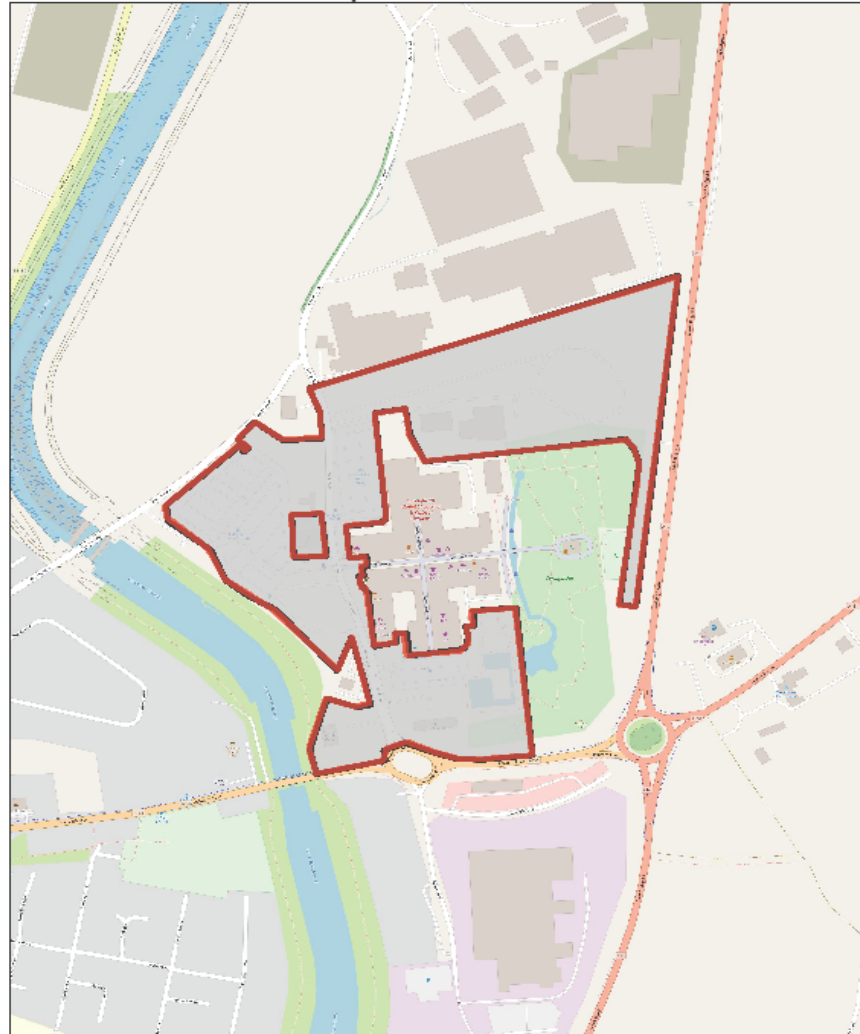


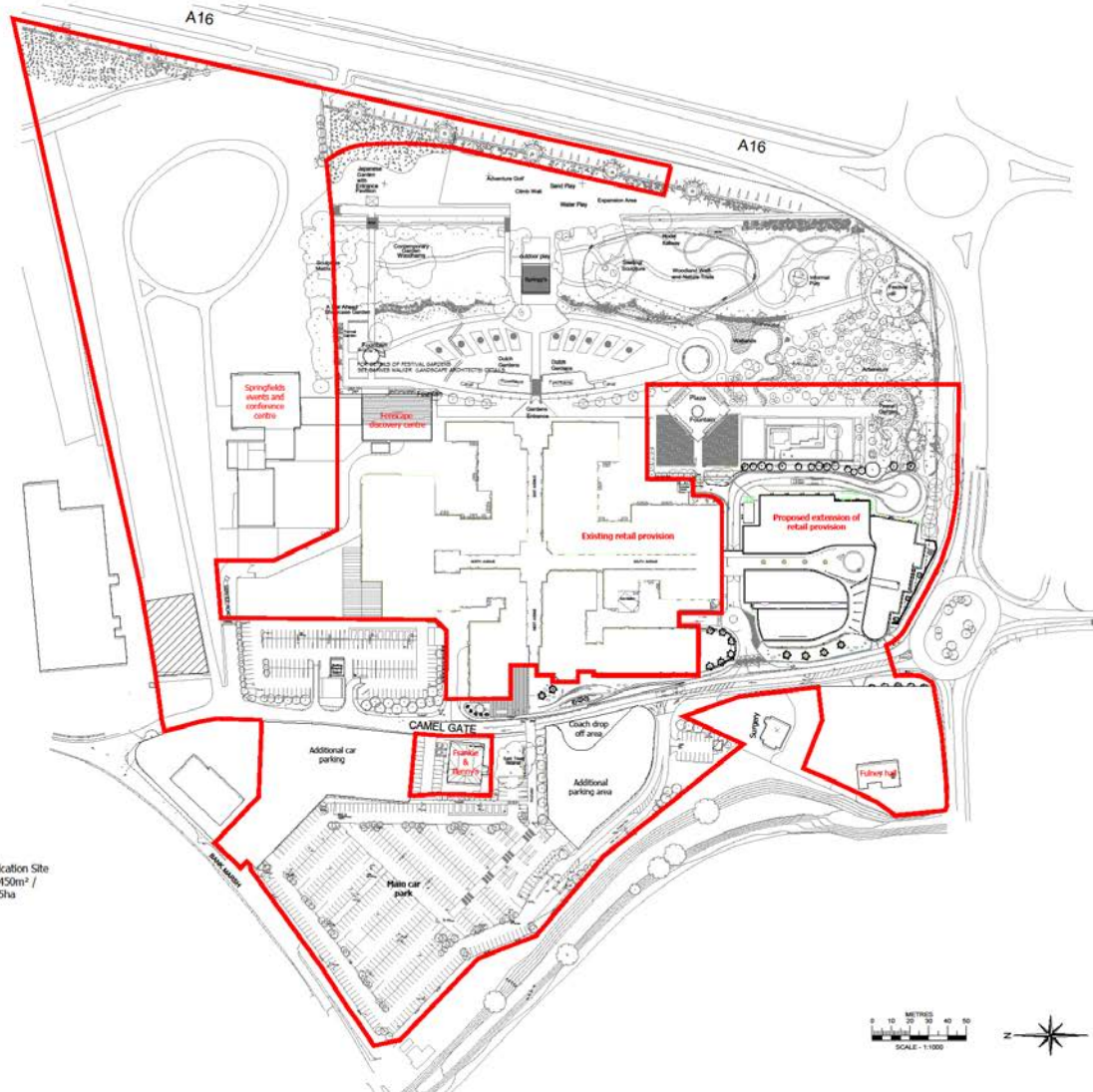
Welcome to the Planning Committee

MapThat Scale Print Title



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MAP SCALE 1:4265
CREATED DATE: 23/09/2020
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LIABLE TO DISTORTION
IN SCALE



Key:
— Application Site
 103,450m² /
 10.35ha

Version: 04 Date: 25/11/2019 Status: AD
 Not for adjustment for Planning Issue

Version: 03 Date: 02/09/2019 Status: AD
 Drawing updated as per comments.

Version: 02 Date: 18/09/2019 Status: AS
 Drawing updated as per comments.

PL **Planning**

Phase 3 Proposals

Boundary Drawing

September 2019

Location: Springfields Retail Shopping & Festival Gardens
 Camelford, Spalding
 PE12 6EU

