

Welcome to the
Planning
Committee





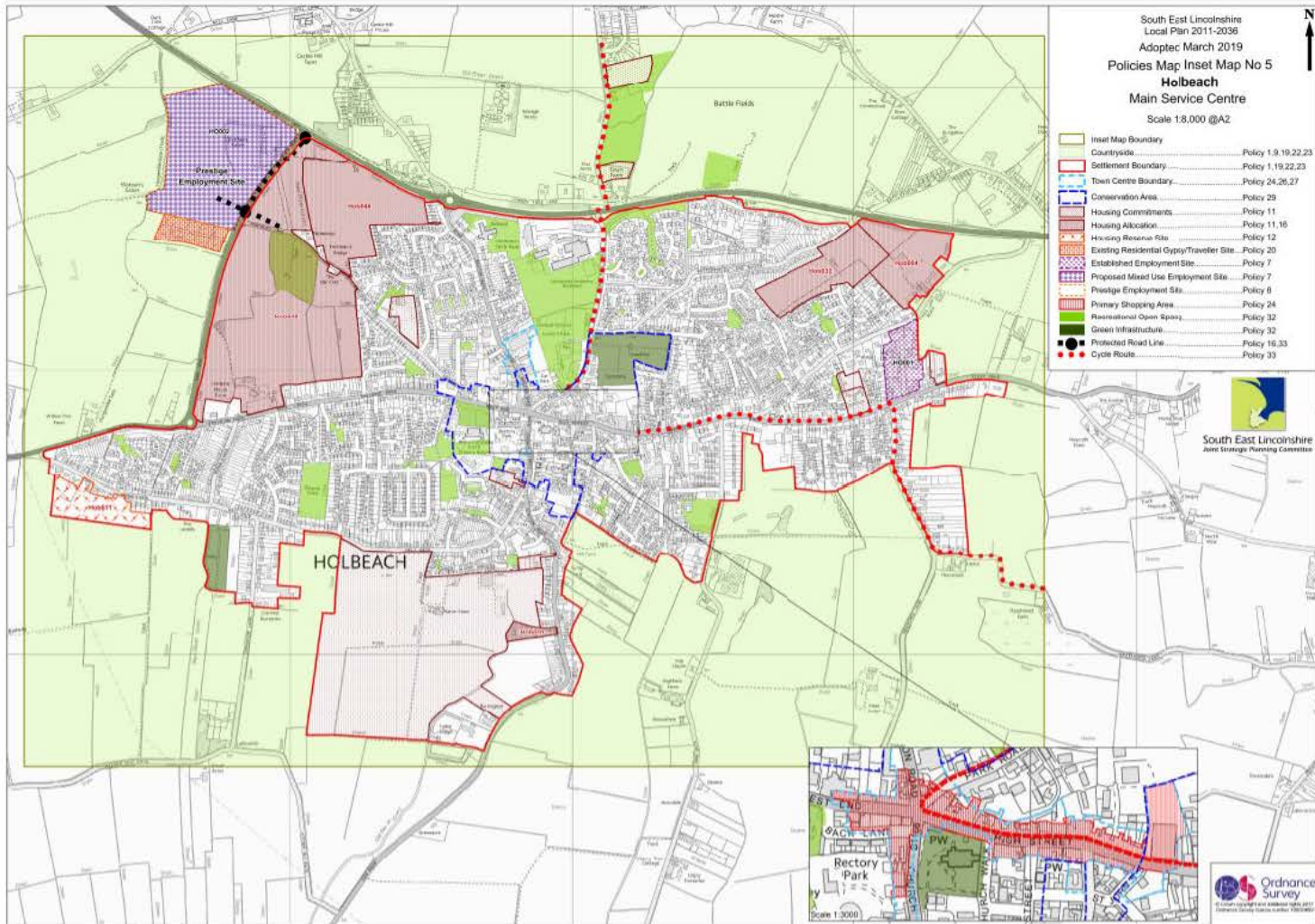
Northon's Lane, **HOLBEACH**

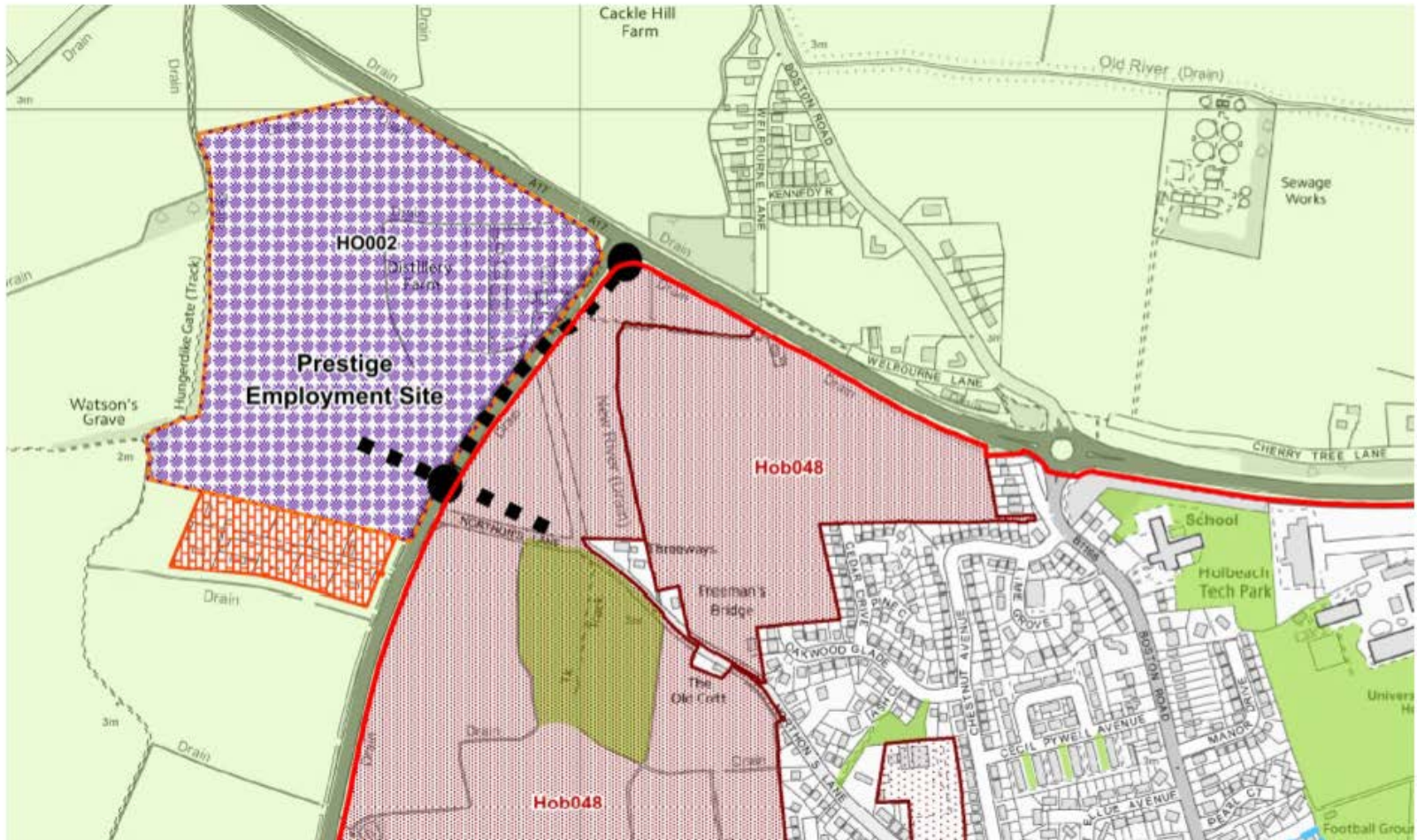
DO NOT SCALE - ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE - THIS DRAWING IS COPYRIGHT

PLANNING
 subject to structural review
 subject to accurate measured survey

REV	DATE	DESCRIPTION	BY
B	04/02/21	AMEND TO RESUME BOUNDARY	005
A	03/02/21	STUDY PLAN NUMBER ADDED	005
000	000	00000	000
PROJECT PROPOSED RESIDENTIAL NORTHON'S LANE HOLBEACH			
ARCH GLEESONS			
TITLE SITE LOCATION PLAN			
DATE	SCALE	DRAWN	
20.07.20	1:1250@A2	000	
PROJECT NUMBER	CLIENT		
3162-1-000_B			









Holbeach West

South East Lincolnshire Local Plan 2011-36



Schedule of Accommodation						
To be read in conjunction with drawing no. 3162-1-001.F						
Ref.	No. of Beds	Type	No. of Units	Percentage	Sq. Ft.	Total Sq. Ft.
150 (Ground)	1 Bedroom	Maisonette	2	1.94	17476	398.00
150 (First)	1 Bedroom	Maisonette	2	1.94	17476	452.00
250	2 Bedrooms	Semi/Terrace	17	16.50	753.00	12801.00
350	3 Bedrooms	Semi/Terrace	21	20.39	904.00	18994.00
355	3 Bedrooms	Semi/Terrace	10	9.71	904.00	9040.00
356	3 Bedrooms	Detached	13	12.62	904.00	11752.00
359	3 Bedrooms	Detached	4	3.88	984.00	3936.00
360	3 Bedrooms	Detached	15	14.55	919.00	13785.00
450	4 Bedrooms	Detached	11	10.68	1156.00	12716.00
451	4 Bedrooms	Detached	4	3.88	1071.00	4284.00
452	4 Bedrooms	Detached	4	3.88	1211.00	4844.00
Totals			103	100.00		93842.00



Freeman's Bridge

Northon's Lane, **HOLBEACH**
DO NOT SCALE - ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE - THIS DRAWING IS COPYRIGHT

REV	DATE	DESCRIPTION	BY
I	20/10/21	AMENDMENTS TO GARAGES	SH
H	04/10/21	AMENDMENTS TO SUBSTATION LOCATION/ADDITION OF KEY	SH
G	16/07/21	AMENDMENTS TO LOT 18, 31-34 & HATCH PRIVATE DRIVES	005
F	07/04/21	REVISED SITE LAYOUT	005
E	07/04/21	REVISED SITE LAYOUT	005
D	25/03/21	AMENDED CYCLE ROUTE	005
C	24/03/21	CYCLE PATH SHOWN AS INDICATIVE	005
B	24/03/21	SITE REVISIONS AS PER CLIENT REQUEST	005
A	03/02/21	TITLE PLAN REDEFINE ADDED PLOTTED NEW HOUSE TYPES	005

PROPOSED RESIDENTIAL BRACKENBOROUGH ROAD, LOUTH

Client: GLEESON

Project: PROPOSED SITE LAYOUT

Scale: 1:707.20 (1"=15.00m @ A0) Date: 005

Author: DDS

3162-1-001.F

niemen Architects
 Deck 2, The Waterside
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 Kilsall, Leics., LE15 5EG
 Tel 0113 239 5400
 Fax 0113 239 5401
 office@niemen.co.uk
 www.niemen.co.uk

PLANNING
 subject to structural review
 subject to accurate measured survey



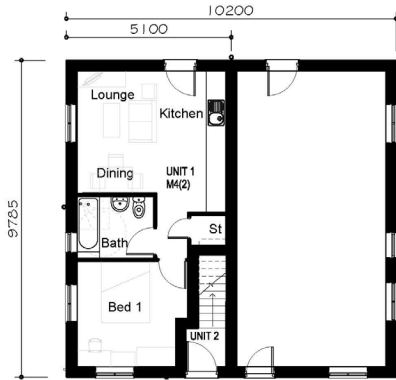
FRONT ELEVATION



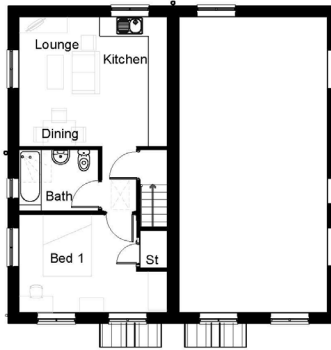
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

