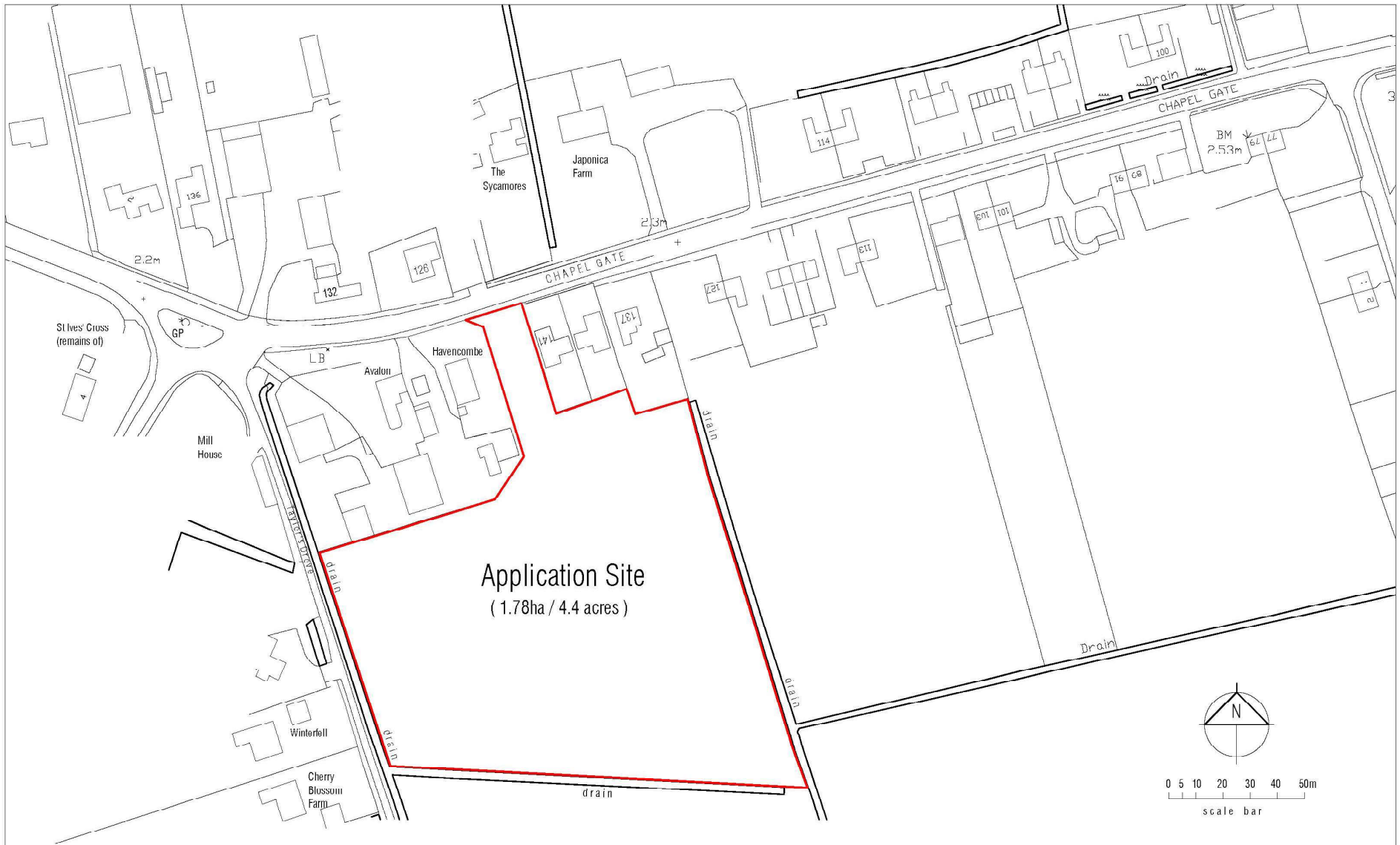


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MAP SCALE 1:1250
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tel 01780 782306 mob 07494 101655 e-mail alan@moultonland.co.uk

Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Location Plan

date aug 2021
scale(s) 1:1250 @A3
DRG. No. SCE/SSJ/location



Accommodation schedule total 30 dwellings

2 bed houses	Hawthorn - Plots 27-30
3 bed houses	Ash - Plots 15, 22 Laurel - Plots 13, 14, 16, 17, 23, 24, 25, 26 Willow - Plots 1, 2, 3, 4
4 bed houses	Birch - Plots 19, 21 Maple - Plots 18, 20
5 bed houses	Aspen - Plots 7, 10 Oak - Plots 8, 9
3 bed bungalows	Holly - Plots 5, 6 Magnolia - Plots 11, 12

LANDSCAPING

Native Hedgerow Planting
Native species Hedgerow comprising 70% hawthorn : 30% mixed species of blackthorn, hazel, field maple, holly
30-50cm in double staggered rows 5 plants per metre run to frontage - plants set in suitably prepared pits with mulch incl. clean bark chippings (10-60mm)

Tree Planting
Tree Planting to be 1.8m - 2m high suitably staked and tied.
Plant into suitably prepared pits with mulch cover using clean bark chippings (10-60mm)
Tree species to be varied from selective list -
acer campestre (field maple),
crataegus monogyna (hawthorn),
prunus avium (wild cherry),
betula pendula (silver birch),
sorbus aucuparia (rowan),
hagenia sylvatica (common hawthorn),
sorbus aria 'futescens' (whitebeam).

BOUNDARY TREATMENT
Rear Gardens to be enclosed with 1.8m high timber closeboard fencing with lockable access gates from front gardens.
Demarcation of front gardens between properties to be 900mm high timber post and rail.
Rear Boundary to Plots 8-16, 19-22 to be 1200mm high closeboard timber + 600mm beech top.

LEGEND
This drawing is issued in the context of information contained and does not purport to constitute a full specification of the works to be carried out on the site.
The drawing shall not be used in any contract document unless it is accompanied by the relevant schedule of works and the drawing for construction of existing buildings.
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SHDC Planning Ref H20-0947-21

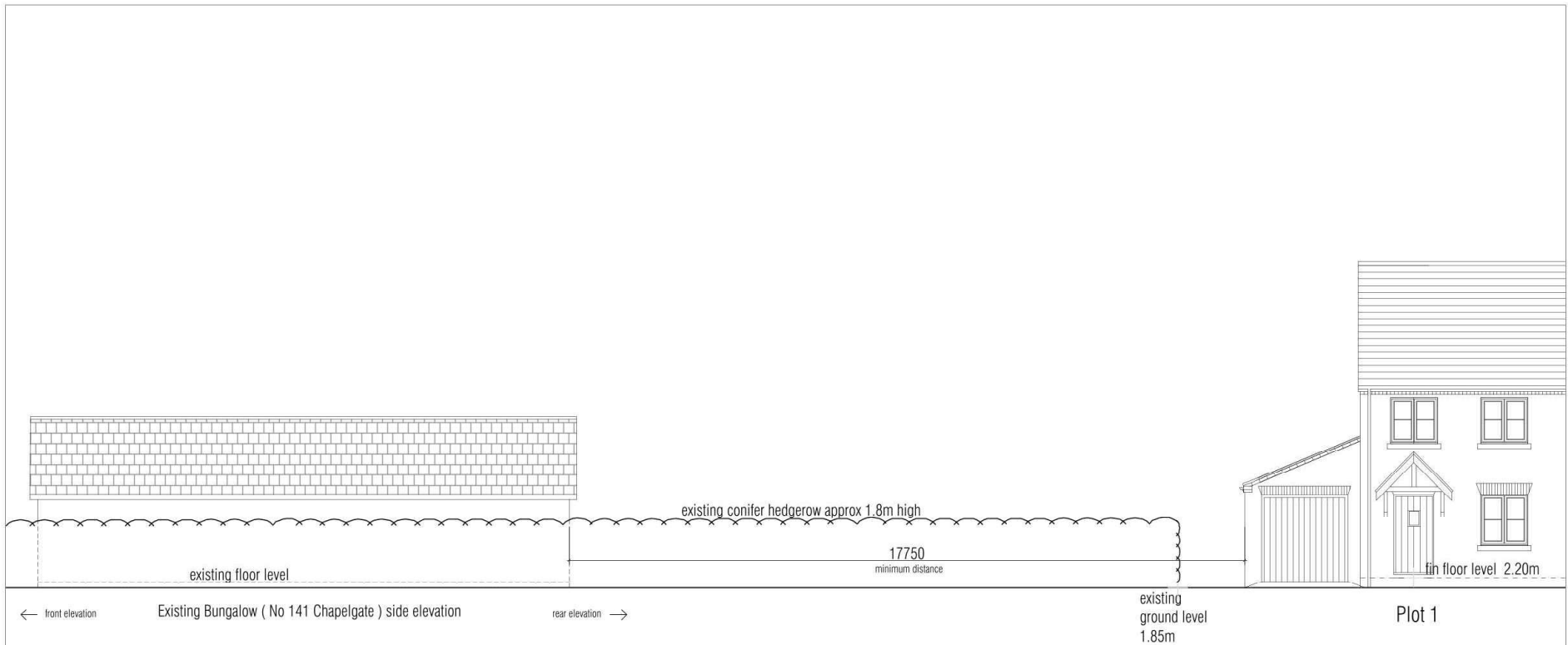
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1 Chapel Court, Wansford, Peterborough PE8 6JF
moultonlandandplanning.co.uk
tel 01780 782506 fax 01780 101655 e-mail alan@moultonland.co.uk

revision	date	int.	revision details
A	11-21	af	separation distances from existing dwellings added as requested by LPA.



Project
Residential Development
Chapelgate Sutton St James
Drawing
Proposed Site Layout

date Aug 2021
scale(s) 1:500 @ A1
DRG. No.
SCE / ssj / Site Layout revA



SECTION TO SHOW RELATIONSHIP BETWEEN No. 141 CHAPELGATE AND PLOT 1

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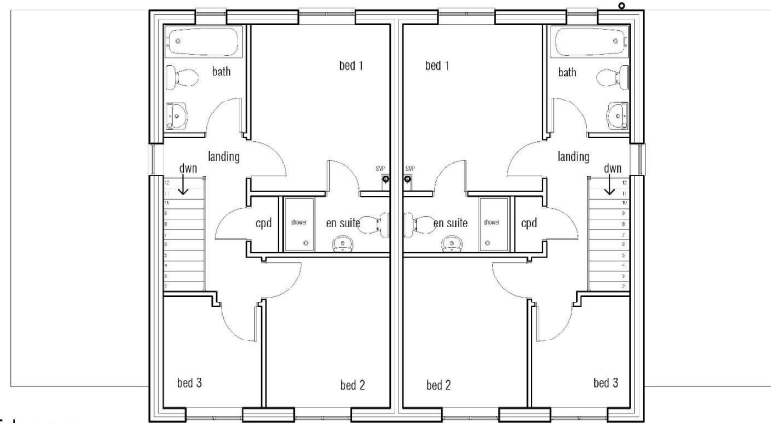
Project
 Proposed Residential Development
 Land to south of Chapelgate
 Sutton St James, Lincs, PE12 0EF