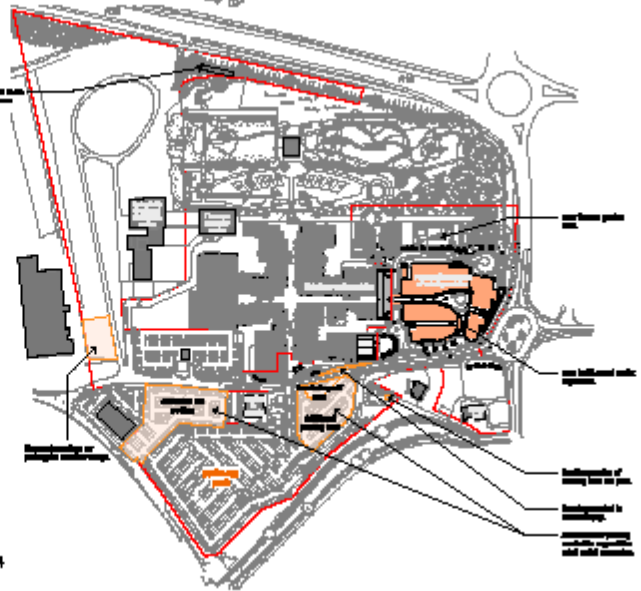
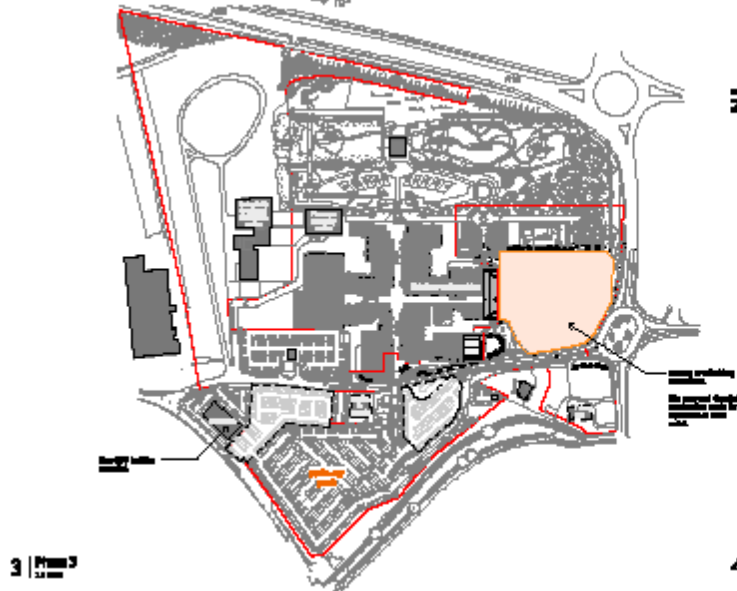
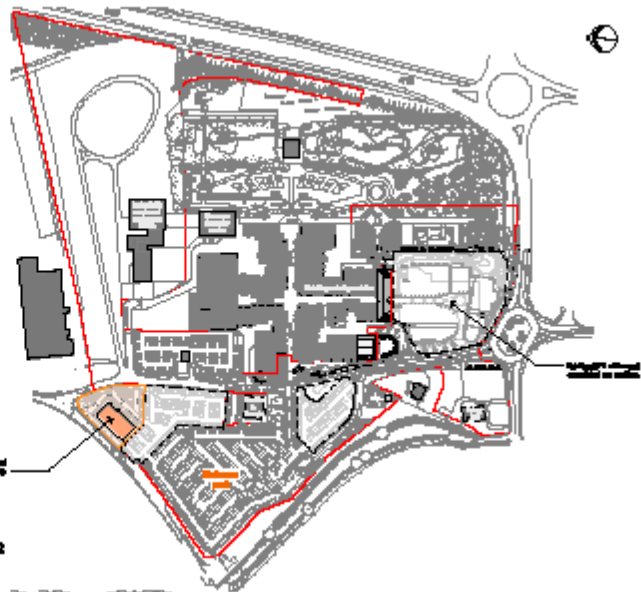
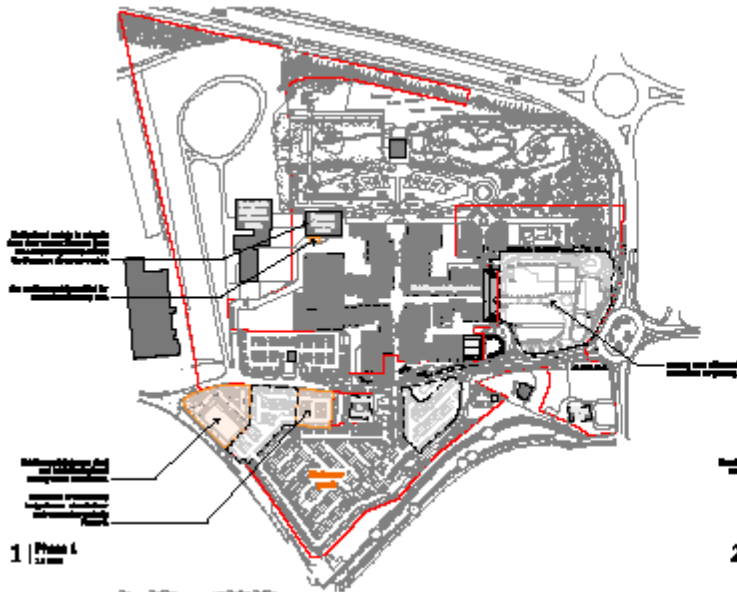
Client: UBS Triton Property Fund - S&K Outlets Ltd