**PLANNING
DRAWING**

150 dwelling type

**GLEESON
HOMES & REGENERATION**

Scale	1:100 at A2
Date	Jul.20
Dwg No	150/1

FLOOR AREA
UNIT 1 - 37.0m², 398ft²
UNIT 2 - 42.0m², 452ft²

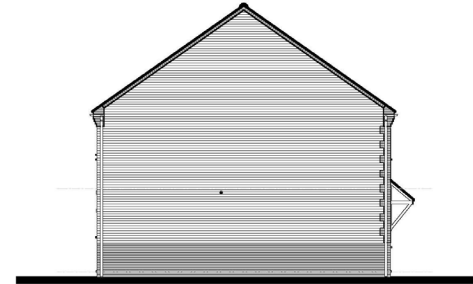




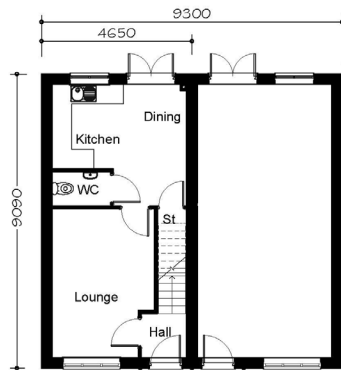
FRONT ELEVATION



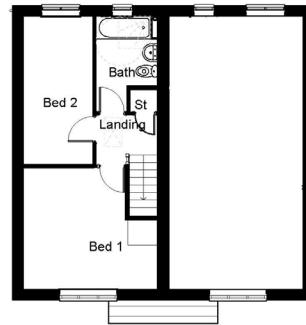
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

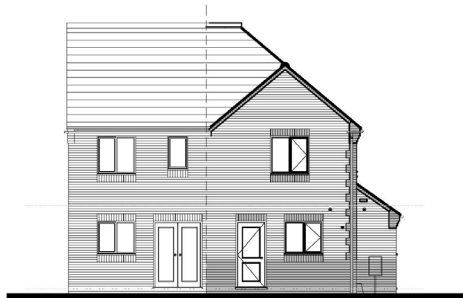


FLOOR AREA
70.04m², 753ft²

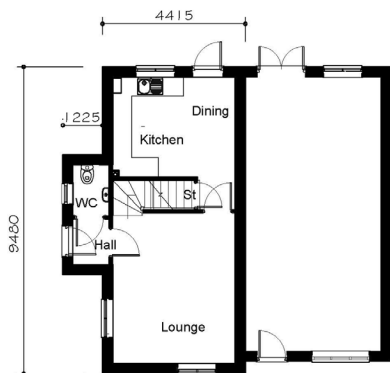
**PLANNING
DRAWING**

250 dwelling type
**GLEESON
HOMES & REGENERATION**

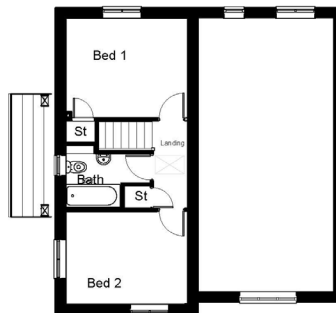
A	Site & PP Survey	2/10/20	Scale
B	MR 21 requirements added	07/07/23	1:100 at A2
			Date
			Oct.19
			Dwg No
			250/1B



FRONT ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



FLOOR AREA
70.01m², 753ft²

**PLANNING
DRAWING**

253 dwelling type

**GLEESON
HOMES & REGENERATION**

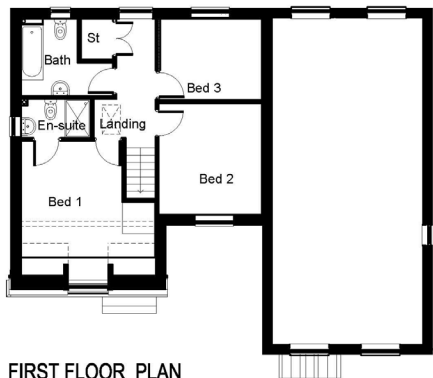
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	at A2
	Date
	Oct.19
	Dwg No
	253/1



FRONT ELEVATION



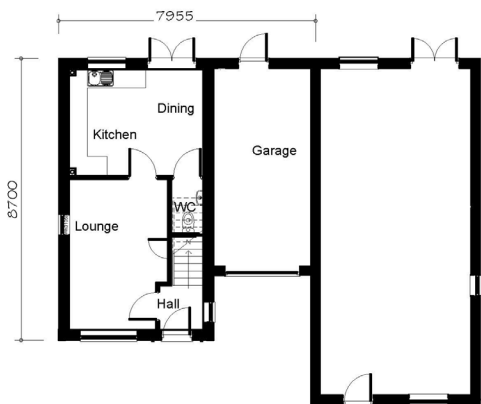
REAR ELEVATION



FIRST FLOOR PLAN



SIDE ELEVATION



GROUND FLOOR PLAN



FLOOR AREA
84.00m², 904ft²

**PLANNING
DRAWING**

355 dwelling type
**GLEESON
HOMES & REGENERATION**

A/	Legend revised following comments	04.05.20	Scale
			1:100 at A2
			Date
			Oct.19
			Dwg No
			355/1A



FRONT ELEVATION



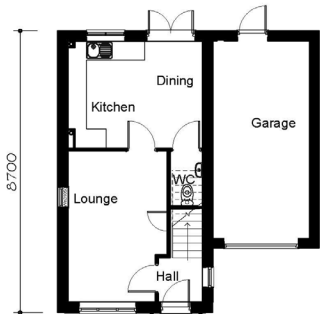
SIDE ELEVATION



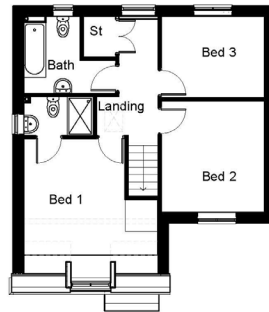
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



FLOOR AREA
84.00m², 904ft²

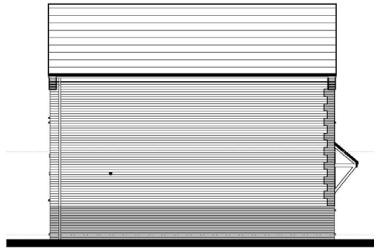
**PLANNING
DRAWING**

356 dwelling type
**GLEESON
HOMES & REGENERATION**

A	Layout control file name comment	04.05.20	Scale
			1:100 at A2
			Date
			Oct.19
			Dwg No
			356/1A



FRONT ELEVATION



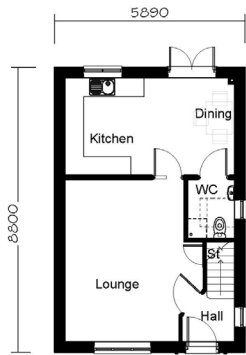
SIDE ELEVATION



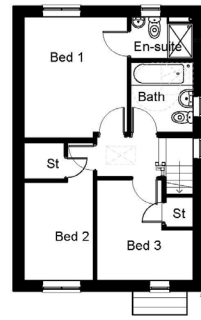
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



FLOOR AREA
85.4m², 919ft²

**PLANNING
DRAWING**

360 dwelling type
**GLEESON
HOMES & REGENERATION**

A	Plans amended. Bed 3 door revised	04/05/20	Scale
B	MIR 21 requirements accommodated	07/07/20	1:100 at A2
			Date
			Oct.19
			Draw No
			360/1B



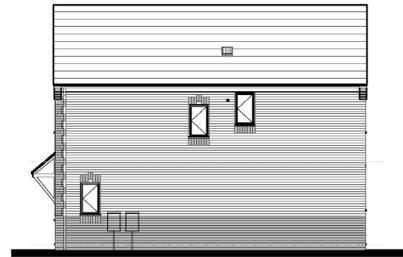
FRONT ELEVATION



SIDE ELEVATION



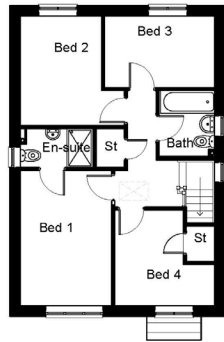
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



FLOOR AREA
107.40m², 1156ft²

**PLANNING
DRAWING**

450 dwelling type
**GLEESON
HOMES & REGENERATION**

A	Final checked Windows on corner plots	05.05.20	Scale
			1:100
			at A2
			Date
			Nov.19
			Dwg No
			450/1A



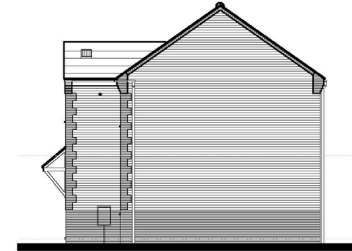
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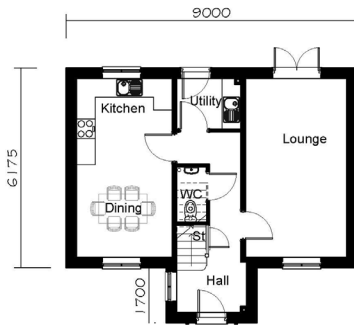
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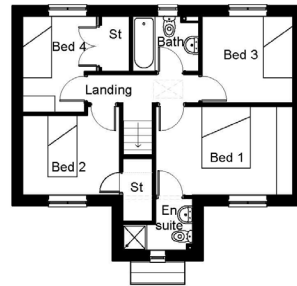
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



FLOOR AREA
99.58m², 1071ft²

**PLANNING
DRAWING**

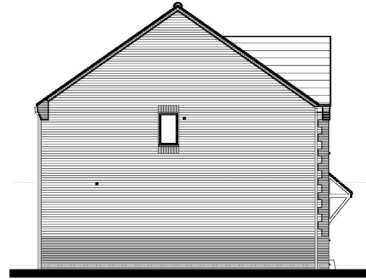
451 dwelling type

**GLEESON
HOMES & REGENERATION**

	Scale
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	Date
	Nov.19
	Dwg No
	451/1



FRONT ELEVATION



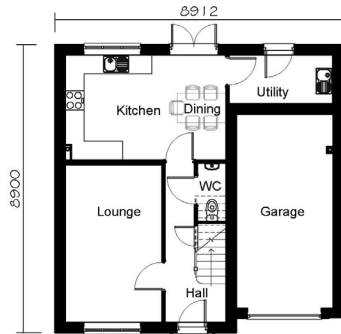
SIDE ELEVATION



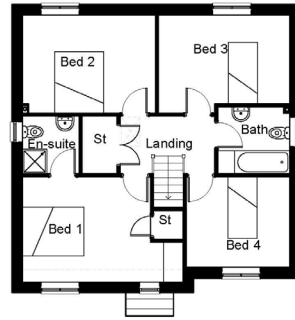
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



FLOOR AREA
112.55m², 1211ft²

**PLANNING
DRAWING**

452 dwelling type

**GLEESON
HOMES & REGENERATION**

	Scale
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	Date
	Nov.19
	Dwg No
	452/1