Drawing
 Section View
 No.141 Chapelgate
 & Plot 1

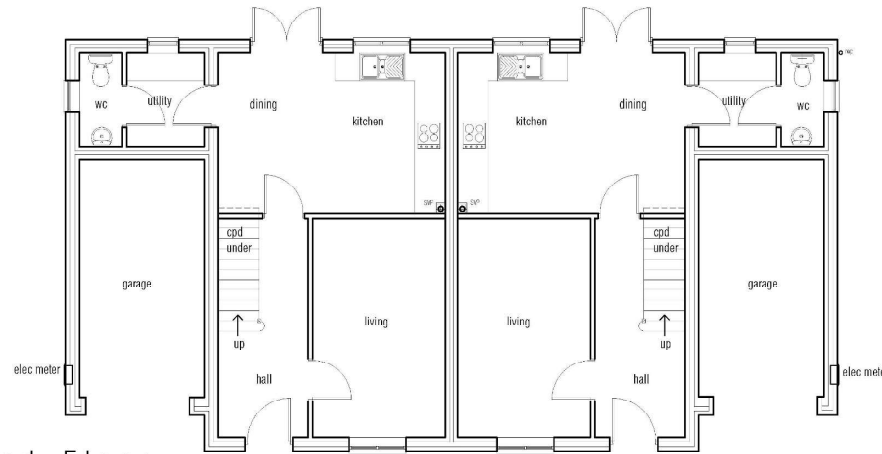
date November 2021

scale(s) 1:100 @A3

DRG. No. SCE/SSJ/PL Section



First Floor



Ground Floor



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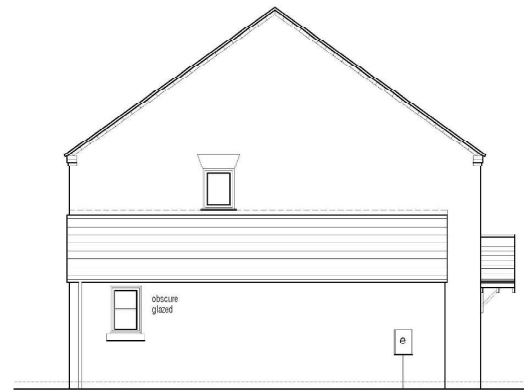
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 1-4
Willow design (3 bed semi)
FLOOR LAYOUT

date Aug 2021
scale(s) 1:100 @A3
DRG. No. SCE/SSJ/Willow fl



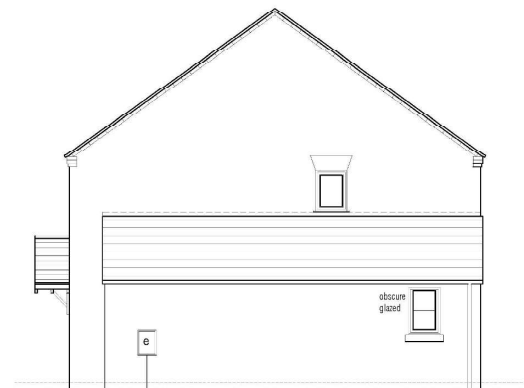
front elevation



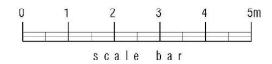
side elevation



rear elevation



side elevation



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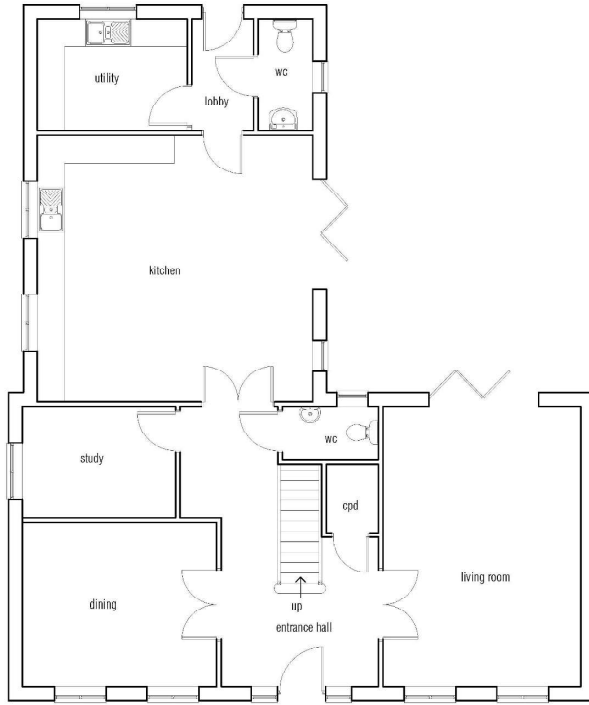
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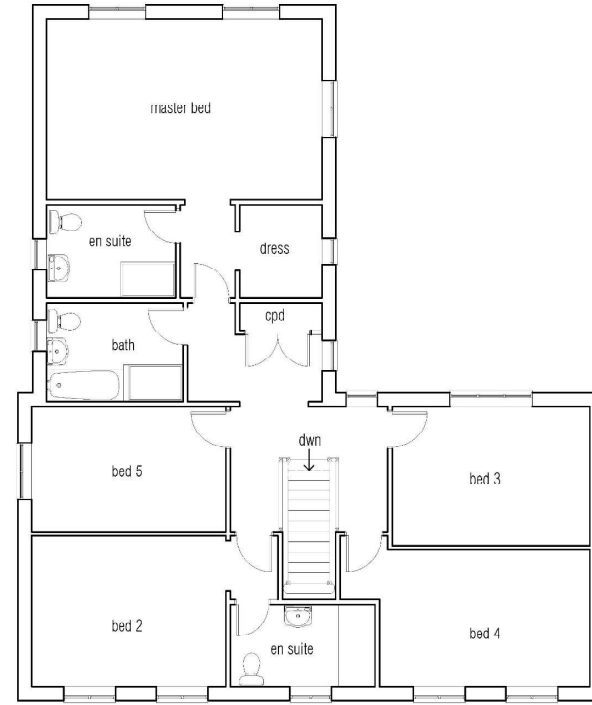
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 1-4
Willow Design (3bed semi)
ELEVATIONS

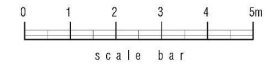
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scale(s) 1:100 @A3
DRG. No. SCE/SSJ/Willow elev



ground floor

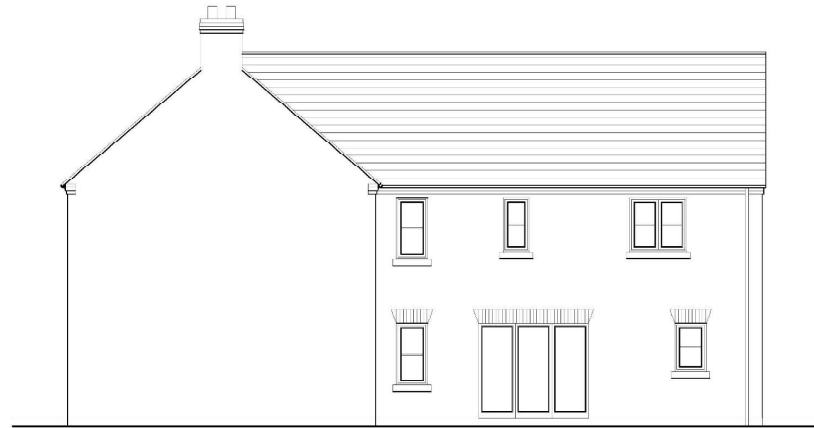


first floor





front elevation



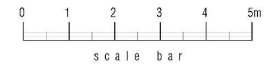
side elevation



rear elevation



side elevation



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tel: 01780 782306 mob: 07484 101655 e-mail: alan@moultonland.co.uk



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Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 8 & 9
Oak Design (5 bed)
ELEVATIONS

date August 2021
scale(s) 1:100 @A3
DRG. No. SCE/SSJ/Oak elev



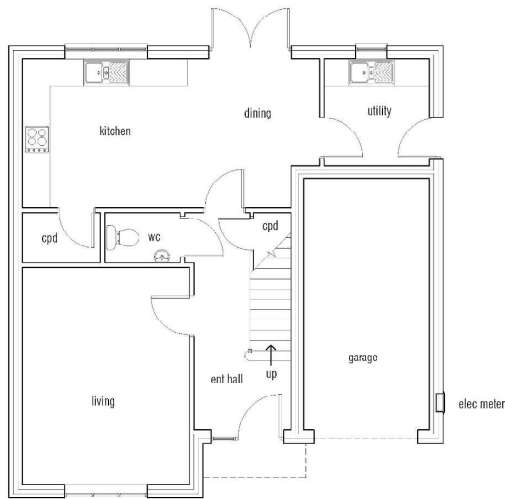
front elevation



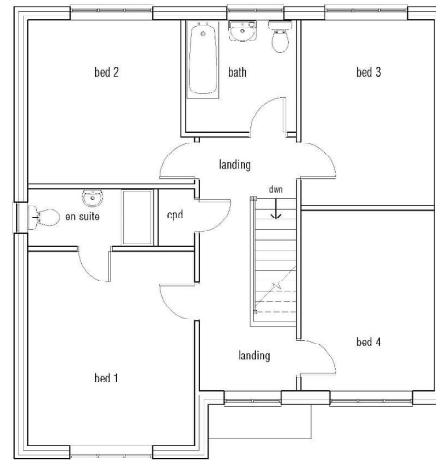
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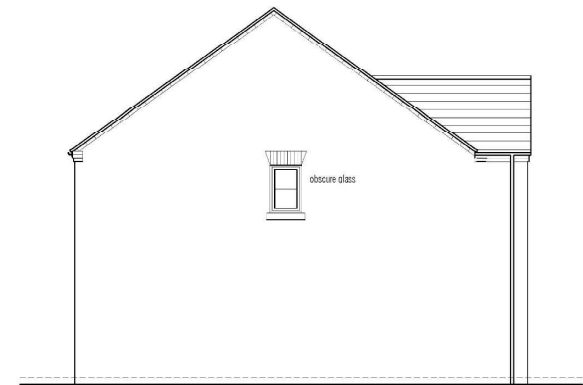
rear elevation



Ground Floor Layout

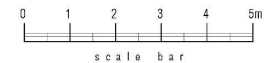


First Floor Layout



side elevation

note :- Plot 20 as shown - Plot 18 floor layout handed.