SPFDS: W1A S2 XX DR A L02 P4
 Date: 05-2018 Status: AD Date of Issue: 03/09/2019 File No: 3841-079

NATSON BATTY ARCHITECTS
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 Loughborough
 Leicestershire LE11 3RU
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 E: info@natsonbatty.com
 W: www.natsonbatty.com

FUTURE BUILT

Notes do not take form this drawing. All dimensions to be checked on site.



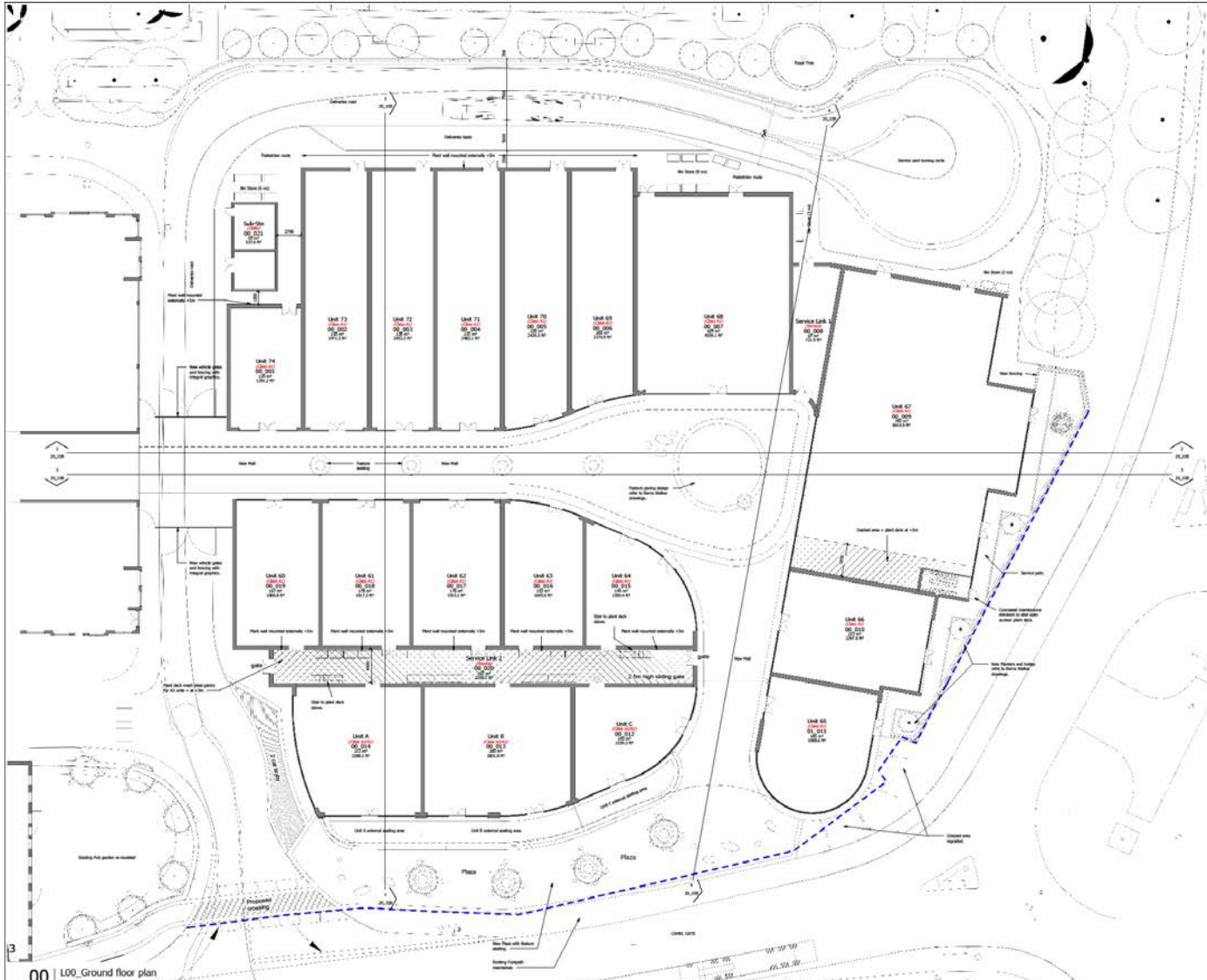
Red line indicates the site boundary.