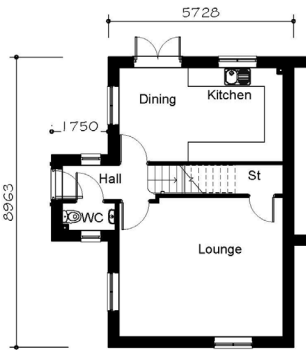
SIDE ELEVATION



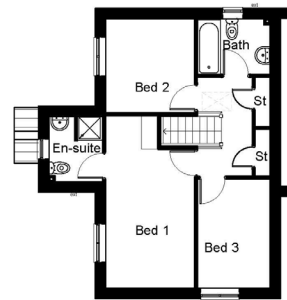
FRONT ELEVATION



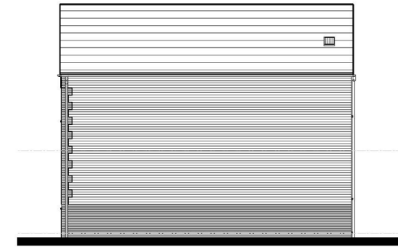
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



Elevation when detached

SIDE ELEVATION



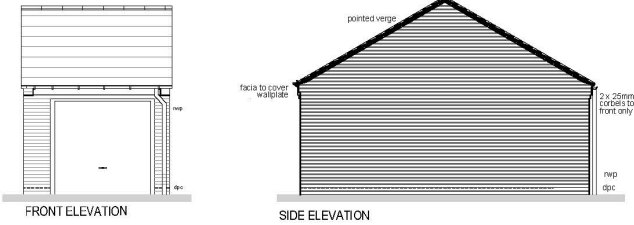
FLOOR AREA
91.44m², 984ft²

**PLANNING
DRAWING**

358/359 dwelling type

**GLEESON
HOMES & REGENERATION**

A	Author	Date	Scale
	Patron reduced	04.05.20	1:100 at A2
		Date	Oct.19
		Dwg No	358/9/1A

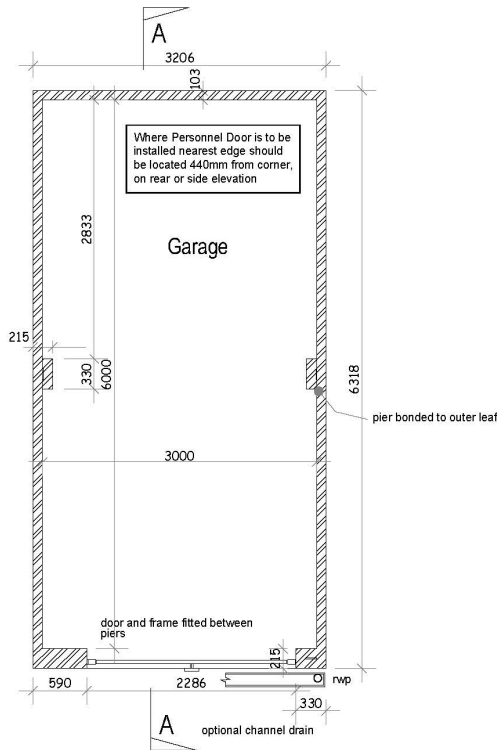


ELEVATIONS @1:100

Structural Works Notes:

- Reinforced Concrete shall be a minimum of RC35 to BS8500 Part 1 and BS EN 206-1.7
- Mesh reinforcement shall be deformed Type 2 high yield steel to BS4483. Minimum lap = 450mm
- All concrete to be cured and protected from frost for a minimum of 7 days after casting.
- The ground is to be stripped of topsoil, vegetation and an suitable fill before the raft construction begins.
- Where ground levels are being considered to be raised with site arising fill material placed below the raft foundations, site material is to be tested to determine the material classification in accordance with Table 6/1 of Specification of Highway Works (Vol 1) by suitably qualified person.

Notes:
 Sketch schemes may be based on plan information of unknown origin and is subject to verification and survey.
 Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is not to be scaled. Use figured dimensions only.
 Building areas are liable to adjustment over the course of the design process due to ongoing construction detailing developments.
 Subject to statutory approvals and survey.



PLAN @1:50

Roof construction to be designed, fixed & braced in accordance with B.S 5268 pt 3. Refer to truss manufacturers drawings for details

Blockwork taken up to underside of felt and firestopped using 50mm Rockwool blanket above, and below felt

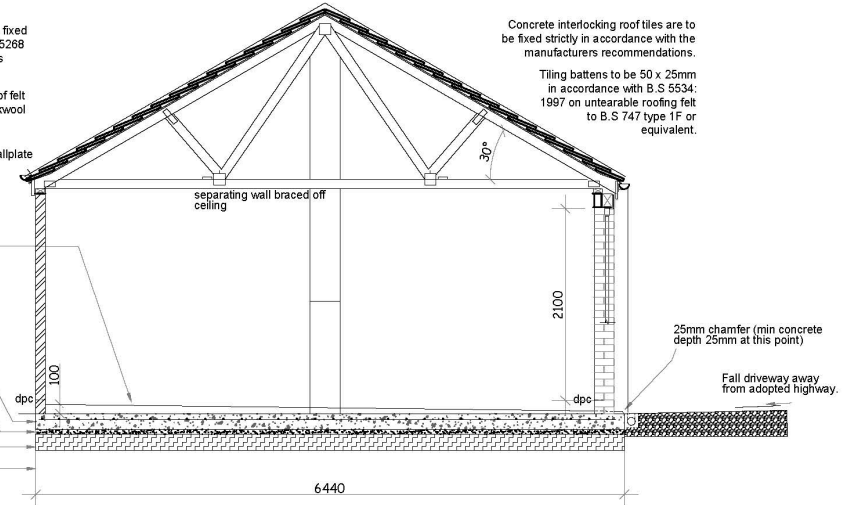
75mm fall from rear to front of garage (100mm tapering down to 25mm - to avoid cracking at the thin end).

225mm (min) concrete base slab reinforced with A393 mesh (installed to achieve minimum 50mm cover).

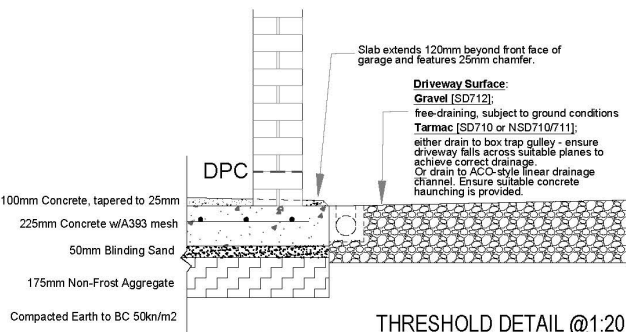
50mm (min) sand blinding

175mm compacted non-frost susceptible granular layer

Ground to be compacted material capable of a safe ground bearing capacity of 50kN/m². Any material within 450mm of the external ground level to be non-frost susceptible.



Concrete interlocking roof tiles are to be fixed strictly in accordance with the manufacturers recommendations.
 Tiling battens to be 50 x 25mm in accordance with B.S 5534: 1997 on untearable roofing felt to B.S 747 type 1F or equivalent.



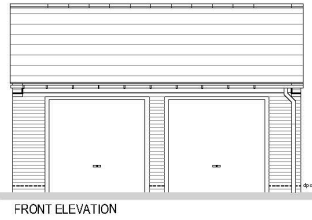
THRESHOLD DETAIL @1:20

SECTION A-A @1:50

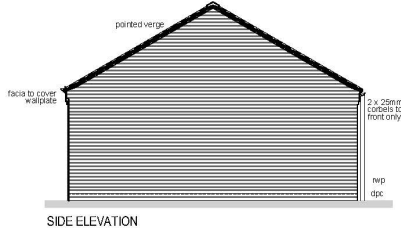
A Slab and threshold details added 11.03.21 AB

revisions	status	-
project	Standard Details	
client	Gleeson Homes & Regeneration	
title	3m x 6m internal dimension Detached Single Garage Details	
drawn	dir	checked
date	020819	scale
job no.	Q282	drawing no.
	SD1700	rev
	A	

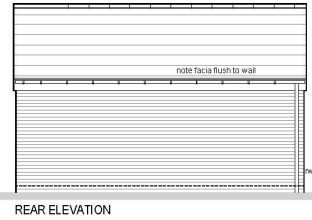




FRONT ELEVATION



SIDE ELEVATION



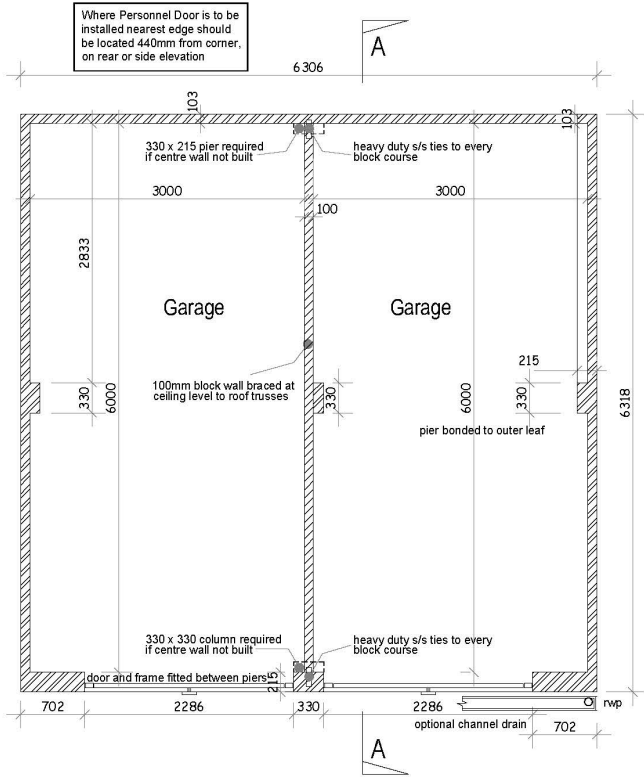
REAR ELEVATION

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 Subject to statutory approvals and survey.



ELEVATIONS @1:100



PLAN @1:50

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Blockwork taken up to underside of felt and firestopped using 50mm Rockwool blanket above, and below felt

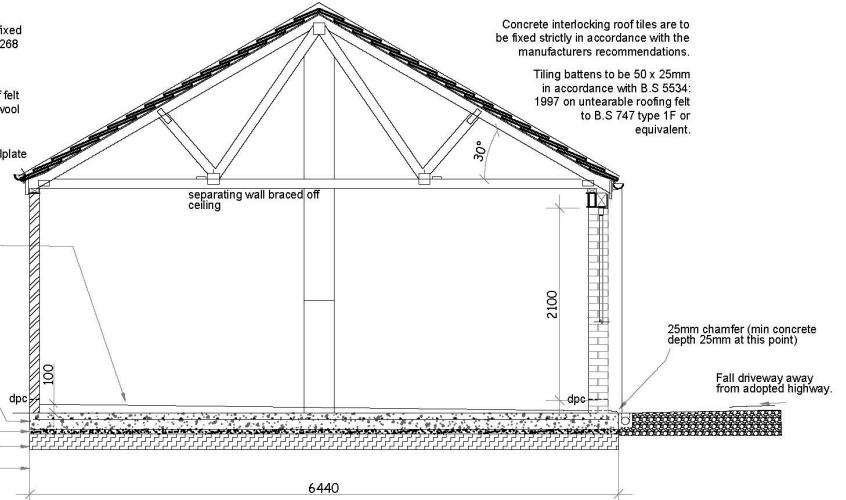
75mm fall from rear to front of garage (100mm tapering down to 25mm - to avoid cracking at the thin end).