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tel: 01780 782306 mob: 07484 101655 e-mail: alan@moultonland.co.uk



Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 18* & 20
Maple design (4 bed)
(plot 18 handed)

date August 2021
scale(s) 1:100 @A3
DRG. No. SCE/SSJ/Maple



front elevation



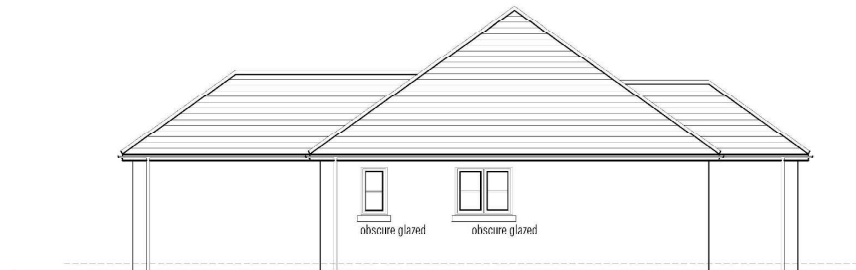
side elevation



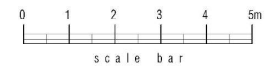
floor layout



rear elevation



side elevation



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Project
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Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 11 & 12
Magnolia design
(3bed bungalow)

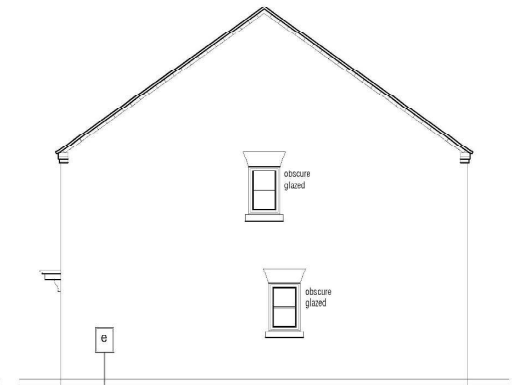
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DRG. No. SCE/SSJ/Magnolia



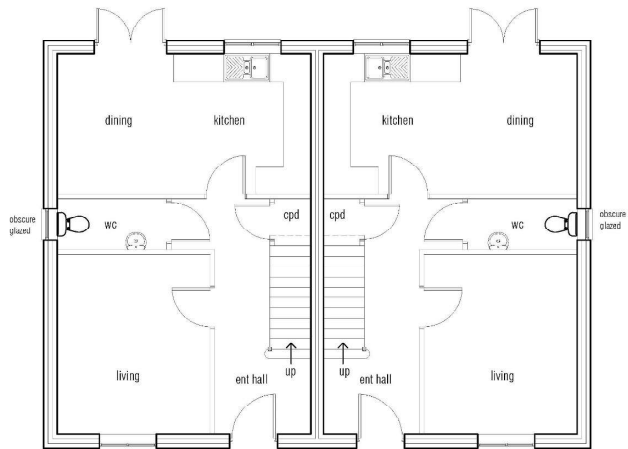
front elevation



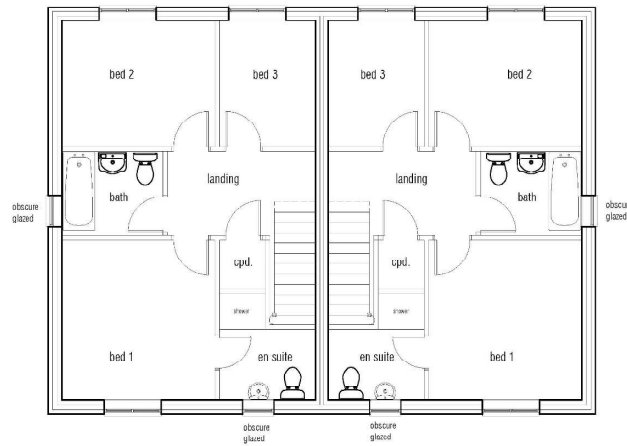
rear elevation



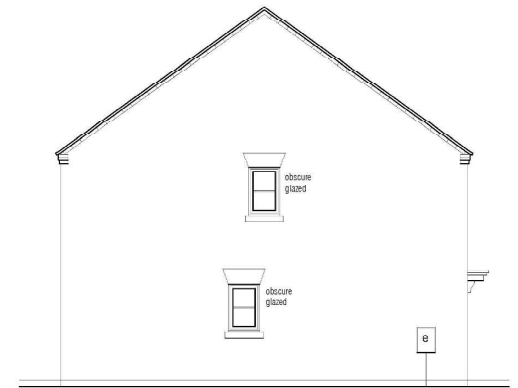
side elevation



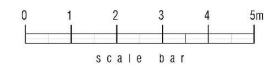
ground floor



first floor



side elevation



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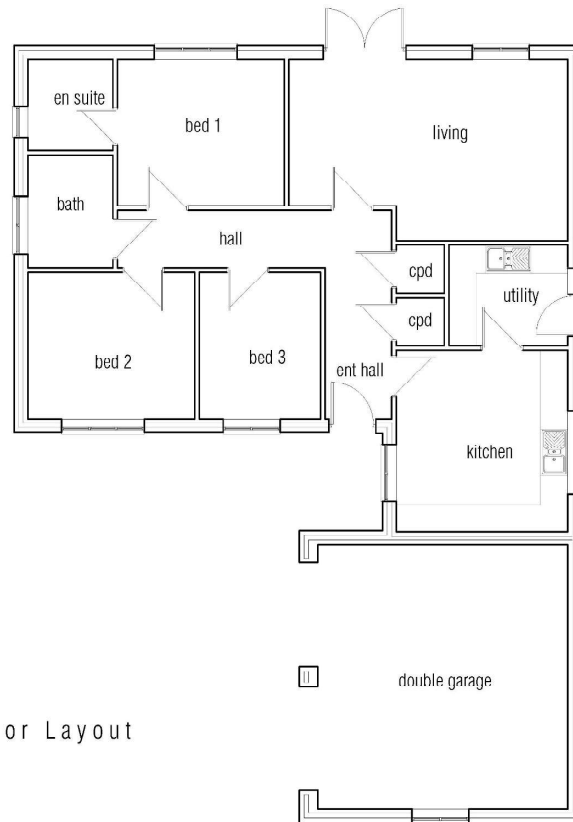
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 13,14,16,17,23,24,25,26
Laurel Design (3bed semi)

date August 2021

scale(s) 1:100 @A3

DRG. No. SCE/SSJ/Laurel



Floor Layout



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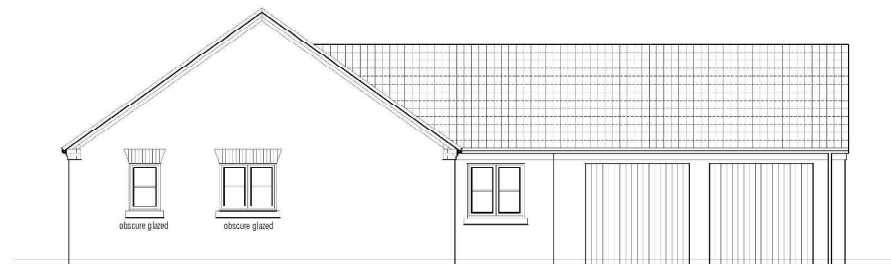
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 5 & 6
Holly design (3 bed bungalow)
FLOOR LAYOUT

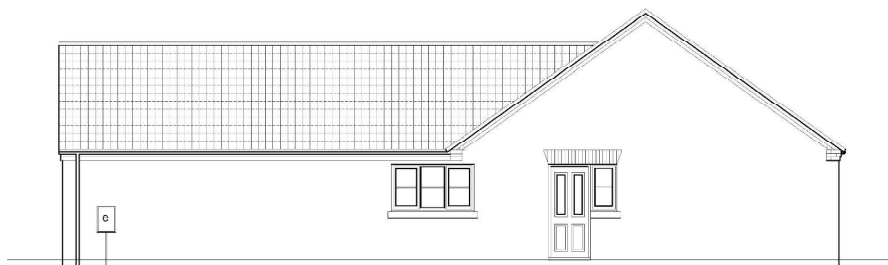
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DRG. No. SCE/SSJ/Holly fl



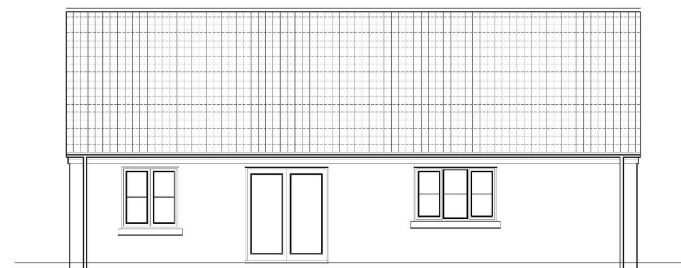
front elevation



side elevation



side elevation



rear elevation



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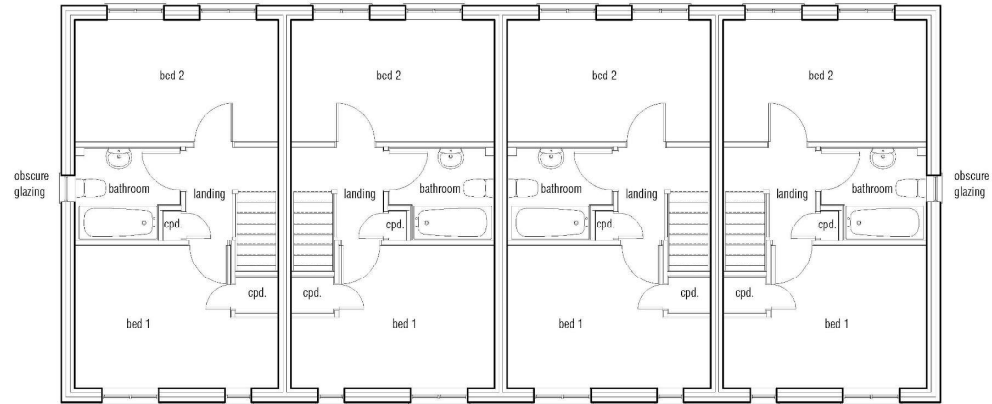
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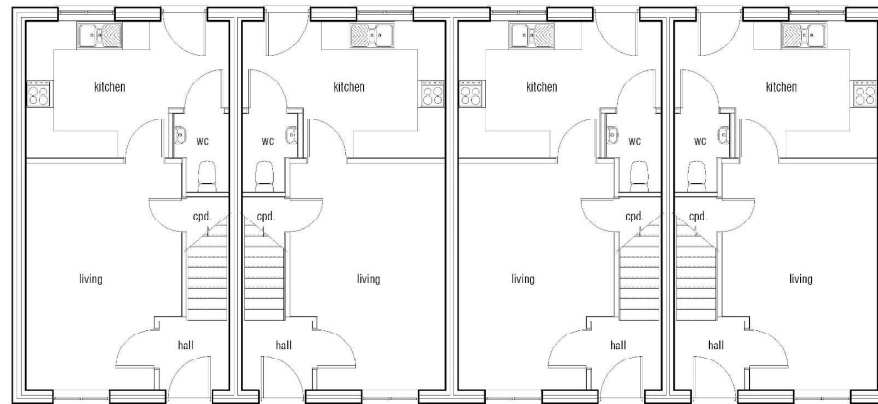
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 5 & 6
Holly design (3bed bungalow)
ELEVATIONS

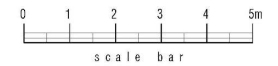
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DRG. No. SCE/SSJ/Holly elev



first floor



ground floor



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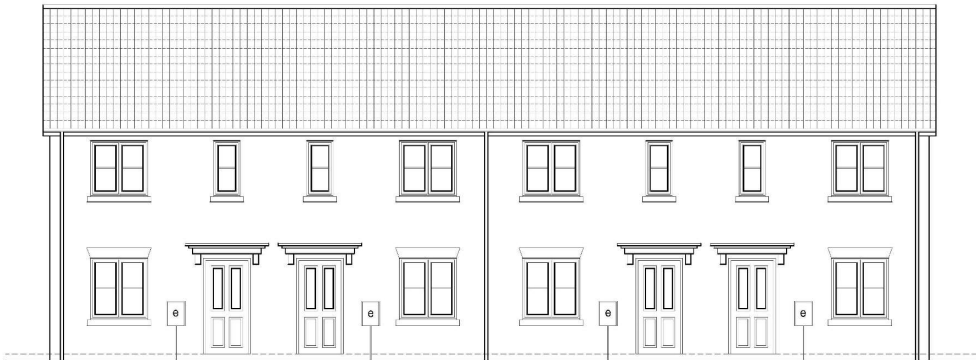
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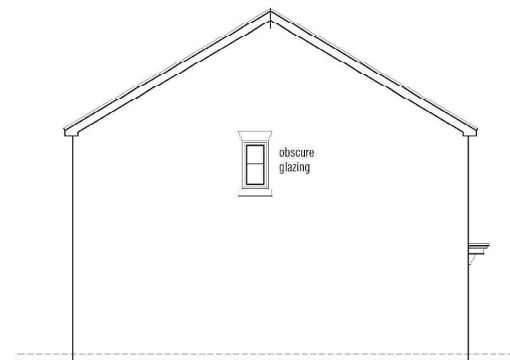
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 27-30
Hawthorn Design (2 bed)
FLOOR LAYOUTS