PL	Planning
Springfield Retail Outlet	
Site Masterplan - Planning	
Springfield	
Site Office	
0900-1000-1000-1000_100	
1000 1000 1000 1000 1000	

WATSON BATTY ARCHITECTS

Watson Batty Architects
1000 1000 1000 1000 1000

WATSON BATTY ARCHITECTS



VISUAL SCALE 1:100 @ A1

Class A1 Retail					
Level	Name	Unit Class	Area (sq')	Area (sq')	Area (sq')
L00	Unit 60	Class A1	187 sq'		1801 sq'
L00	Unit 61	Class A1	176 sq'		1767 sq'
L00	Unit 62	Class A1	176 sq'		1755 sq'
L00	Unit 63	Class A1	153 sq'		1546 sq'
L00	Unit 64	Class A1	144 sq'		1330 sq'
L00	Unit 65	Class A1	185 sq'		1489 sq'
L00	Unit 66	Class A1	213 sq'		1706 sq'
L00	Unit 67	Class A1	262 sq'		2415 sq'
L00	Unit 68	Class A1	434 sq'		4939 sq'
L00	Unit 69	Class A1	292 sq'		2179 sq'
L00	Unit 70	Class A1	228 sq'		1420 sq'
L00	Unit 71	Class A1	225 sq'		1482 sq'
L00	Unit 72	Class A1	228 sq'		1461 sq'
L00	Unit 73	Class A1	236 sq'		1241 sq'
L00	Unit 74	Class A1	125 sq'		1275 sq'
Class A1: 15			3662 sq'		39762 sq'
Unit 15			3662 sq'		39762 sq'

Class A3 Restaurant/Cafe					
Level	Name	Unit Class	Area (sq')	Area (sq')	Area (sq')
L00	Unit A	Class A3A1	213 sq'		2268 sq'
L00	Unit B	Class A3A1	262 sq'		2862 sq'
L00	Unit C	Class A3A1	143 sq'		1539 sq'
Class A3A1: 3			618 sq'		6670 sq'
L00: 3			618 sq'		6670 sq'

Grand total **4274 sq' / 46921 sq'**

Boundary Key
 - - - - - Extent of highways adopted land within Phase 3 land site boundaries

- 01 | 2023.10.01 | JAB | AC | Section amended for Planning notes
- 02 | 2023.09.01 | JAB | AC | Amended plan to ICD presentation
- 03 | 2023.08.01 | JAB | AC | ICD approval received from Council. Final version prepared and submitted to Council. Final version approved and adopted by Council. All units will be subject to other site plans.
- 04 | 2023.07.01 | JAB | AC | Structural and building information provided and approved.
- 05 | 2023.06.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 06 | 2023.05.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.
- 07 | 2023.04.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 08 | 2023.03.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.
- 09 | 2023.02.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 10 | 2023.01.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.
- 11 | 2022.12.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 12 | 2022.11.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.
- 13 | 2022.10.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 14 | 2022.09.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.
- 15 | 2022.08.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 16 | 2022.07.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.
- 17 | 2022.06.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 18 | 2022.05.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.
- 19 | 2022.04.01 | JAB | AC | Structural and building information approved and Unit 12 amended.
- 20 | 2022.03.01 | JAB | AC | Unit 12 amended to accommodate new structure. Unit 12 amended and approved.