225mm (min) concrete base slab reinforced with A393 mesh (installed to achieve minimum 50mm cover).

50mm (min) sand blinding

175mm compacted non-frost susceptible granular layer

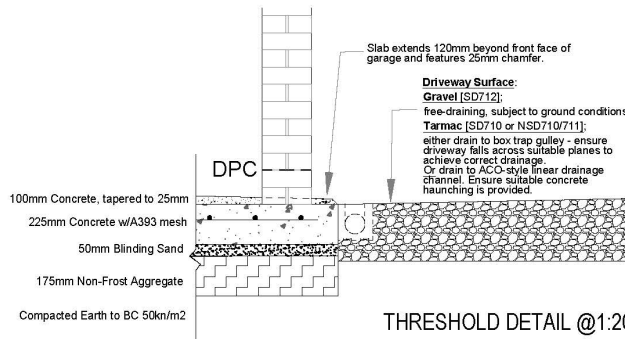
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SECTION A-A @1:50



THRESHOLD DETAIL @1:20

A Slab and threshold details added 11.03.21 AB

revisions	status
project	Standard Details
client	Gleeson Homes & Regeneration
title	3m x 6m internal dimension Detached Double Garage Details
drawn	DJR checked . date 020819 scale As Ind. @A3
job no	0282 drawing no SD1701 rev A





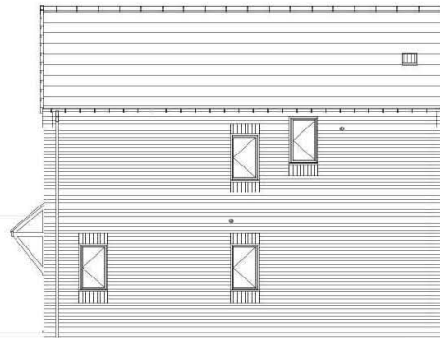
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

- FEATURES
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course cills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.

C01	Issued for Construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

Gleeson Homes (Head Office)
Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
South Yorkshire | S9 1XE

01142 612900

www.gleesonhomes.co.uk

Project:
**360 House Type
Urban**

Title:
Elevations

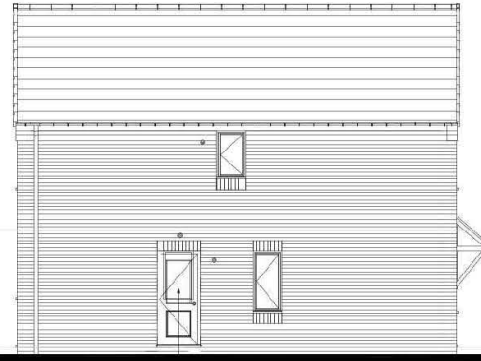
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Drawing No.:	21-360-U-0301	Revision:	C01
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- FEATURES**
- * Flat profile roof tiles.
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 - * Brick soldier course heads.
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 - * Brick soldier course cills.
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FRONT ELEVATION

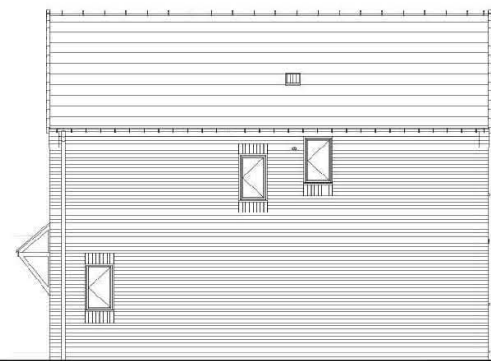


Window on exposed corner plots

SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

C01	Issued for Construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

Gleeson Homes (Head Office)
 Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
 South Yorkshire | S9 1XE
 01142 612900
 www.gleesonhomes.co.uk

Project:
**450 House Type
 Urban**

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

Drawing No:
21-450-U-0301

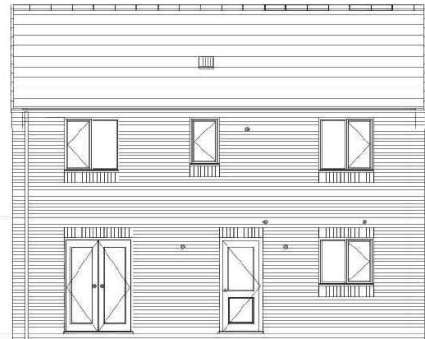
Revision:
C01



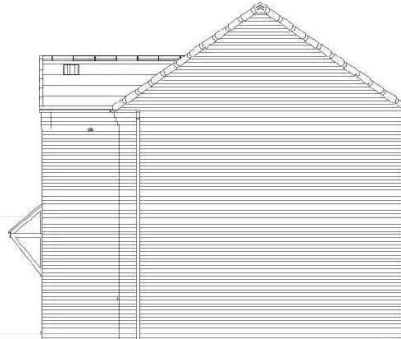
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

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 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.

C01	Issued for Construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

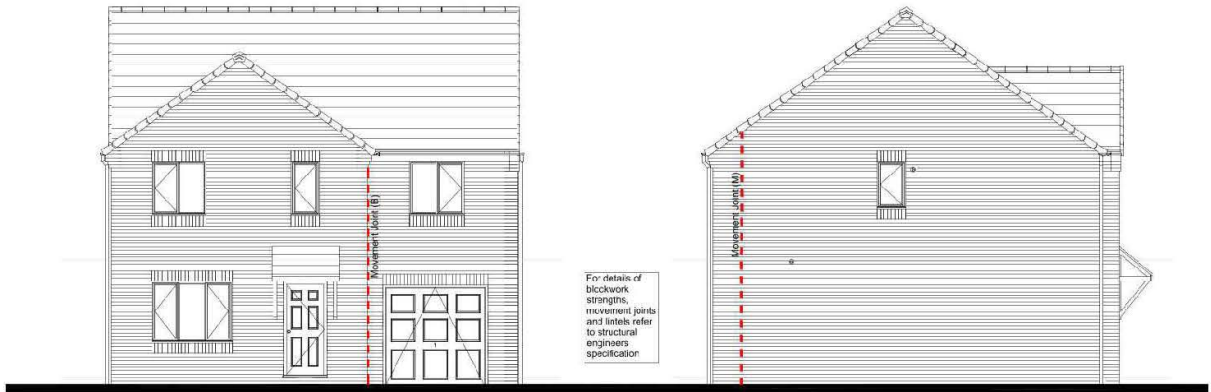
Gleeson Homes (Head Office)
 Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
 South Yorkshire | S9 1XE
 01142 612900
 www.gleesonhomes.co.uk

Project:
**451 House Type
 Urban**

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

Drawing No:	Revision:
21-451-U-0301	C01



FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

SIDE ELEVATION

- FEATURES
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course cills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.

C01	Issued for Construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

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 Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
 South Yorkshire | S9 1XE
 01142 612900
 www.gleesonhomes.co.uk

Project:
**452 House Type
 Urban**

Type:
Elevations

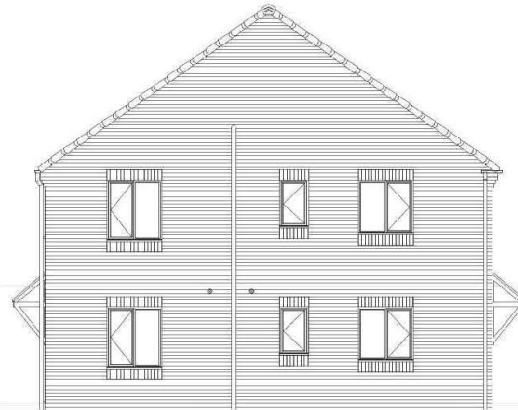
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Drawing No:
21-452-U-0301

Revision:
C01



FRONT ELEVATION



SIDE ELEVATION

For details of
brickwork
strengths,
movement joints
and lintels refer
to structural
engineers
specification

- FEATURES**
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course cills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.



REAR ELEVATION

C01	Issued for Construction	27.05.21
P02	Ff Bedroom window amended, Bath windows moved	21.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

Gleeson Homes (Head Office)
Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
South Yorkshire | S9 1XE

01142 612900

www.gleesonhomes.co.uk

Project:
**150&151 House Type
Urban**

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

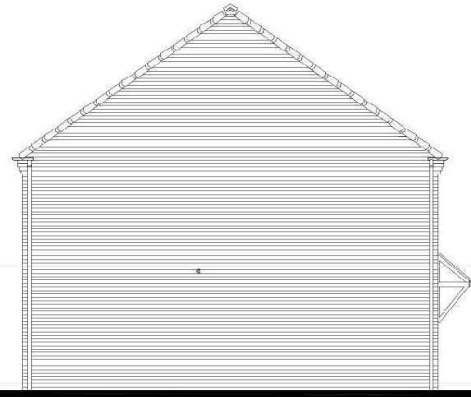
Drawing No:	Revision:
21-150&1-U-0301	C01

- FEATURES**
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course cills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.

For details of brickwork strengths, movement joints and lintels refer to structural engineers specification



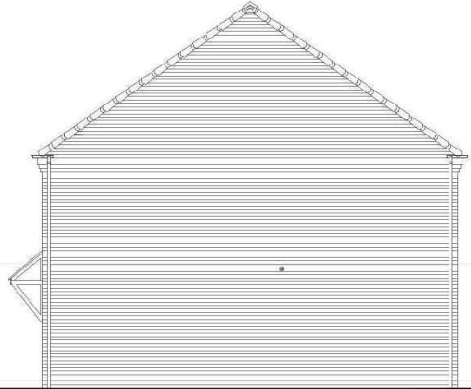
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

C01	Issued for Construction	27.05.21
P01	Initial issue	08.04.21
Rev.	Comments	Date

gleeson

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 Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
 South Yorkshire | S9 1XE
 01142 612900
 www.gleesonhomes.co.uk

Project: 250 House Type
 Urban

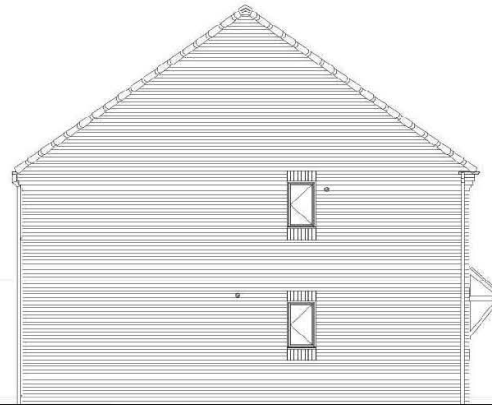
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Drawing No:	21-250-U-0301	Revision:	C01
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For details of brickwork strengths, movement joints and lintels refer to structural engineers specification



FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

- FEATURES**
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course cills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.