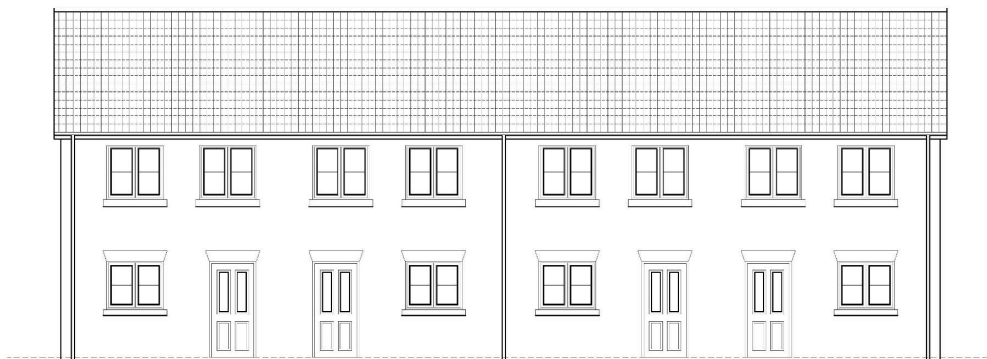
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DRG. No. SCE/SSJ/ Hawthorn fl



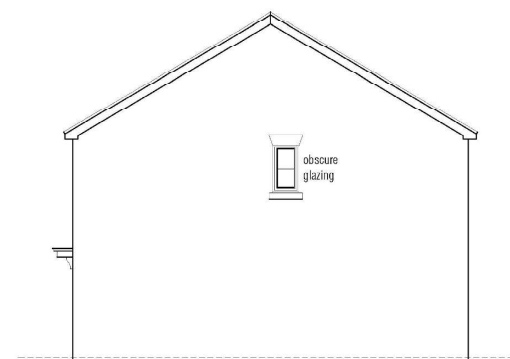
front elevation



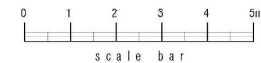
side elevation



rear elevation



side elevation



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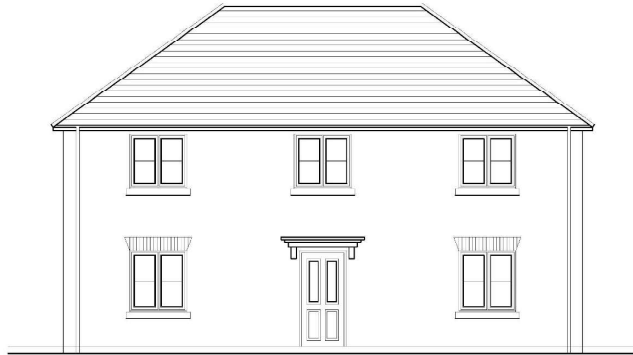
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Project
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Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 27-30
Hawthorn Design (2 bed)
ELEVATIONS

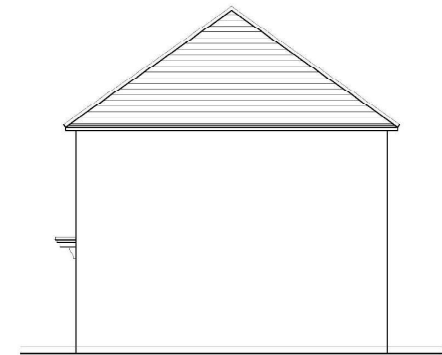
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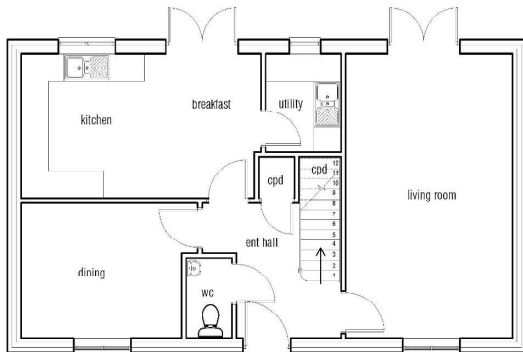
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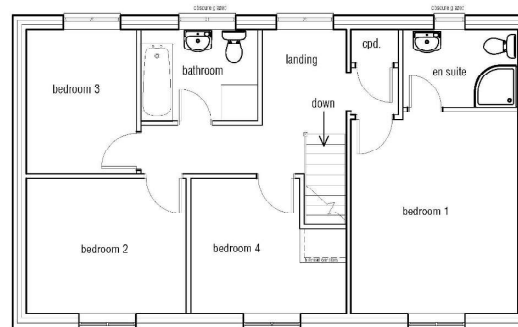
rear elevation



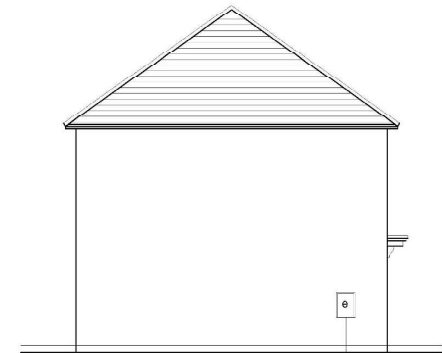
side elevation



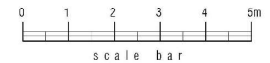
ground floor



first floor



side elevation



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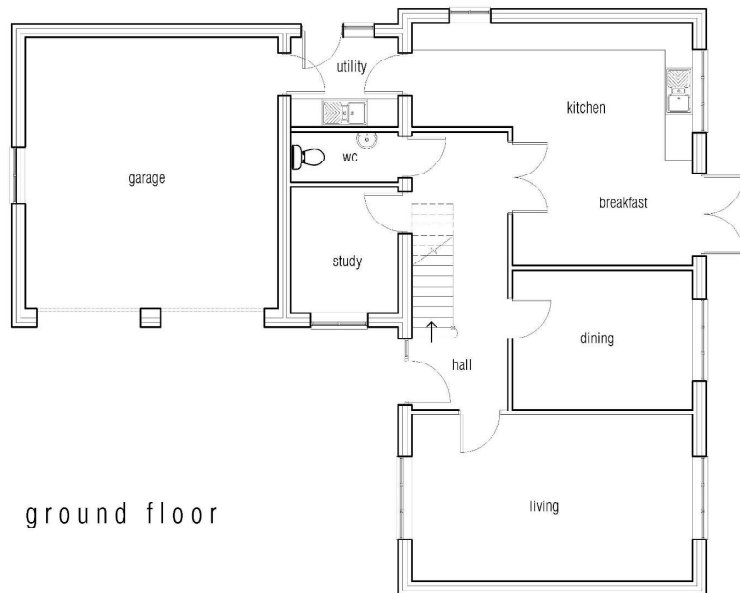
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 19 & 21
Birch Design (4 bed)

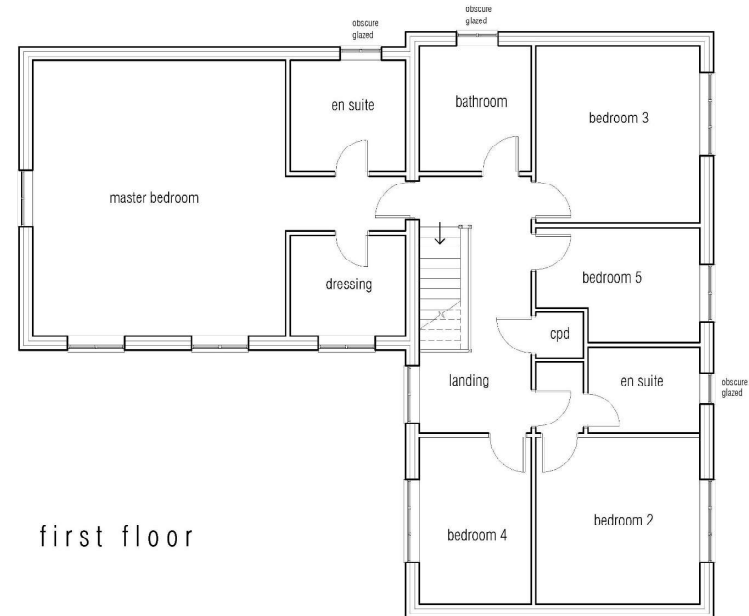
date August 2021

scale(s) 1:100 @A3

DRG. No. SCE/SSJ/Birch



ground floor



first floor

note :- Plot 7 as shown - Plot 10 floor layout handed.



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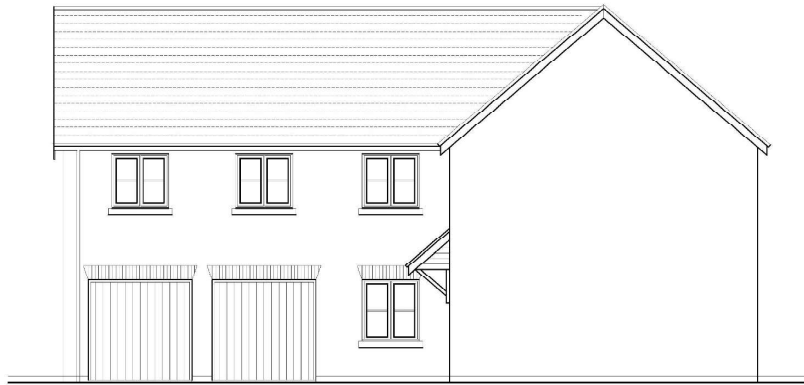
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 7 & 10*
Aspen Design
(plot 10 handed plan)
FLOOR LAYOUTS

date August 2021
scale(s) 1:100 @A3
DRG. No. SCE/SSJ/Aspen fl



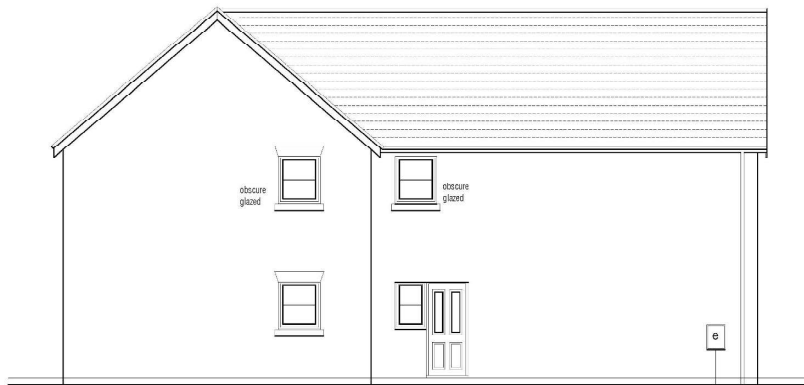
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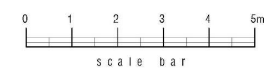
side elevation



rear elevation



side elevation



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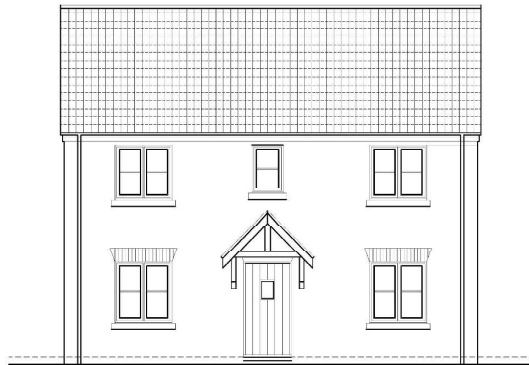
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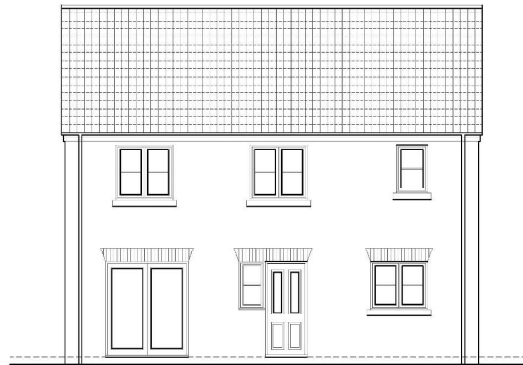
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 7 & 10*
Aspen design (5 bed)
(plot 10 handed plan)
ELEVATIONS