PL Planning
 Springfields Retail Outlet
 Level 00 - GA Plan
 Spalling

S/R outlets:
 SFPDS-WBA-XX-00-DR-A-20_105 P16

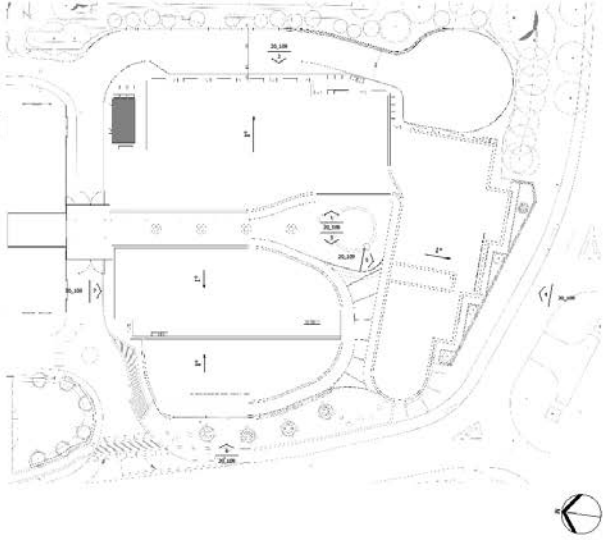
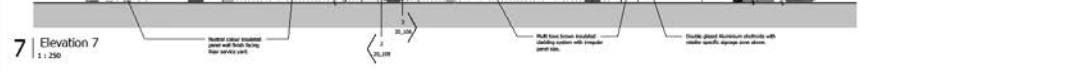
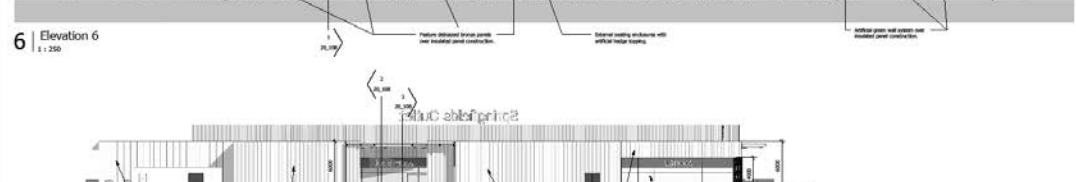
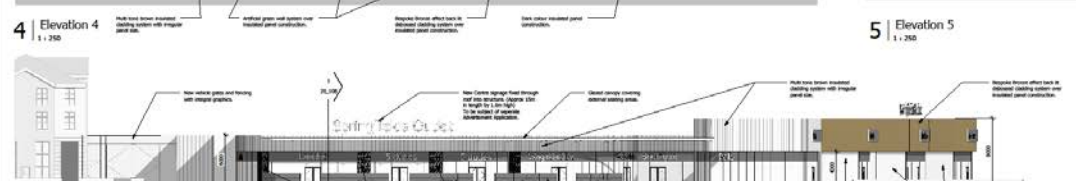
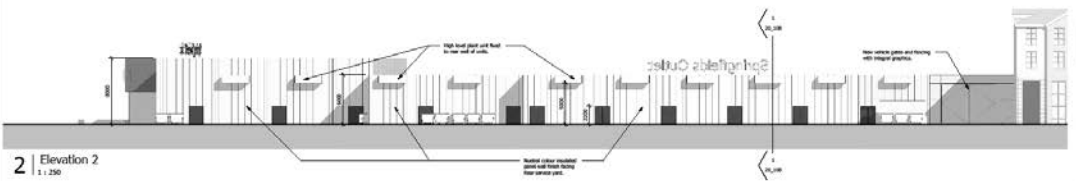
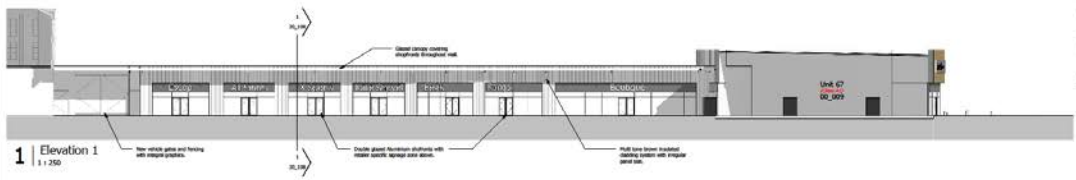
WATSON BATTY ARCHITECTS
 Sharon House, Sharon Road
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 Leeds 7, Leinfloorborough
 T: 01947 876 965
 E: enquiries@watsonbatty.com
 W: www.watsonbatty.com



FUTURE BUILD

00 | L00_Ground floor plan
 1:1,200

Note: The unit Scale from the drawing. All dimensions to be checked on site.