P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

Gleeson Homes (Head Office)
Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
South Yorkshire | S9 1XE

01142 612900

www.gleesonhomes.co.uk

Project:
**350 House Type
Urban**

Title:
Elevations

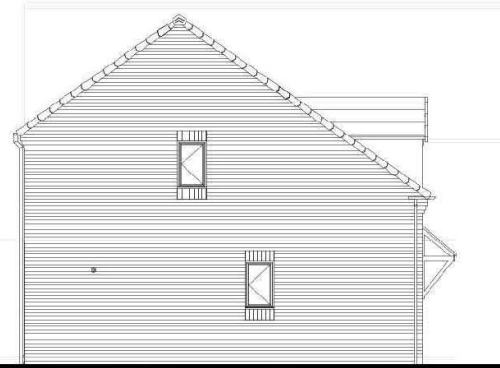
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Drawing No:	21-350-U-0301	Revision:	C01
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- FEATURES**
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course cills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

For details of brickwork strengths, movement joints and inlets refer to structural engineer's specification

C01	Issued for Construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

Gleeson Homes (Head Office)
Unit 5, Euroa Court | Sheffield Business Park | Sheffield |
South Yorkshire | S9 1XE

01142 612900

www.gleesonhomes.co.uk

Project:
**355 House Type
Urban**

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

Drawing No:	Revision:
21-355-U-0301	C01



FRONT ELEVATION

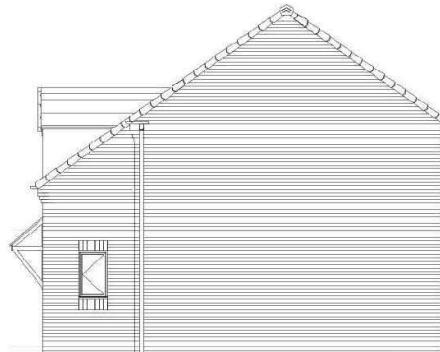


SIDE ELEVATION

For details of blockwork strengths, movement joints and lintels refer to structural engineers specification



REAR ELEVATION



SIDE ELEVATION

- FEATURES
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course cills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.

C01	Issued for Construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

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Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
South Yorkshire | S9 1XE

01142 612900

www.gleesonhomes.co.uk

Project:
356 House Type
Urban

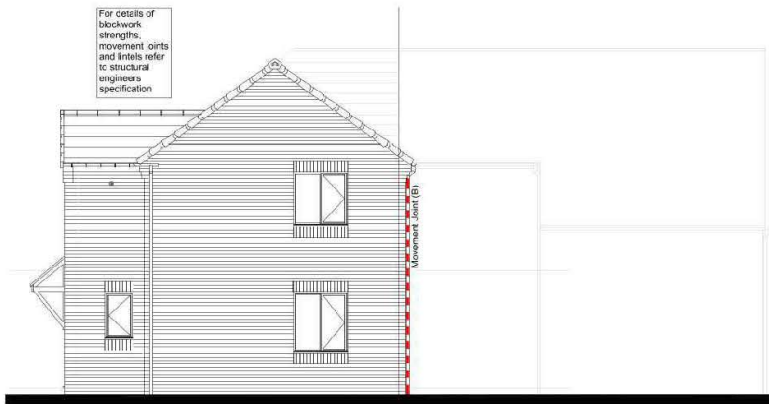
Title:
Elevations

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Drawing No:	21-356-U-0301	Revision:	C01
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- FEATURES**
- * Flat profile roof tiles.
 - * Dry verge detail.
 - * UPVC fascia at eaves, with brick corbel to gable in same brick as main elevation
 - * Brick soldier course heads.
 - * Plain side hung casement windows.
 - * Brick soldier course sills.
 - * Six panel main entrance door, with lean to canopy over on "gallows brackets"
 - * Nine panel garage door
 - * Dark brick below DPC.

For details of brickwork strengths, movement joints and lintels refer to structural engineers specification



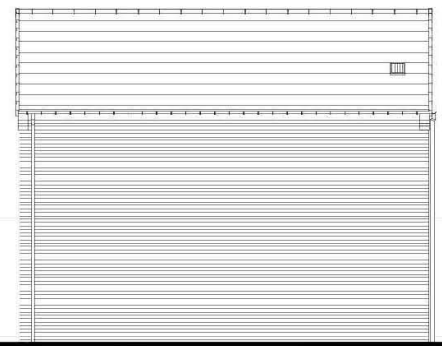
SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



Elevation when detached

SIDE ELEVATION

C01	Issued for Construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

gleeson

Gleeson Homes (Head Office)
 Unit 5, Eurosa Court | Sheffield Business Park | Sheffield |
 South Yorkshire | S9 1XE
 01142 612900
 www.gleesonhomes.co.uk

Project:
358/9 House Type
 Urban

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

Drawing No:
21-358/9-U-0301

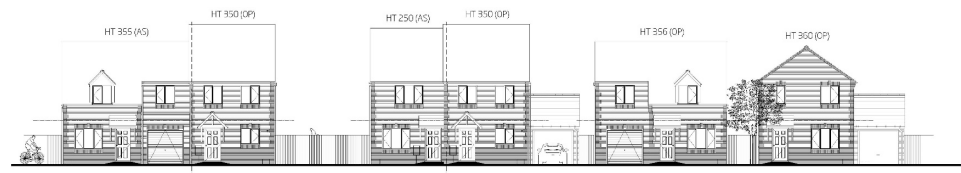
Revision:
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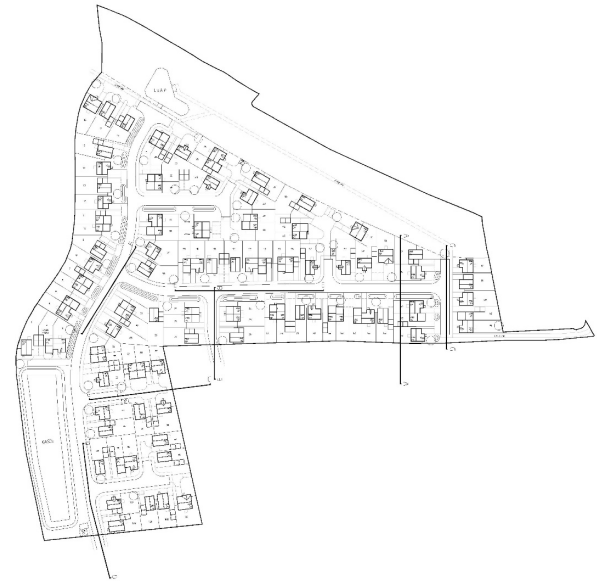
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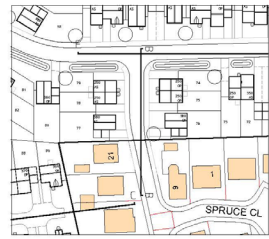
SITE LAYOUT 1:1000

Northon's Lane, **HOLBEACH**
DO NOT SCALE - ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE - THIS DRAWING IS COPYRIGHT

PLANNING
 subject to structural review
 subject to accurate measured survey

NO.	DATE	BY	DESCRIPTION	REV.
A	21/04/23	GLEESON	INTRODUCE VENDOR MAPPING	001
PROPOSED RESIDENTIAL NORTHON'S LANE HO, BRACH				
GLEESON				
PROPOSED STREET SCENE				
NO.	DATE	BY	DESCRIPTION	
20.07.20	11/06/20	GLEESON		
NO.	DATE	BY	DESCRIPTION	
3162-1-002	A			

A niemen Architecture
 Deck 2 The Waterside
 42, Leeds & Bradford Road
 Kirkstall, Leeds LS5 3EG
 Tel: 0113 2793400
 Fax: 0113 2793401
 office@niemen.co.uk
 www.niemen.co.uk




Northon's Lane, **HOLBEACH**
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PLANNING
 subject to structural review
 subject to accurate measured survey

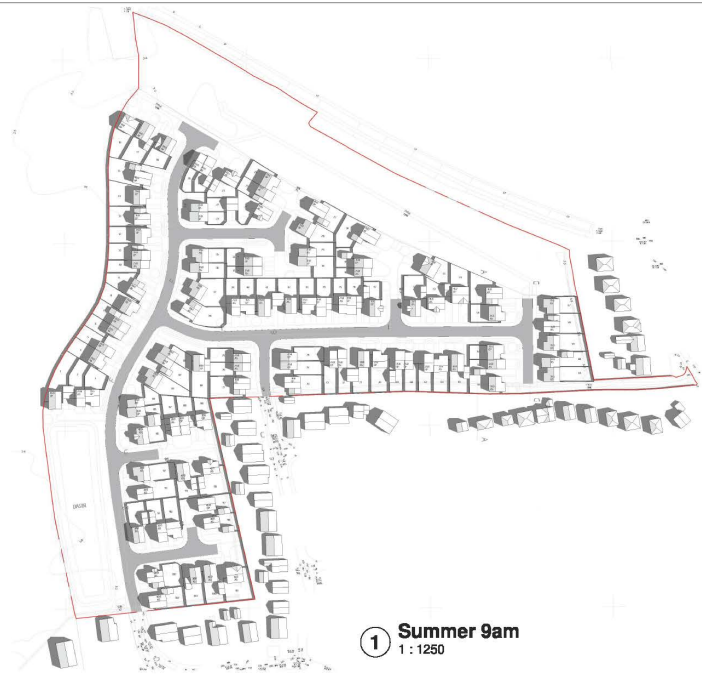
REV	DATE	DESCRIPTION	BY
B	07/04/21	REVISED PLOT FILE	005
A	07/04/21	STELLAR OUT AMENDED	005
ISSUE	DATE	ISSUE	ISSUE

PROJECT	PROPOSED RESIDENTIAL NORTHON'S LANE HOLBEACH
CLIENT	GLEESONS DEVELOPMENT
TYPE	SITE BOUNDARY SECTIONS

DATE	DRAWN	CHECKED
25/03/21	T.200@A2	DUS
DRAWING NUMBER	3162-1-003_B	SCALE



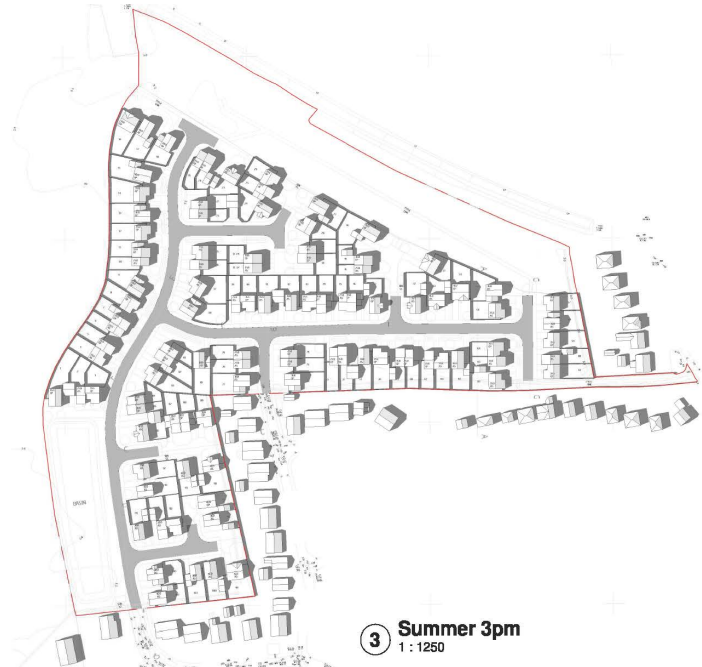
niemen architects
 niemen Architects
 Dick C. The Warehouse
 42 Leeds & Bradford Road
 Kirkstall Leeds LS5 3BC
 Tel: 0113 238 5500
 Fax: 0113 238 5401
 office@niemen.co.uk
 www.niemen.co.uk



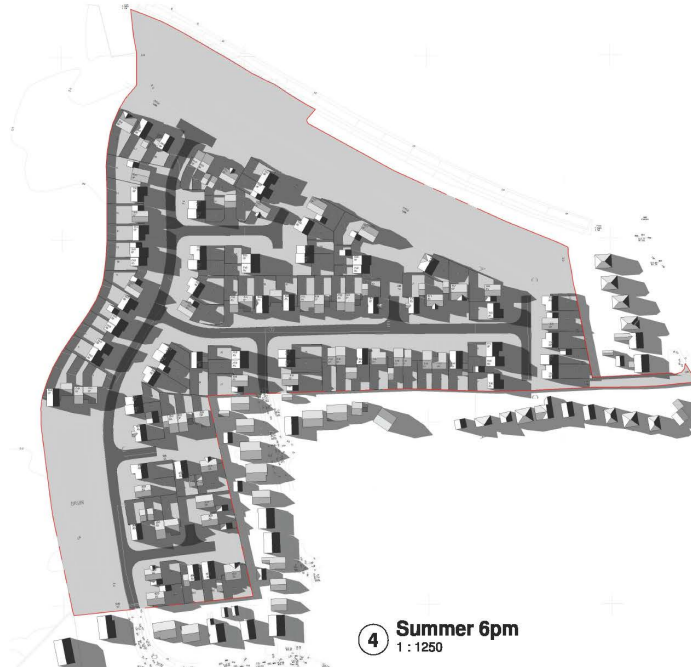
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1 : 1250



② **Summer 12am**
1 : 1250



③ **Summer 3pm**
1 : 1250



④ **Summer 6pm**
1 : 1250

Northon's Lane, Holbeach
Shadow Study - Summer Equinox

Proposed residential development
Northon's Lane,
Holbeach.