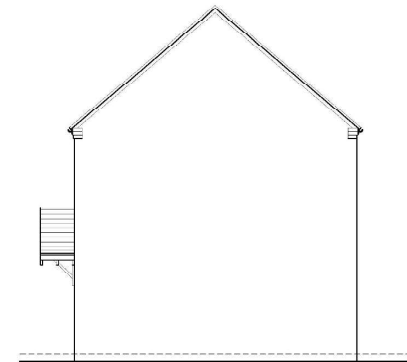
date August 2021
scale(s) 1:100 @A3
DRG. No. SCE/SSJ/Aspen elev



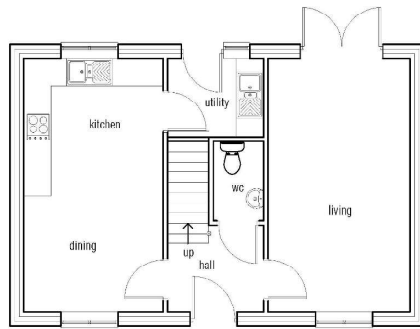
front elevation



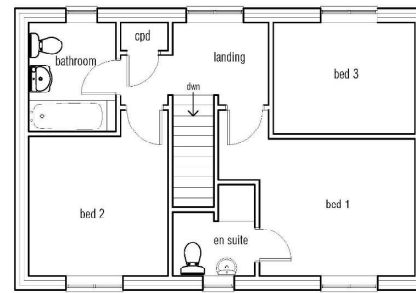
rear elevation



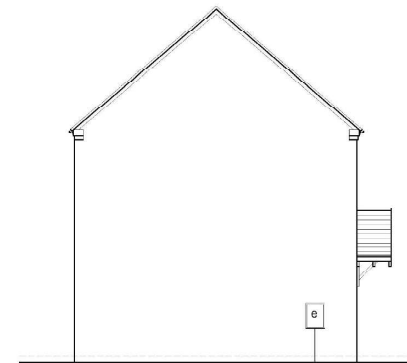
side elevation



Ground Floor Layout



First Floor Layout



side elevation



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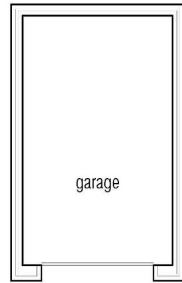
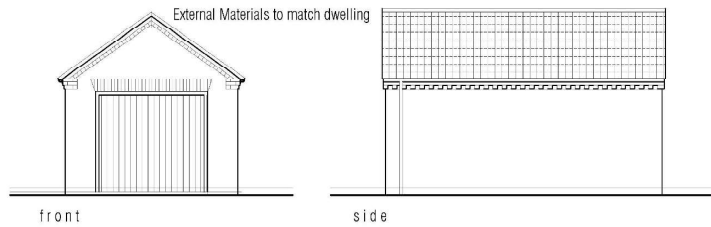
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tel 01780 782306 mob 07484 101655 e-mail alan@moultonland.co.uk



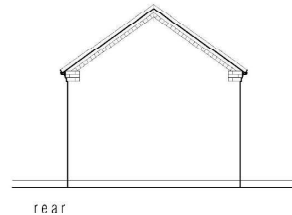
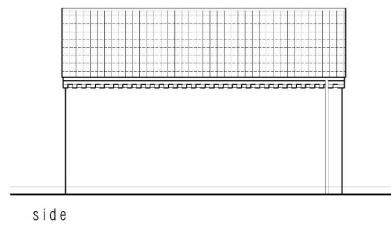
Project
Proposed Residential Development
Land to south of Chapelgate
Sutton St James, Lincs, PE12 0EF

Drawing
Plots 15 & 22
Ash Design

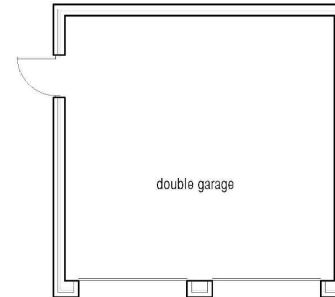
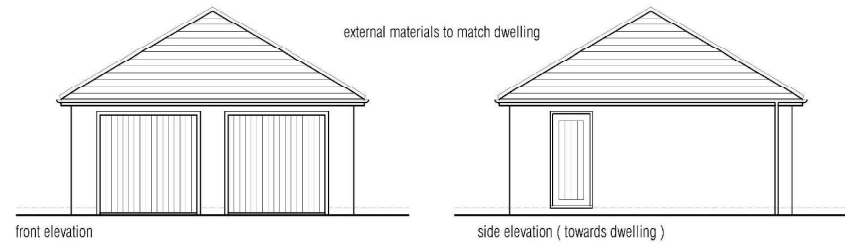
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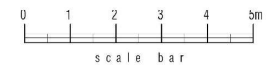
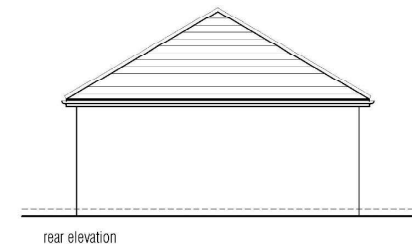
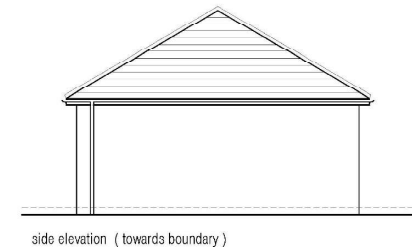
floor layout



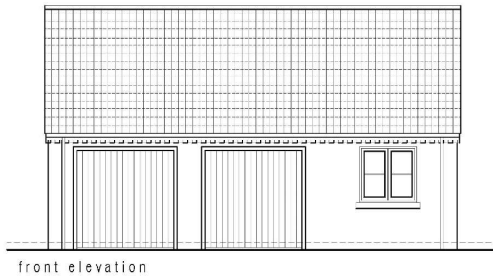
Single Garage - Plots 15 & 22



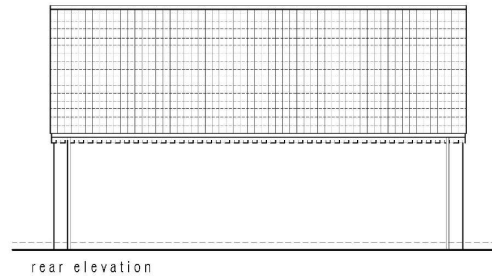
Floor Layout



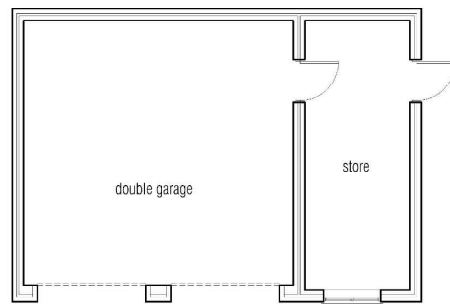
Double Garage - Plots 11, 12, 19, 21



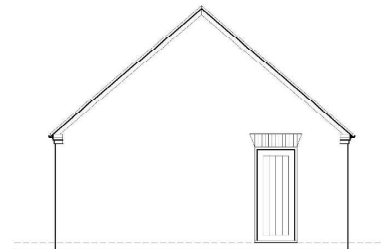
front elevation



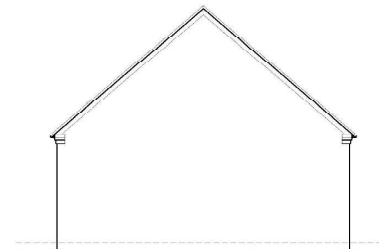
rear elevation



Floor Layout



side elevation (towards dwelling)



side elevation (towards boundary)





























MapThat Scale Print Title



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MAP SCALE 1:1250
CREATED DATE: 25/01/2022
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IN SCALE



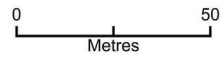
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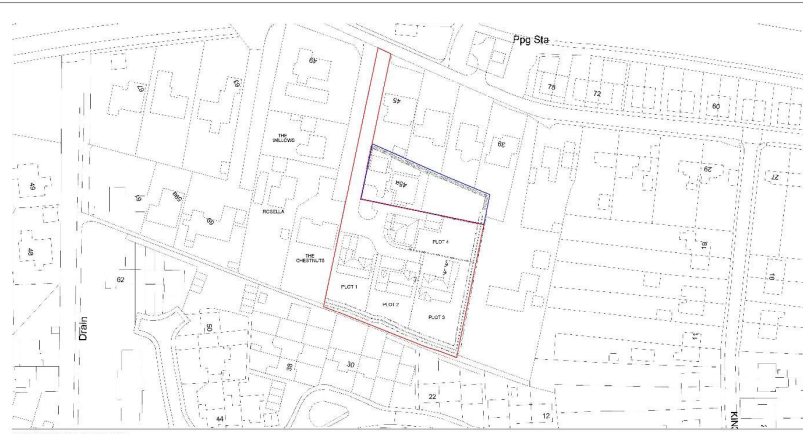
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CREATED DATE: 25/01/2022
PHOTOGRAPHIC COPY
Liable to Distortion
IN SCALE

47 LOW LANE



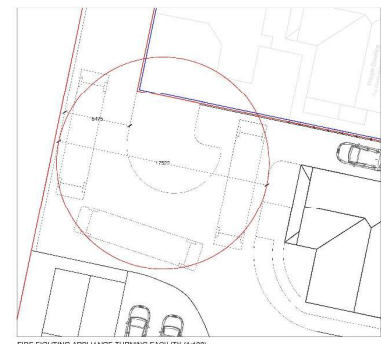
Plan Produced for: DEVELOPMENT
Date Produced: 04 May 2020
Plan Reference Number: TQRQM20125083645952
Scale: 1:1250 @ A4



PROPOSED BLOCK PLAN (1:500)

NOTES:

