope of work covering single unit of each type measured. The Contractor/Specialist will be required to check and check all sizes accurately prior to the production of any reinforcement and replacement window drawings. The Specialist shall be responsible for the detailed design of all windows affected.
 It shall be the Contractor's responsibility to ensure that all cuts, fits and fixings are installed as appropriate to prevent any moisture ingress etc.

Ref	Date	Description	Initial

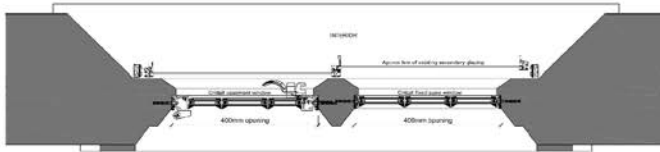
South Holland District Council

Proposed window works to
 The Square
 Church Street
 Spalding

Window Type A details
 as proposed
GENERAL ISSUE

Date: Oct 2019
 Drawn by: LS
 Checked by: AJO
 Scale: As shown @ A1

Drawing Number: A1424 - 23
 Rev: -



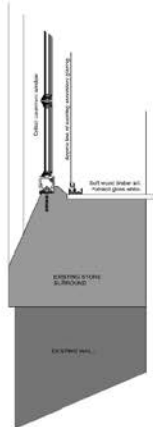
Proposed Crittall window (Type B) plan view

Scale 1:5

Locations: FFW01 - 08, 12, 14, 17, 21

SCALE 1:5 0m 100mm 200mm 300mm 400mm 500mm

SCALE 1:1 0m 100mm 200mm 300mm 400mm 500mm



Proposed Crittall window (Type B) cross section
Scale 1:5



Proposed Crittall window (Type B) elevation

Scale 1:10

SCALE 1:10 0m 100mm 200mm 300mm 400mm 500mm

SCALE 1:1 0m 100mm 200mm 300mm 400mm 500mm

NOT TO BE USED IN CONTACT WITH WATER OR OTHER LIQUIDS
OR OTHER DAMAGING AGENTS. TO BE USED IN CONTACT WITH WATER OR OTHER LIQUIDS OR OTHER DAMAGING AGENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF A SUITABLE PROTECTIVE COATING TO THE SURFACE OF THE WINDOW FRAME.

WINDOW SIZES:

Please note that all window sizes are approximate overall vertical opening sizes for the purpose of window condition preparation. The Contractor shall be responsible for the provision of a suitable protective coating to the surface of the window frame. The Contractor shall be responsible for the provision of a suitable protective coating to the surface of the window frame.

It shall be the Contractor's responsibility to ensure that all gills, fins and flashings are installed as appropriate to prevent any moisture ingress etc.

#	SY	EX	XX	XXX	XXXX	XXXXX
Dist	Zone	Description				Order
<p>Citywide & South East <small>Citywide & South East</small> 11 North Street, Northampton NN1 1DB 01603 251200 south@ojl.com</p> 						

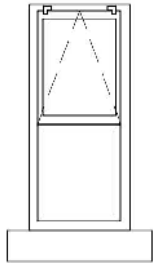
South Holland District Council

Project:
**Proposed window works to
 The Square
 Church Street
 Spalding**

Issued for:
**Window Type B details
 as proposed**
GENERAL ISSUE

Date: **Oct 2019** Scale: **As shown @ A1**
 Issued by: **LS** Checked by: **AJO**

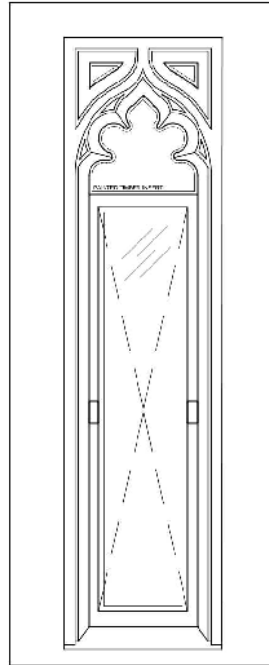
Drawing Number	File
A1424 - 24	-



Proposed window (Type D) elevation

Scale 1 : 10

Locations: FFW15 & 16



Proposed oriel window (Type K) elevation

Scale 1 : 10

Locations: FFW09 & 11

SCALE 1 : 10

SCALE 1 : 1



Works schedule:

Windows W-W05, 11, 15 & 16 appear to be in better condition than is typical for other types in part, possibly due to their more sheltered location.

For those windows the Contractor is required to propose and have agreed by the Employer a methodology for refurbishment in situ.

This is likely to include at least the following:

1. Careful removal of glass.
2. Wire brushing of frame and opening casement and repair of damaged components.
3. Preparation of frame and for re-decoration including bringing forward of areas, primary, undercoat etc.
4. Cleaning and re-setting of glazing and putty fixed.
5. Final re-decoration.
6. Application of suitable sealant to perimeter.

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WINDOW SIZES:

Please note that all window sizes are approximate overall structural opening sizes given for the purpose of window condition preparation.

Scope of survey covering single unit of each type measured. The Contractor/Specialist will be required to visit site and check all sizes accurately prior to the production of any re-furbishment and replacement working drawings. The Specialist shall be responsible for the detailed design of all windows affected.

It shall be the Contractor's responsibility to ensure that all cills, trims and flashings are installed as appropriate to prevent any moisture ingress etc.