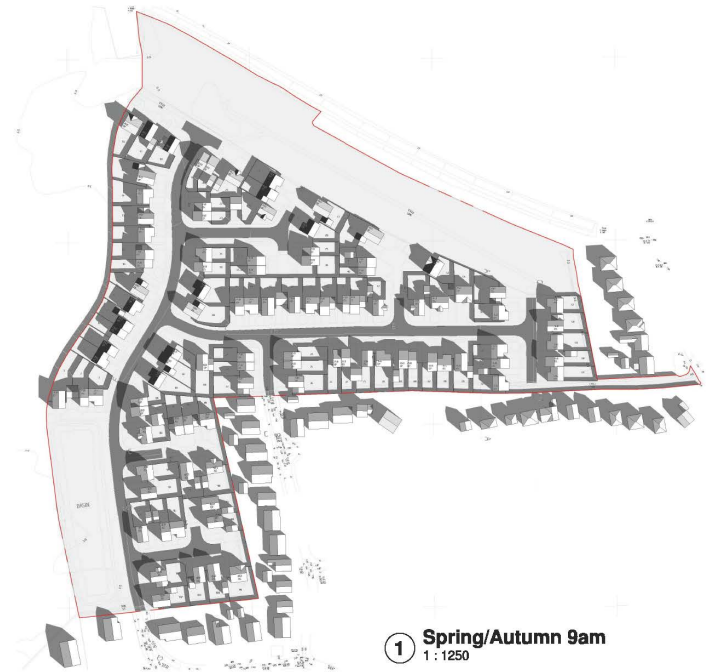
Gleeson Developments



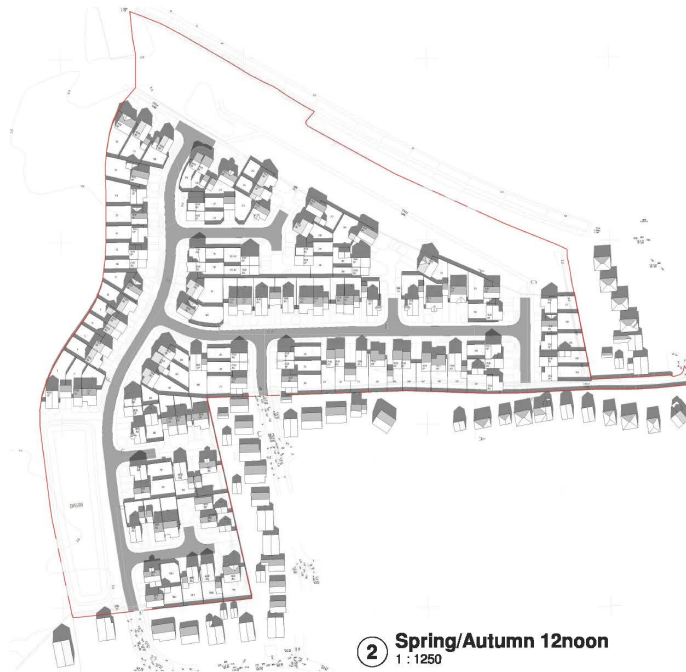
Number 40/2018
Unit 15, The Millbrook
10 Church Lane, L1 2SD
01782 229450
info@nemen.co.uk

DATE	29.06.21	SCALE	1 : 1250	DRAWN	OB	CHECKED	SAN	APPROVED	3162
PROJECT	3162-1-1000								

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① Spring/Autumn 9am
1 : 1250



② Spring/Autumn 12noon
1 : 1250



③ Spring/Autumn 3pm
1 : 1250

<p>Northon's Lane, Holbeach Showaw Study - Spring / Autumn Equinox</p>			
<p>Proposed residential development Northon's Lane, Holbeach.</p>			
<p>Client Gleeson Developments</p>		<p>Author Northon Architects 2001 St. Theobalds Road Cambridge CB2 3PQ T: 01223 209450 info@northon.co.uk</p>	
<p>Date 29.04.21</p>	<p>Scale 1 : 1250</p>	<p>Level OB</p>	<p>Revision SAN 3162</p>
<p>Project Ref 3162-1-1001</p>			

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H09-0602-20 site photos
2.11.21
PHG



H09-0602-20 site photos

2.11.21

PHG



H09-0602-20 site photos
2.11.21
PHG



H09-0602-20 site photos
2.11.21
PHG



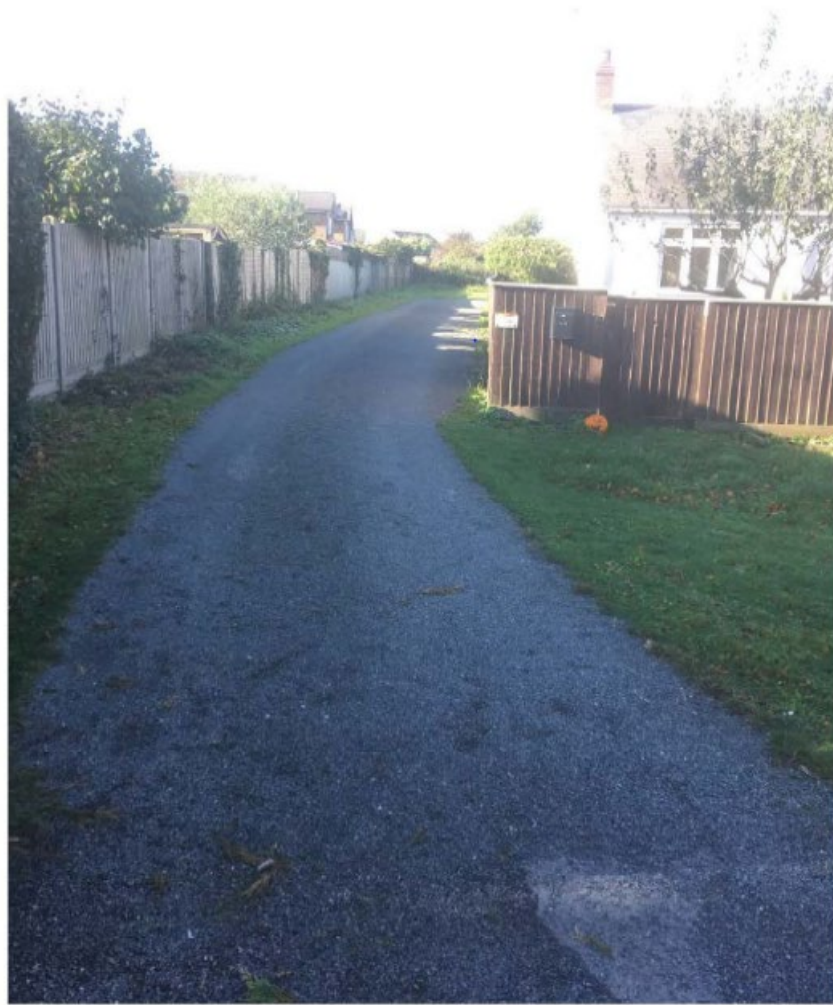
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PHG



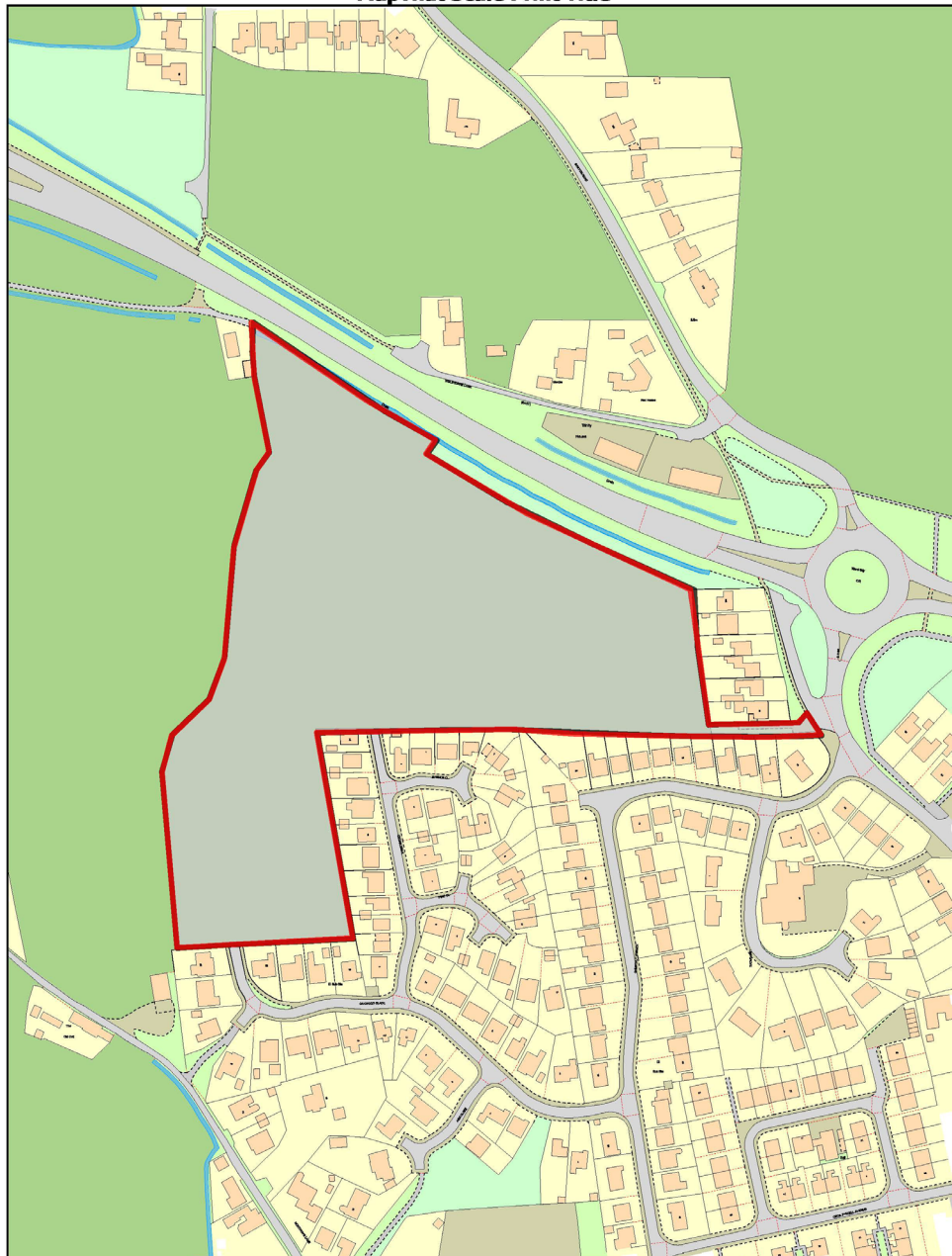
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2.11.21
PHG