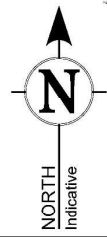
- FINISHED GROUND FLOOR LEVEL OF ALL PLOTS TO BE SET AT 3.0m AOD NEWLY
- SURFACE WATER RUNOFF FROM THE ROOFS OF THE PROPOSED DWELLINGS AND SET BACK GARAGE SHOULD BE DISCHARGED INTO SKANAWAY CRATES 100L CAPACITY WATER BUTTS PROVIDED TO THE REAR OF ALL PLOTS TO INTERCEPT AND STORE RAINWATER. THE INFILTRATION SYSTEM TOGETHER WITH ASSOCIATED DRAINAGE SHOULD BE DESIGNED TO BRE DIGEST 95% AND MEET THE REQUIREMENTS OF PART H OF BUILDING REGULATIONS
- FLOOD RESILIENT & RESISTANT CONSTRUCTION UP TO 300mm ABOVE FINISHED GROUND FLOOR LEVEL
- EXISTING ACCESS DRIVE TO BE UPGRADED FROM EXISTING LOOSE LIMESTONE FORMATION TO A PERMEABLE BLOCK PAVING SPECIFICATION. PRIVATE DRIVEWAYS TO BE EITHER GRASS OR PERMEABLE BLOCK PAVING TO ENSURE SLODS ARE INCORPORATED TO ALL VEHICLE SURFACES
- ALL PLOTS TO HAVE PRIVATE PARKING PROVISIONS WITH A MINIMUM OF THREE SPACES PER DWELLING
- ALL REFUSE TO BE STORED AT EACH PROPERTY UNTIL COLLECTION DAY WHEN IT WILL BE TAKEN TO THE DESIGNATED COLLECTION POINT AT THE HEAD OF THE ACCESS DRIVE OFF LOW LANE
- ALL FOUL WATER VIA EXISTING 150MM DIAMETER FOUL WATER SEWER DISCHARGING INTO PUBLIC FW SEWER IN LOW LANE
- 2 No MN ELECTRIC VEHICLE CHARGING POINTS TO BE PROVIDED TO EACH DWELLING
- SOUTH FACING GABLE ROOFS TO INCORPORATE SOLAR PV PANELS
- EXTERNAL FACING BRICKWORK TO CONSIST RED MULTISTOCK BLEND. ROOF TILES TO BE DOUBLE PANTILES COLOUR TBC. WINDOWS AND DOORS TO BE PVCU AND ALUMINIUM (COLOUR TBC)
- BOUNDARY TREATMENT TO CONSIST OF TIMBER FENCING, BRICKWORK, WALLS, METAL RAILINGS AND HEDGES/SEPARATION
- BOUNDARY TREATMENT TO INCORPORATE DISCREET GROUND LEVEL APERTURES TO ALLOW UNRESTRICTED MOVEMENT OF FORAGING WILDLIFE
- INTEGRATED HABITAT BAT BOXES, SWIFT BRICKS AND SPARROW TERRACES TO BE INCORPORATED INTO ALL SUITABLE ELEVATIONS
- NATIVE WILDFLOWER PLANTING TO BE INCORPORATED INTO THE LANDSCAPING SCHEME TO IMPROVE BIO-DIVERSITY
- LOG PILES TO BE INCORPORATED WITHIN THE EXISTING RETAINED HEDGE
- ACCESS TO BUILDING FOR FIRE FIGHTING APPLIANCES AND FIRE FIGHTERS TO SATISFY BUILDING REGULATIONS 2010 PART B5
- MINIMUM WIDTH OF 3.7m BETWEEN KERBS FOR VEHICLE ACCESS ROADS
- MINIMUM TURNING CIRCLE BETWEEN KERBS FOR PUMPS TO BE 16.8m. ACTUAL TURNING CIRCLE BETWEEN KERBS 17.00m
- MINIMUM TURNING CIRCLE BETWEEN WALLS FOR PUMPS TO BE 19.2m
- TURNING FACILITY TO BE PROVIDED WHERE DEAD END ACCESS ROUTE EXCEEDS 20m
- ACCESS ROAD SURFACE TO BE CONSTRUCTED WITH MINIMUM CARRYING CAPACITY OF 18 TONNES FOR PUMPING APPLIANCES
- EXISTING ACCESS WITHIN THE EXTENTS OF THE PUBLIC HIGHWAY TO BE UPGRADED TO A ROUND MATERIAL CONSTRUCTED IN ACCORDANCE WITH LINCOLNSHIRE COUNTY COUNCIL SPECIFICATION



FIRE FIGHTING APPLIANCE TURNING FACILITY (1:100)



PROPOSED SITE PLAN (1:200)



DATE: 15/01/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PROJECT: [Name]
 LOCATION: [Name]
 CLIENT: [Name]

SCALE: 1:500
 DATE: 15/01/2024

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	15/01/2024

DESIGNER: [Name]
 ARCHITECT: [Name]

PROJECT NO: [Number]
 DRAWING NO: [Number]

DATE: 15/01/2024

SCALE: 1:200

DATE: 15/01/2024

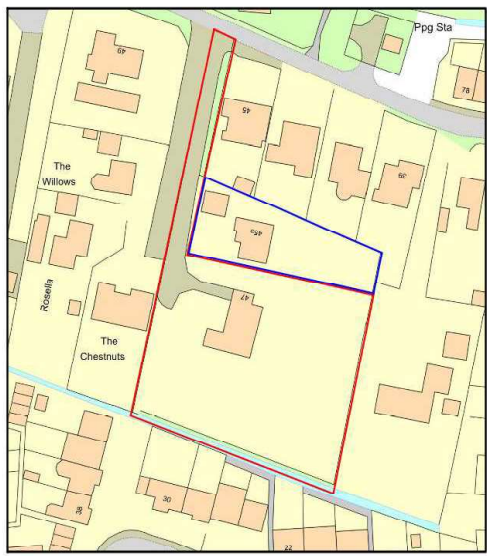
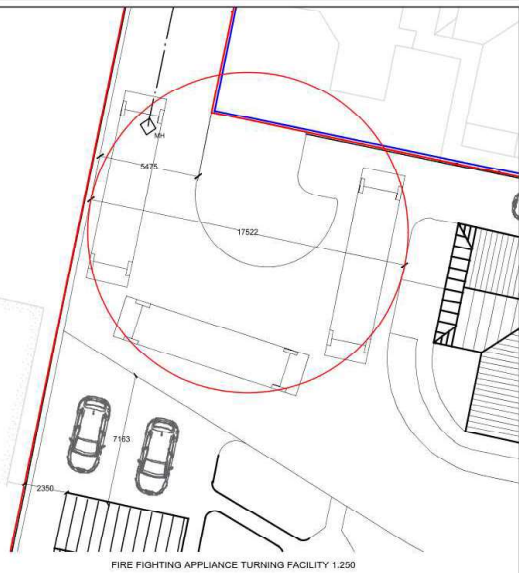
SCALE: 1:200



SITE PLAN
1:500

- NOTES:
- FINISHED GROUND FLOOR LEVEL OF ALL PLOTS TO BE SET AT 3.5m AOD NEWLYN
 - SURFACE WATER RUN-OFF FROM THE ROOFS OF THE PROPOSED DWELLINGS AND DETACHED GARAGE SHOULD BE DISCHARGED INTO SOAKAWAY CRATES. 120L CAPACITY WATER BUTTS PROVIDED TO THE REAR OF ALL PLOTS TO INTERCEPT AND STORE RAINWATER. THE INFILTRATION SYSTEM TOGETHER WITH ASSOCIATED DRAINAGE SHOULD BE DESIGNED TO BE DIGEST 965 AND MEET THE REQUIREMENTS OF PART H OF BUILDING REGULATIONS
 - FLOOD RESILIENT & RESISTANT CONSTRUCTION UP TO 300mm ABOVE FINISHED GROUND FLOOR LEVEL
 - ALL REFUSE TO BE STORED AT EACH PROPERTY UNTIL COLLECTION DAY WHEN IT WILL BE TAKEN TO THE DESIGNATED COLLECTION POINT IN LOW LANE
 - ALL FOUL WATER VIA EXISTING 150MM DIAMETER FOUL WATER SEWER DISCHARGING INTO PUBLIC FW SEWER IN LOW LANE
 - 2 No MIN ELECTRIC VEHICLE CHARGING POINTS TO BE PROVIDED TO EACH DWELLING
 - EXTERNAL FACING BRICKWORK TO CONSIST RED MULTISTOCK BLEND. ROOF TILES TO BE DOUBLE PANTILES COLOUR TBC. WINDOWS AND DOORS TO BE PVCU AND ALUMINUM (COLOUR TBC)
 - BOUNDARY TREATMENT TO CONSISTS OF TIMBER FENCING, BRICKWORK WALLS, METAL RAILINGS AND HEDGED SEPARATION
 - BOUNDARY TREATMENT TO INCORPORATE DIRECT GROUND LEVEL APERTURES TO ALLOW UNRESTRICTED MOVEMENT OF FORAGING WILDLIFE

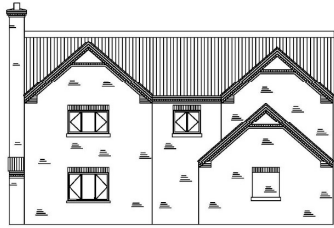
- NOTES:
- ACCESS TO BUILDING FOR FIRE FIGHTING APPLIANCES AND FIRE FIGHTERS TO SATISFY BUILDING REGULATIONS 2010 PART B5
 - MINIMUM WIDTH OF 3.7m BETWEEN KERBS FOR VEHICLE ACCESS ROADS
 - MINIMUM TURNING CIRCLE BETWEEN KERBS FOR PUMPS TO BE 16.8m. ACTUAL TURNING CIRCLE BETWEEN KERBS 17.52m
 - MINIMUM TURNING CIRCLE BETWEEN WALLS FOR PUMPS TO BE 19.2m
 - TURNING FACILITY TO BE PROVIDED WHERE DEAD-END ACCESS ROUTE EXCEEDS 20m
 - ACCESS ROAD SURFACE TO BE CONSTRUCTED WITH MINIMUM CARRYING CAPACITY OF 18 TONNES FOR PUMPING APPLIANCES
 - EXISTING ACCESS WITHIN THE EXTENTS OF THE PUBLIC HIGHWAY TO BE UPGRADED TO A BOUND MATERIAL CONSTRUCTED IN ACCORDANCE WITH LINCOLNSHIRE COUNTY COUNCIL SPECIFICATION
 - MINIMUM OF 12 SWIFT BRICKS TO BE INCORPORATED INTO GABLE ELEVATIONS OF SUITABLE PLOTS
 - NATIVE WILDFLOWERS PLANTING TO BE INCORPORATED INTO THE LANDSCAPING SCHEME TO IMPROVE BIO-DIVERSITY



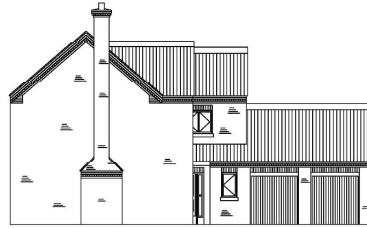
Plan Produced for: 47 LOW LANE
 Date Produced: 04 May 2020
 Plan Reference Number: TQRQM20125083645952
 Scale: 1:1250

- Notes as Applicable
- GENERAL:
1. THE DRAWING IS TO BE READ IN CONJUNCTION WITH THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE INCLUDE CONTRACT DRAWINGS SPECIFICATION & SCHEDULE OF WORKS
 2. ALL BUILDING MATERIALS SPECIFIED SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT BRITISH STANDARDS PART H OF BUILDING REGULATIONS 2010 AND THE CURRENT CODES OF PRACTICE LOCAL AUTHORITY AND RESPECTIVE CONTRACTORS LOCAL AUTHORITY TO USE CONTRACTORS
 3. ALL STRUCTURAL WORKS ARE TO BE CARRIED OUT IN FULL ACCORDANCE WITH STRUCTURAL ENGINEER APPROVED CALCULATIONS AND PARTICULARS TO THE SATISFACTION OF THE LOCAL AUTHORITY AND LOCAL OFFICE
 4. ALL WORKS ON SITE TO BE CARRIED OUT IN FULL ACCORDANCE WITH THE CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS 2015 AND CURRENT HEALTH & SAFETY LEGISLATION
 5. THE CONTRACTOR MUST SITE CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY THE CONTRACT ADMINISTRATION IMMEDIATELY IN WRITING IF ANY DISCREPANCIES ARE IDENTIFIED. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE CONTRACT ADMINISTRATION BEFORE PROCEEDING.