PL	2024.11	ALL	Finalist submitted for Planning Issue
PL	2024.11	ALL	Finalist for approval
PL	2024.10	ALL	Interimist prior to CDO presentation
PL	2024.10	ALL	Interimist to follow new ground floor
PL	2024.10	ALL	Finalist submitted to Planning Committee
PL	2024.10	ALL	Finalist submitted following various meetings and new information
PL	2024.10	ALL	Finalist submitted following various meetings and new information
PL	2024.10	ALL	Finalist submitted following various meetings and new information
PL	2024.10	ALL	Finalist submitted following various meetings and new information

PL Planning

Springfields Retail Outlet

External Elevations

Location: Spalding

Client: SLR Outlets
 Project: SPFDS-WBA-XX-ZZ-DR-A-20_109 P7
 Date: 11/05/24 Design: 101 Client: SLR Outlets Rev: 00 No: 11/05/24

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NOTE: DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE.

CIRCULAR PLANTERS AND BEDS



ROCKY TERRAZZO AND CLADDING



SOUL IN LINES LINES



For details of amended gardens and boundary refer to drawing M2041_PA_09





- Surveyed trees to be retained
- Surveyed trees to be removed
- Un-surveyed trees to be retained
- Un-surveyed trees to be removed
- Areas identified for new tree planting
- Proposed native hedge to boundary
- ▨ Areas identified for new tree planting within previous applications for this site
- ▨ Gardens unaffected by development processes
- ▨ New tree planting proposed within woodland areas to improve species and age diversity

TREE PLANTING STRATEGY

SITE BOUNDARIES

Proposed tree planting to site boundaries will be designed to extend and supplement existing vegetation belts to strengthen the structural landscape of the site and overall area. A mix of native trees and shrubs will be planted in a range of stock sizes to improve both the species and age diversity of these woodlands, upgrading ecological value, habitat connectivity and longevity.

Typical Species:

- Quercus robur (Oak)
- Fraxinus excelsior (Alder)
- Alnus glutinosa (Alder)
- Carpinus betulus (Hornbeam)
- Corylus avellana (Hazel)
- Prunus spinosa (Blackthorn)

Boundary to North of Springfields Charity Land

A group of mature poplars and willows to the western end of the boundary in need of specific management intervention. These species have a short lifespan and have now reached maturity, with the appearance and involvement of the GCL. Thus the proposals would seek to replace these trees with a range of native canopy and understorey species to create an ecologically and structurally diverse woodland as a screen and landscaping buffer between this area of open space and the adjacent factory site to the north.

Boundary to Phase 3 development and existing carriageway

A mix of primarily ornamental trees will be planted in groups along the garden side of the site boundary fence and hedge. Species will be selected to relate to and complement those currently growing within the gardens, adding seasonal colour and variation and creating an attractive and clearly defined design to the residential like garden.

Typical Species:

- Prunus sp. (Ornamental cherry)
- Sorbus sp.
- Quercus sp. (Ornamental oak)
- Liquidambar
- Eucalyptus

Road boundary - Railway Hill and the Station

Tree planting proposals include a row of semi-mature clear stem trees along the existing hedged boundary to the Railway Hill site, significantly improving the street scene as it is perceived gateway location. Tree planting will also be addressed within the job gardens of the kitchen, with proposals aiming to improve the setting of the gas bar itself and bring a better, greener quality to another prominent corner.

EXISTING GARDENS

The proposals will include a programme of additional tree planting within the woodlands of the existing gardens, designed and detailed with reference to a full arboricultural survey commissioned to assess the composition and current condition of the established trees.

A range of native tree and shrub species will be selected and planted to upgrade the ecological, structural and age diversity of the woodland and to improve the long term health and sustainability of the important asset.

Tree planting will be implemented in association with an approved programme of woodland management works for the existing trees, undertaken as prescribed by the Arboricultural consultant.