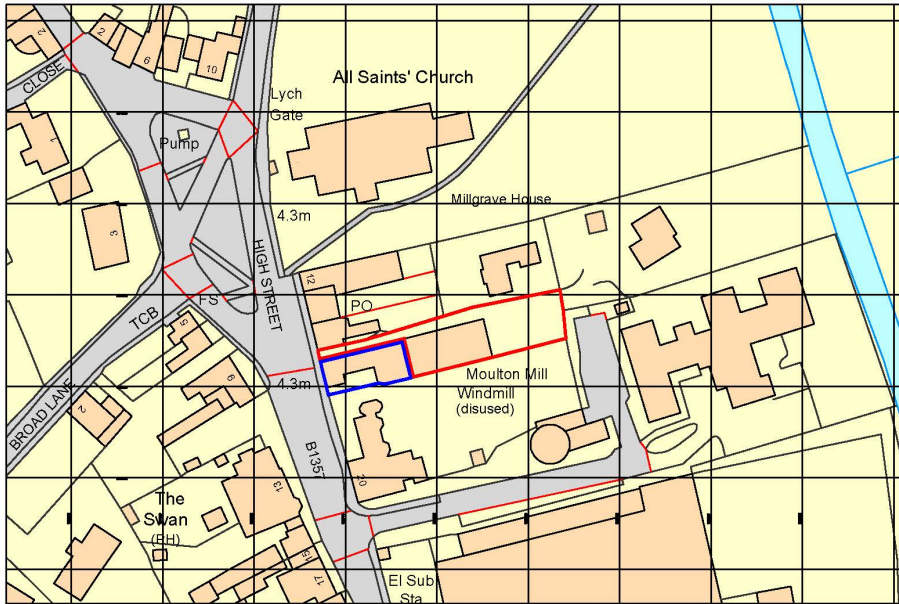


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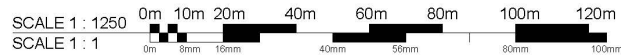
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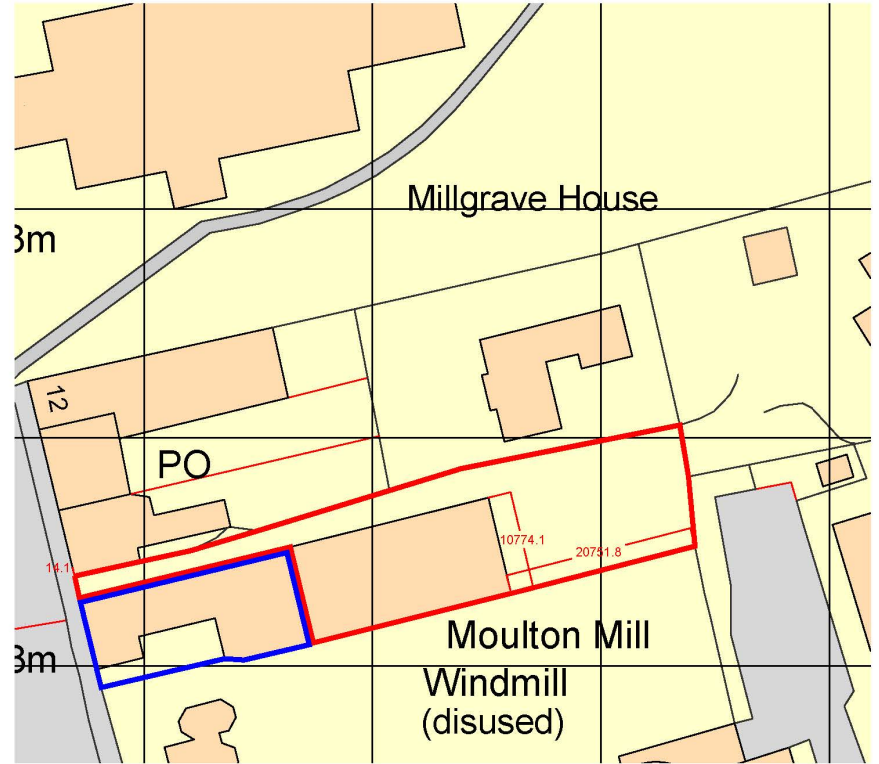
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Site Location Plan

Scale 1:1250 @ A3



Site outlined in red



Site Block Plan
Scale 1:500 @ A3



Site outlined in red



Client:
Will Lane

Project: **Potential Redevelopment (residential)**
The Chase
Moulton
SPALDING
PE12 6QY

Drawing No.:
A1427-01

Rev:
-

Date: **October 2019**

Drawn by: **EJU**

Scale: **As Shown @ A3**

Checked by: **AJO**

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Drawing Title:
Site Location Plan

GENERAL ISSUE

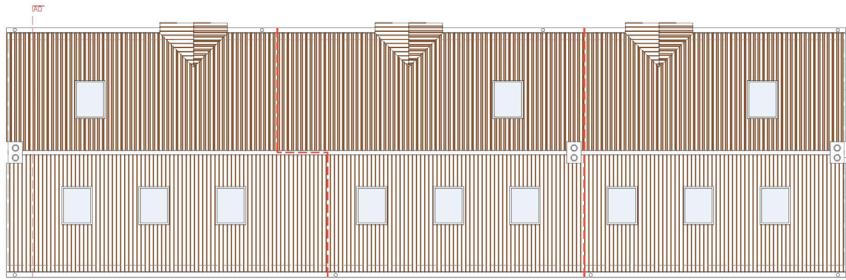
Oglesby & Limb Ltd
Chartered Architect

Suite 1 Market Chambers
12 Market Place, Spalding
PE11 1SL

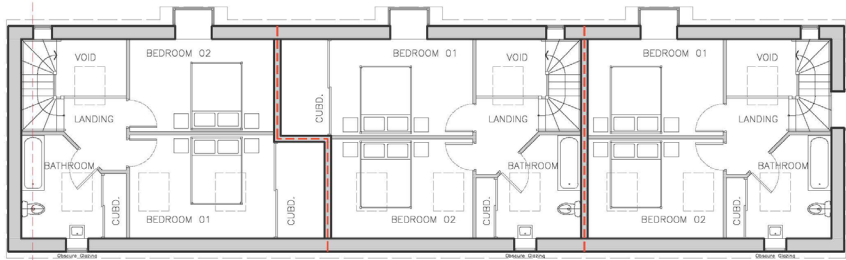
T: 01775 761196

e-mail: design@o-l-td.co.uk

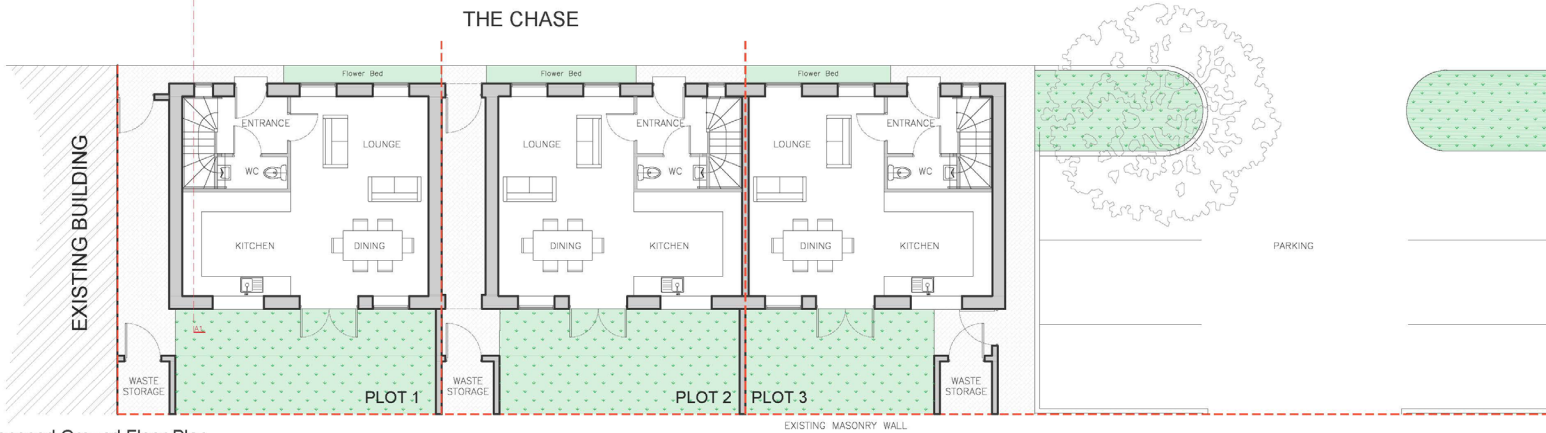




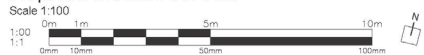
Proposed Roof Plan



Proposed First Floor Plan



Proposed Ground Floor Plan



Project:
The Chase, Moulton
Residential Development

Drawing:
Proposed Plans

Issue:
PLANNING

Scale:
As shown at A2

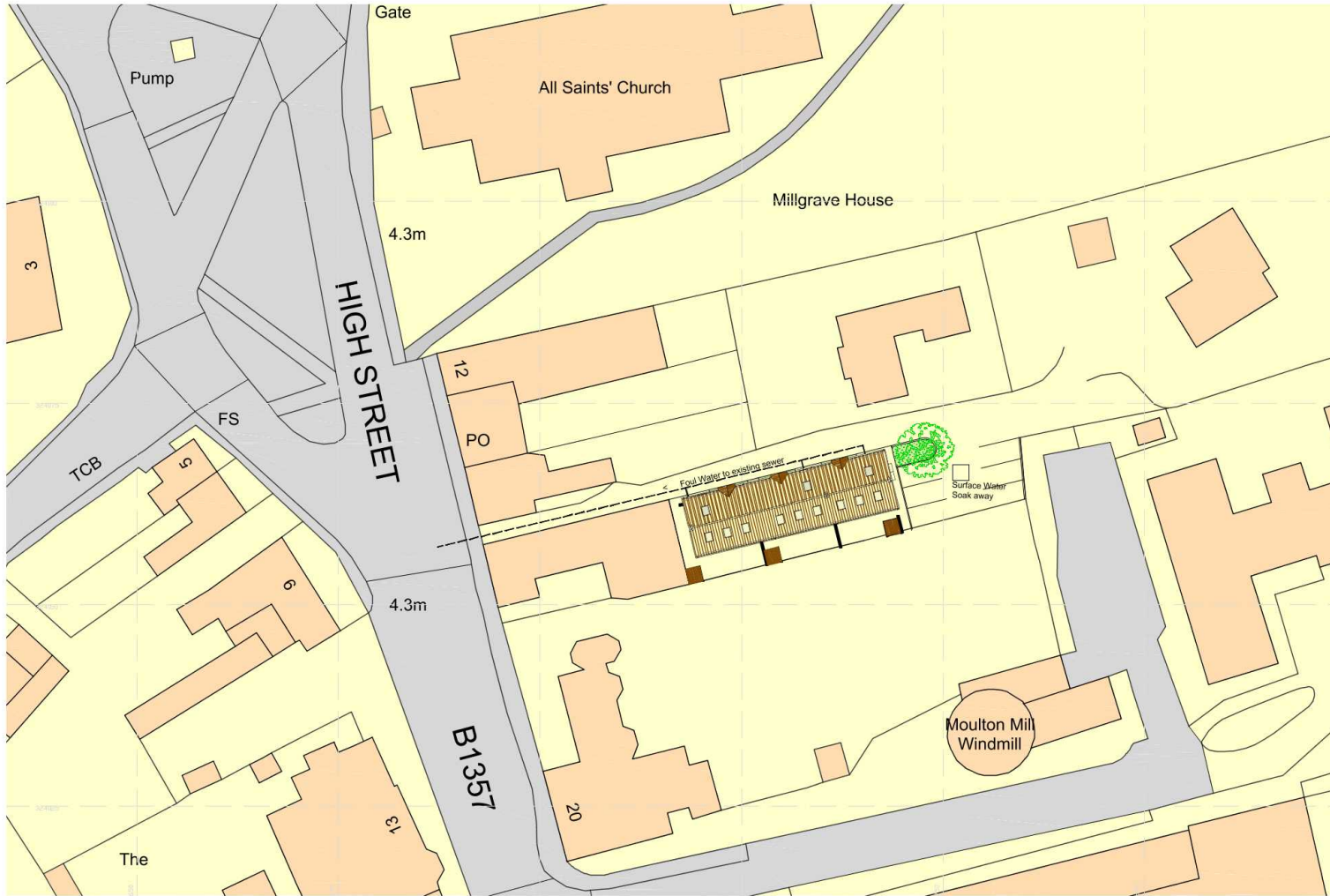
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11/2020