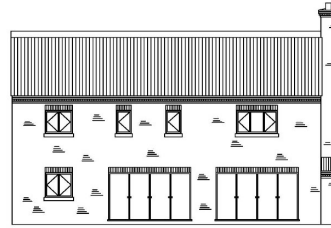
PROJECT	
CONSTRUCTION OF EXISTING BUNGALOW AND ERECTION OF 47-100 TO 100 FOUR BEDS LANDSCAPING OF 47 LOW LANE PUBLIC HIGHWAY BRICKWORKING PROJECT	
ADDRESS	
47 LOW LANE & 95-111 LOW LANE	
DRAWN	
SITE & LOCATION PLAN	
Drawn by: AD	Produced by:
Checked by: 101	Reviewed by: E
Date: 04 February 2020	Drawn on: DR
Scale: As shown	Checked by: Approved DR



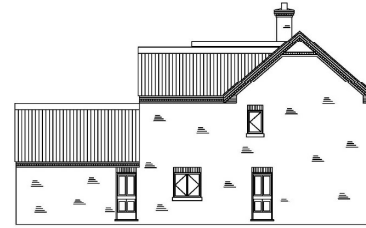
NORTH ELEVATION



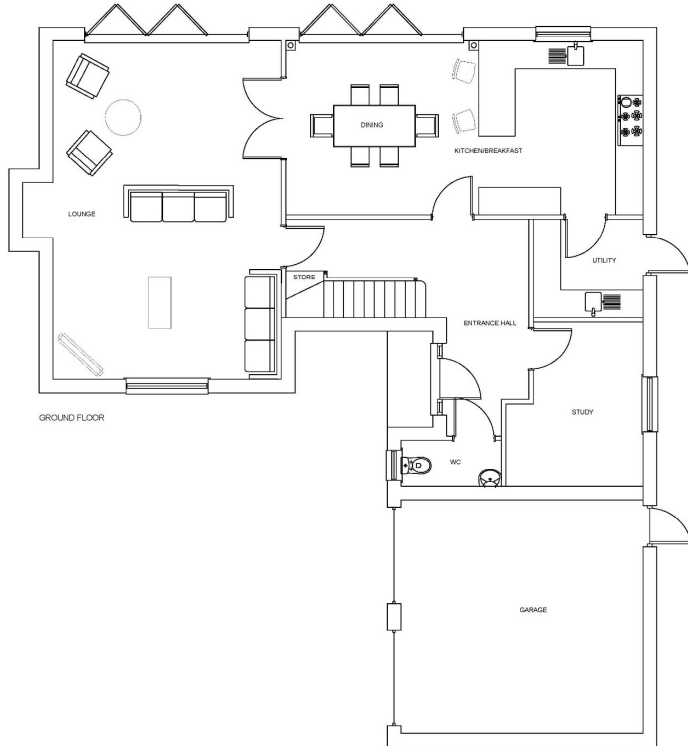
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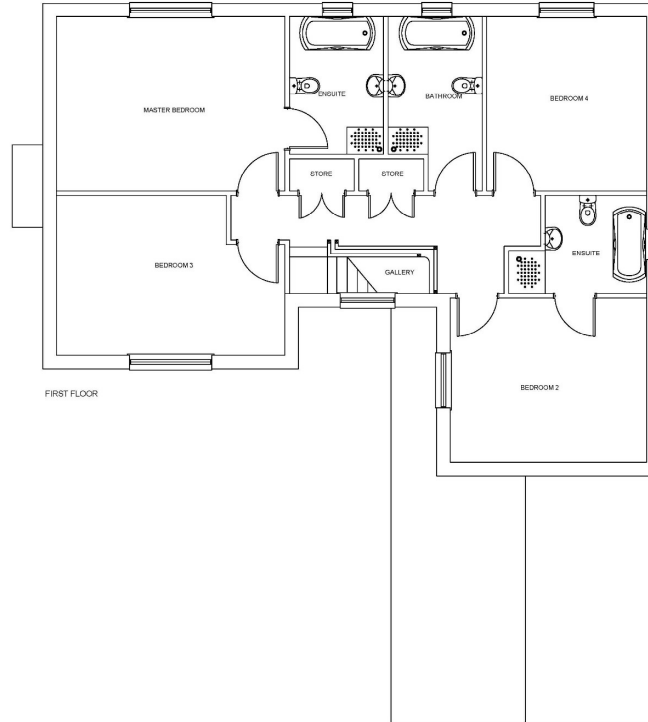
SOUTH ELEVATION



WEST ELEVATION



GROUND FLOOR



FIRST FLOOR

Notes as Applicable

GENERAL:
 1. THE DRAWING IS TO BE READ AS A CONSULTATION WITH ALL OTHER DOCUMENTS ISSUED FOR THIS PROJECT. THESE INCLUDE CONTRACT DRAWINGS, SPECIFICATIONS & SCHEDULE OF WORKS.

2. ALL BUILDING MATERIALS SPECIFIED SHALL COMPLY WITH THE REQUIREMENTS OF THE EUROPEAN STANDARDS, BRITISH STANDARDS, BRITISH STANDARD CODES OF PRACTICE AND SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY & CONTRACT ADMINISTRATOR.

3. ALL STRUCTURAL WORKS ARE TO BE CARRIED OUT IN FULL ACCORDANCE WITH STRUCTURAL ENGINEER'S APPROVED CALCULATIONS AND DETAILS AND TO THE SATISFACTION OF THE LOCAL AUTHORITY BUILDING CONTROL SURVEYOR.

4. ALL WORKS ON SITE TO BE CARRIED OUT IN FULL ACCORDANCE WITH THE CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS 2007 AND CURRENT HEALTH & SAFETY LEGISLATION.

5. THE CONTRACTOR MUST CHECK ALL DIMENSIONS PRIOR TO ORDERING MATERIALS. EQUIPPED DIMENSIONS ARE TO BE USED FOR TENDER PURPOSES ONLY. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE CONTRACT ADMINISTRATOR BY EMAIL PROCEDURE.

REV	AMENDMENTS	DATE	BY

Project:
 DEMOLITION OF EXISTING BUILDING AND CONSTRUCTION OF AND DETACHED OVERLAPED AND IN-CL DETACHED GARAGE LANDSCAPING AND UTILITY WORKS
 PROJECT NO: 2021/001
 SPECIFICATION
 PLOT 1/19

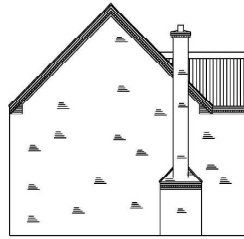
Author:
 MR D J. MULLEN & MR A T. BULLEN

Issue:
 PLOT 1 - ELEVATIONS & FLOOR PLANS

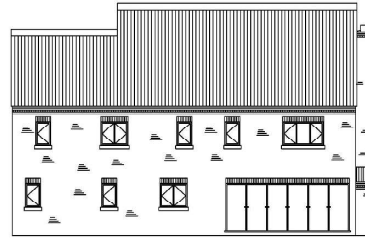
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Drawing No.	002	Revision	
Date	28 September 2021	Drawn	DR
Scale	1:100 & 1:50	Checked	MR
		Approved	PR



NORTH ELEVATION



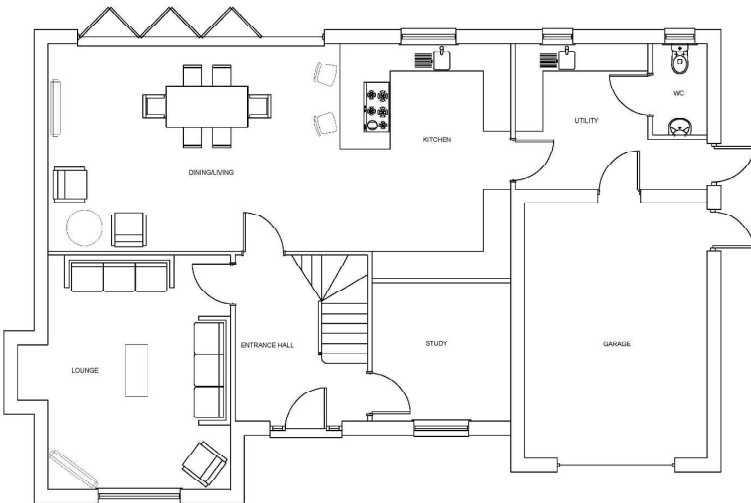
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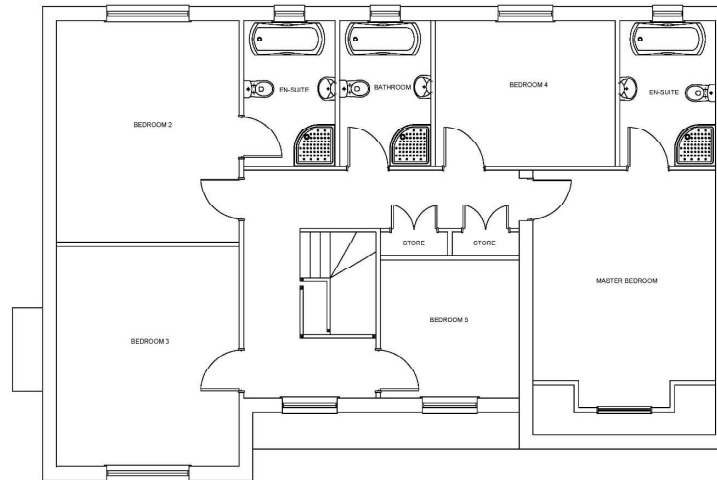
SOUTH ELEVATION



WEST ELEVATION



GROUND FLOOR



FIRST FLOOR

Notes as Applicable

GENERAL

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS SUPPLIED FOR THIS PROJECT. THESE INCLUDE CONTRACT DRAWINGS, SPECIFICATIONS & SCHEDULE OF WORKS.

2. ALL BUILDING MATERIALS SPECIFIED SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT BUILDING REGULATIONS, WITHOUT EXCEPTION, AND WITH A STRUCTURE CLASS OF MAXIMUM TWO AND SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY & CONTRACT ADMINISTRATOR.

3. ALL STRUCTURAL WORKS ARE TO BE APPROVED IN FULL ACCORDANCE WITH STRUCTURAL ENGINEER'S APPROVED CALCULATIONS AND DETAILS AND TO THE SATISFACTION OF THE LOCAL AUTHORITY BUILDING CONTROL SURVEYOR.

4. ALL WORKS ON SITE TO BE CARRIED OUT IN FULL ACCORDANCE WITH THE CONSTRUCTION DESIGN AND MANAGEMENT (REGULATIONS 2015) AND CURRENT HEALTH & SAFETY LEGISLATION.