Client:
South Holland District Council

Project: **Proposed window works to The Square Church Street Spalding**

Drawing No.: **A1424- 25**

Rev: -

Date: **21.10.2019** Scale: **As Shown @ A3**
 Drawn by: **LS** Checked by: **AJO**

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Drawing Title:
Refurbishment works for windows Type D & Type K as proposed
PLANNING APPLICATION ISSUE

Oglesby & Limb Ltd
Chartered Architect

12 Market Place, Spalding
PE11 1SL
T: 01775 761196
E: mail: design@oandl.co.uk



Existing bay window (Type C) GFW19
NTS



Existing bay window (Type C) GFW20
NTS

Leaded lights works schedule:

1. Glazing specialist to complete full survey of all glass including internal and external photographic record prior to works commencing.
2. Establish a suitable method and sequence of removal of all glazing before works commence and seek approval of the CA.
3. Carefully dismantle existing glazing, iron saddl ebars and lead cames to approved method and sequence avoiding damage to reveals to leave clean, smooth rebates free from obstructions and debris.
4. Report to CA any signs of deterioration of the surrounding stonework revealed by removal of glazing.
5. Provide temporary secure/dustproof/weatherproof protection to the approval of the CA to fully protect the building at all times whilst the windows are being refurbished. The main priority of the protection is to prevent weather and pigeon entry and to allow natural light into the building.
6. At the studio - salvage as many quarries as possible.

7. Redraw leaded light to sit centrally in arch (to avoid replicating existing defects in respect of weak points etc.)
8. Rebuild leaded light to sit centrally in arch using cames in sizes, types, materials and profiles which match the existing exactly, if the existing leadwork is of varying sizes and thicknesses, all should be recognised, identified and allowed for.
9. New saddl ebars are to be stainless steel, powder coated and are to match the sections of those which have been removed.
10. New tie wires shall be 16 gauge copper, touched up matt black paint, if requirec, prior to completion. Ensure that unsightly lengths are removed and that the ties do not interfere with the visual appearance of the glass.
11. Any cracked and broken glass, unpainted glass shall not be re-leaded but replaced with new glass which matched the original in all respects.

Casement works schedule:

1. Carefully dismantle existing casement, removing all hardware.
2. Refurbish to make the casement operational.
3. Allow to shot blast clean metal then prime with zinc rich primer with high zinc undercoat and powder coat.
4. Reinstall the hardware.
5. Allow to re fix into original with a butyl putty.
6. Mortar (to match original colour on the building) around casement to make it waterproof.

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WINDOW SIZES:

Please note that all window sizes are approximate overall structural opening sizes given for the purpose of window condition preparation.

Scope of survey covering single unit of each type measured. The Contractor/Specialist will be required to visit site and check all sizes accurately prior to the production of any re-furbishment and replacement working drawings. The Specialist shall be responsible for the detailed design of all windows affected.

It shall be the Contractor's responsibility to ensure that all cills, trims and flashings are installed as appropriate to prevent any moisture ingress etc.

Client:
South Holland District Council

Project: **Proposed window works to The Square Church Street Spalding**
Drawing No.: **A1424-26**

Rev:

Date: **21.10.2019** Scale: **As Shown @ A3**
Drawn by: **LS** Checked by: **AJO**

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Drawing Title:
Refurbishment works for windows Type C as proposed

PLANNING APPLICATION ISSUE

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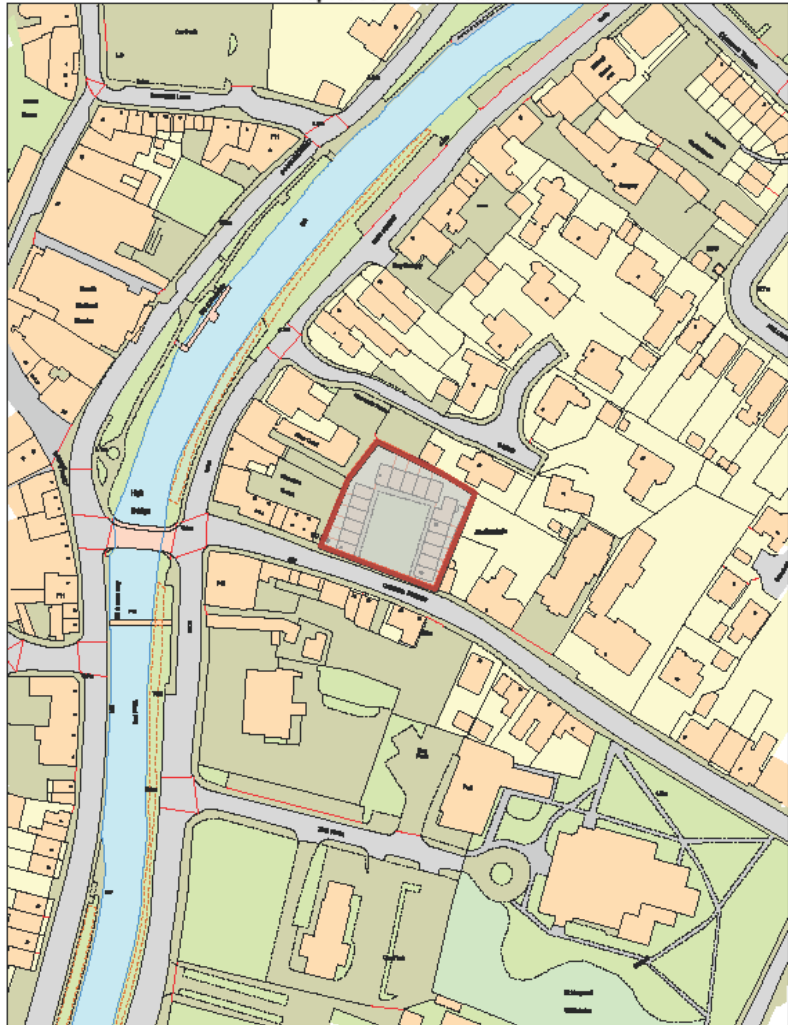








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