Checked:
JK

Drawing Number:
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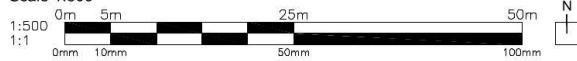
Revision:
A

Kirk Homes Ltd.



Proposed Site Block Plan

Scale 1:500



Project:
The Chase, Moulton
 Residential Development

Drawing:
Site Block Plan

Issue:
PLANNING

Scale:
As shown at A3

Date:
11/2020

Checked:
JK

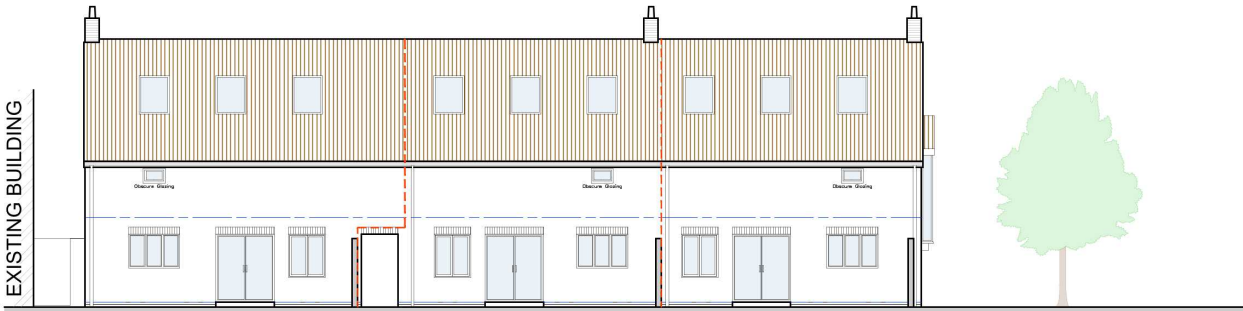
Drawing Number:
CM-010

Revision:
B

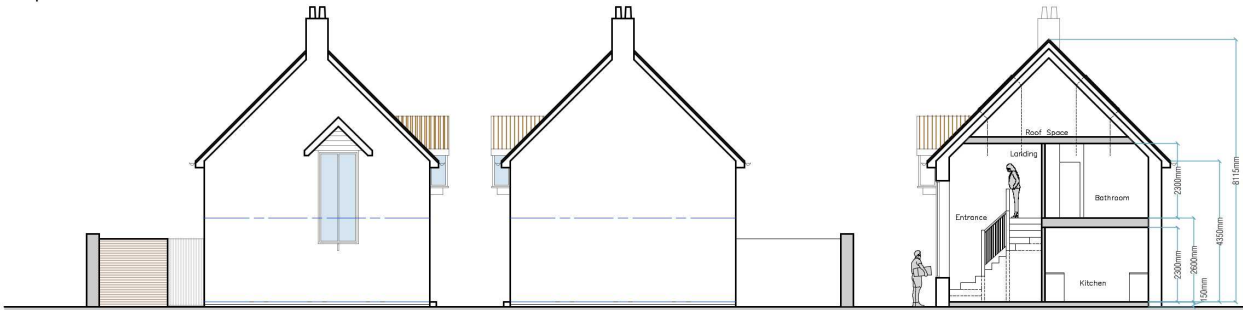
Kirk Homes Ltd.



Proposed Front Elevation (North)

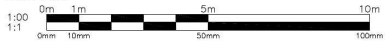


Proposed Rear Elevation



Proposed Side Elevations

Scale 1:100



Proposed Section A0 - A1

Project:
The Chase, Moulton
Residential Development

Drawing:
Proposed Elevations

Issue:
PLANNING

Scale:
As shown at A2

Date:
12/2020

Checked:
JK

Drawing Number:
CM-012

Revision:
B







The Swan









MARSHALL
SECURITY LTD
0406-890578















HASNAL
SECURITY CO
0404-890578





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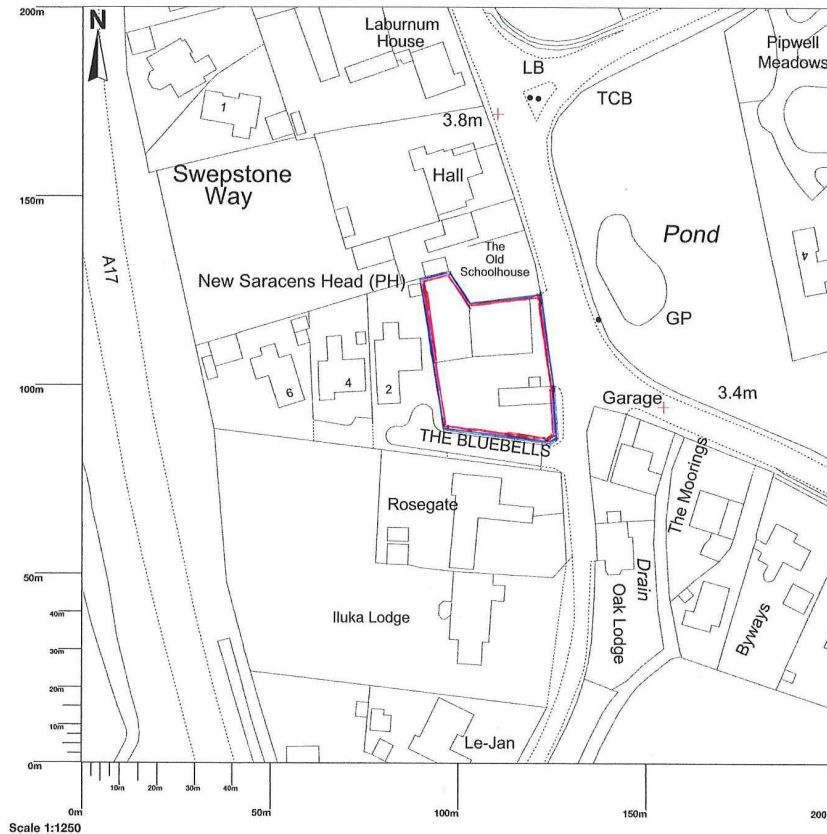
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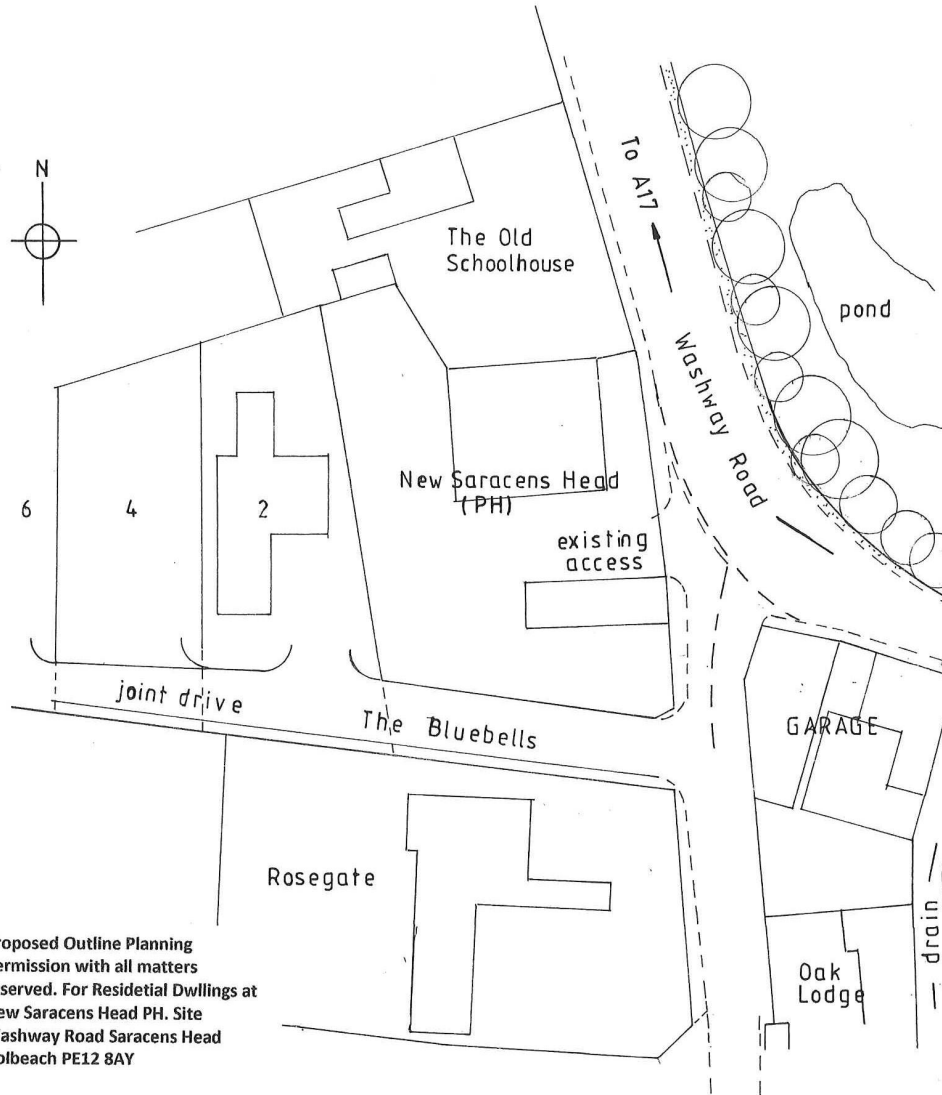
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IN SCALE

MapThat Scale Print Title



New Saracens Head, Washway Road, Holbeach, Spalding, PE12 8AY





Proposed Outline Planning
 Permission with all matters
 reserved. For Residential Dwellings at
 New Saracens Head PH. Site
 Washway Road Saracens Head
 Holbeach PE12 8AY

Applicant: Mrs R. Whitelam
 (Daughter) on behalf of
 Owners Mr & Mrs S. Goodison
 Scale as shown. Date. June 2021

BLOCK PLAN 1:500