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ARCHITECTS











SPRINGFIELD

NEW
Jack Wills
Jewels
Waffle Stud

Open Thursdays to 5pm!

Costa Lloyds NOW OPEN

NPU Mutual



St. Martin's









Travelodge

Travelodge

RADLEY
LONDON

SPRINGFIELDS
OUTLET SHOPPING & LODGE

GAP OUTLET

GAP
OUTLET

GAP
OUTLET

GAP
OUTLET

Craft

70%







kitchen
restaurant · bar · cafe







EXIT ONLY NO PARKING





Advertisement for a car, featuring a blue hatchback and text including 'New Range Rover'.

SUBWAY

BUS STOP ONLY

STOP

STOP









GATE

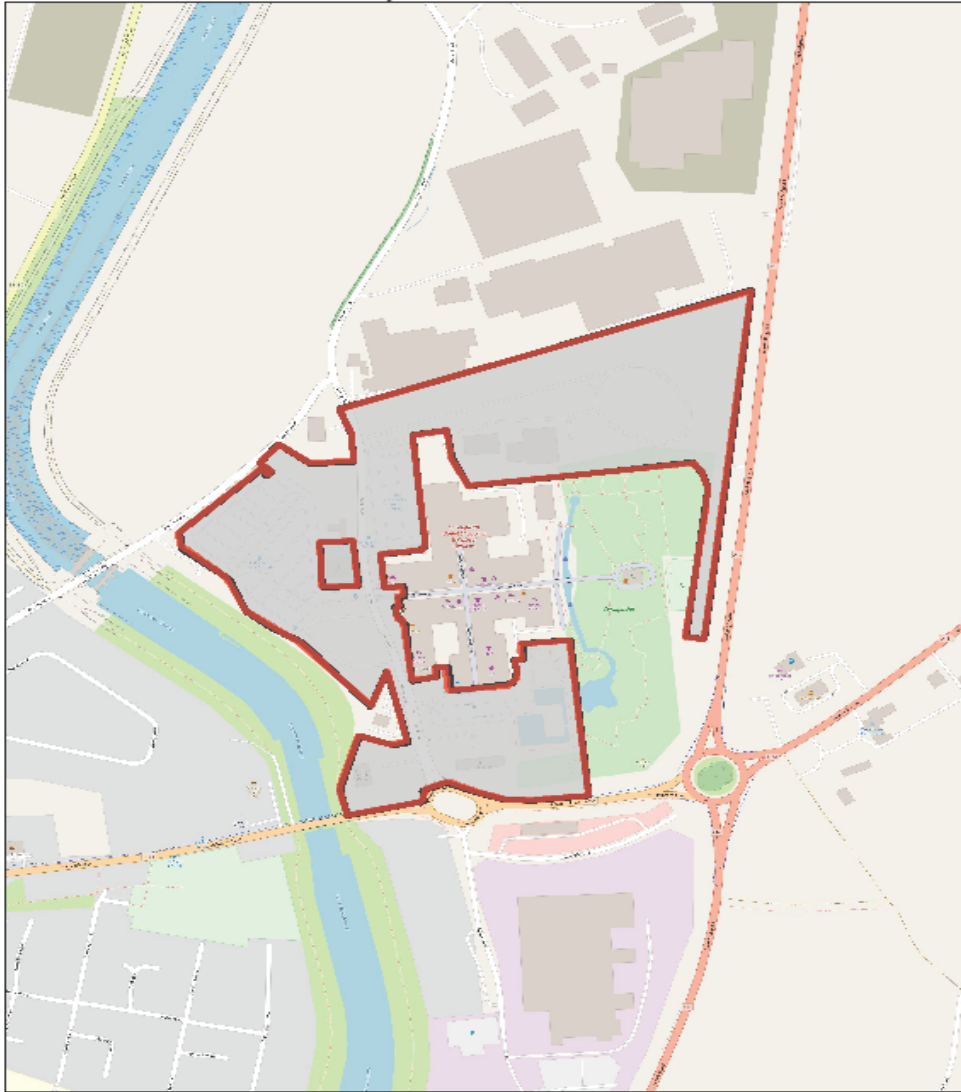
GATE



BICKREACH ROAD

CAMEL GATE

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