5. THE CONTRACTOR MUST SITE CHECK ALL DIMENSIONS PRIOR TO ORDERING MATERIALS. DIMENSIONS ARE TO BE USED FOR TYPICAL FINISHED FLOOR LEVELS UNLESS OTHERWISE REPORTED IMMEDIATELY TO THE CONTRACT ADMINISTRATOR BEING PROCESSED.

REV	AMENDMENTS	DATE	BY

Project:
 DEMOLITION OF EXISTING BUILDING AND RECONSTRUCTION OF AND LAND DRIVEN AS AT LOW LANE
 14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100

Applicant:
 MR G. FULFORD & MR A T. BULENGO

Drawing:
 PLOT 2 - ELEVATIONS & FLOOR PLANS

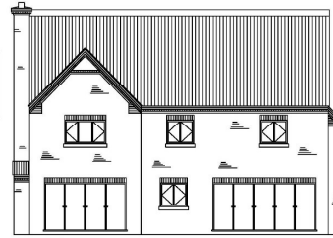
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Drawing No.	003	Revision
Date	28 September 2021	Drawn
Scale	1:100 & 1:50	Checked
		Approved



NORTH ELEVATION



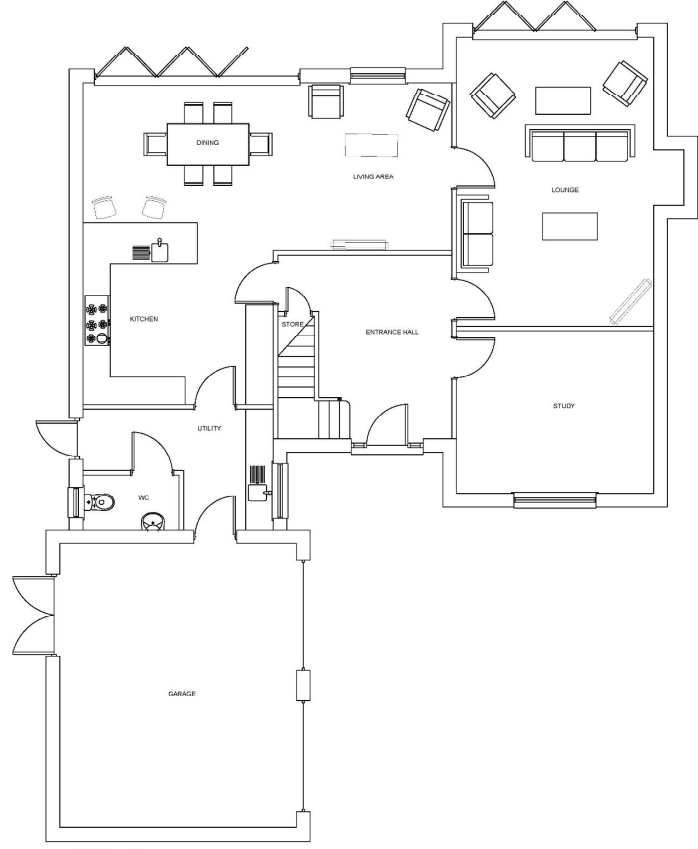
EAST ELEVATION



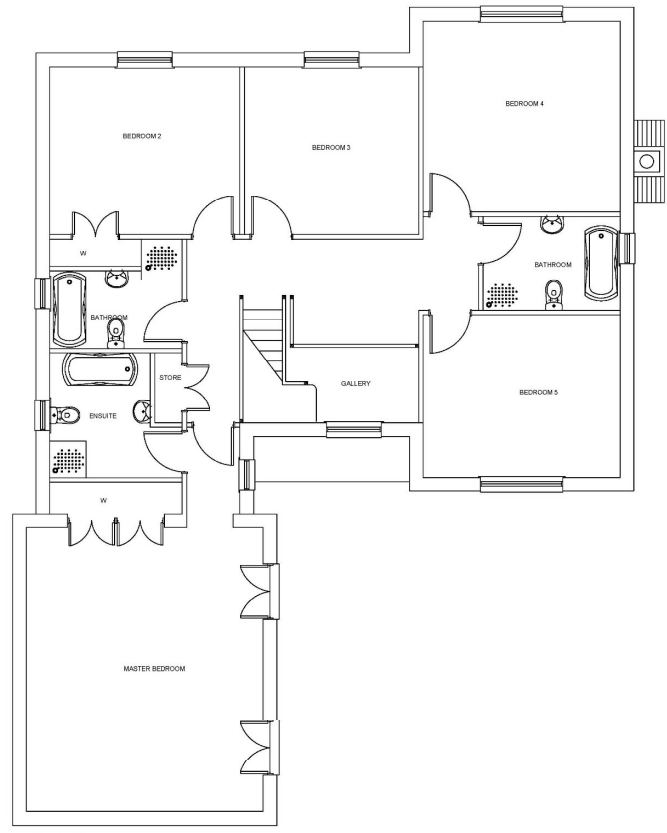
SOUTH ELEVATION



WEST ELEVATION



GROUND FLOOR



FIRST FLOOR

Notes as Applicable

GENERAL:
 1. THE DRAWINGS TO BE PROVIDED AS CONSULTATION ONLY. ALL OTHER DOCUMENTS ISSUED FOR THIS PROJECT, THESE INCLUDE CONTRACT DRAWINGS, SPECIFICATIONS & SCHEDULE OF WORKS.

2. ALL BUILDING MATERIALS SPECIFIED SHALL COMPLY WITH THE REQUIREMENTS OF THE EUROPEAN STANDARDS AS PER THE BRITISH STANDARDS, BRITISH ENGINEERING CODES OF PRACTICE AND SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY & CONTRACT ADMINISTRATOR.

3. ALL STRUCTURAL WORKS ARE TO BE CARRIED OUT IN FULL ACCORDANCE WITH STRUCTURAL ENGINEER'S APPROVED CALCULATIONS AND DETAILS AND TO THE SATISFACTION OF THE LOCAL AUTHORITY BUILDING CONTROL OFFICER.

4. ALL WORKS ON SITE TO BE CARRIED OUT IN FULL ACCORDANCE WITH THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007 AND CURRENT HEALTH & SAFETY LEGISLATION.

5. THE CONTRACTOR MUST SITE CHECK ALL DIMENSIONS PRIOR TO COMMENCING MATERIALS. FOUND DIMENSIONS ARE TO BE USED FOR TOLERANCE PURPOSES ONLY. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE CONTRACT ADMINISTRATOR BY THE CONTRACTOR.

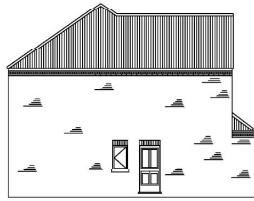
REV	AMENDMENTS	DATE	BY

Project:
 DEMOLITION OF EXISTING BUNGALOW AND ERECTION OF NEW DETACHED DWELLINGS AND INC. DETACHED GARAGE. LANDSCAPE AND PLANTING.
 PROJECT NO: 22/10/2021
 SPECIFICATION: PER 1.1/19

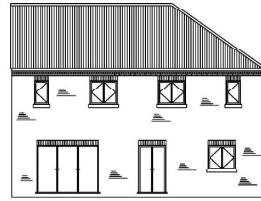
Approved:
 MR D J RULEVSKI & MR A T RULEVSKI

Drawn:
 FLOT 3 - ELEVATIONS & FLOOR PLANS

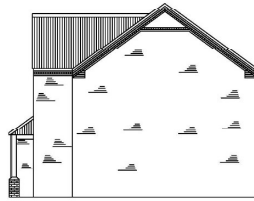
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Date: 28 September 2021	Client: .
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NORTH ELEVATION



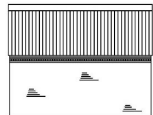
EAST ELEVATION



SOUTH ELEVATION



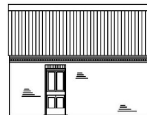
WEST ELEVATION



GARAGE NORTH ELEVATION



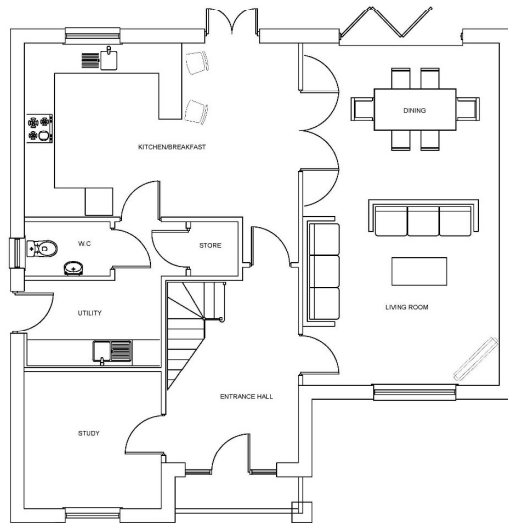
GARAGE EAST ELEVATION



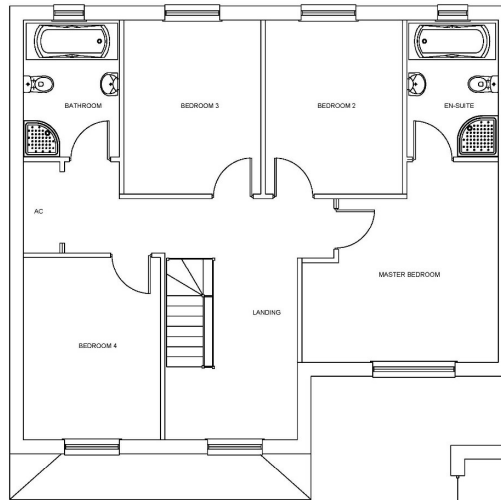
GARAGE SOUTH ELEVATION



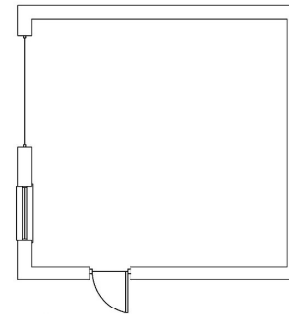
GARAGE WEST ELEVATION



GROUND FLOOR



FIRST FLOOR



GARAGE FLOOR PLAN

Notes as Applicable

- GENERAL:
 1. THE DRAWINGS TO BE PROVIDED AS CONSULTATION ONLY. ALL OTHER DOCUMENTS ISSUED FOR THIS PROJECT, THESE INCLUDE CONTRACT DRAWINGS, SPECIFICATIONS & SCHEDULE OF WORKS.
2. ALL BUILDING MATERIALS SPECIFIED SHALL COMPLY WITH THE REQUIREMENTS OF THE EUROPEAN STANDARDS AS PER THE BRITISH STANDARDS, BRITISH ENGINEERING CODES OF PRACTICE AND SHALL BE TO THE SATISFACTION OF THE LOCAL AUTHORITY & CONTRACT ADMINISTRATOR.
3. ALL STRUCTURAL WORKS ARE TO BE CARRIED OUT IN FULL ACCORDANCE WITH STRUCTURAL ENGINEER'S APPROVED CALCULATIONS AND DETAILS AND TO THE SATISFACTION OF THE LOCAL AUTHORITY BUILDING CONTROL OFFICER.
4. ALL WORKS ON SITE TO BE CARRIED OUT IN FULL ACCORDANCE WITH THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2007 AND CURRENT HEALTH & SAFETY LEGISLATION.
5. THE CONTRACTOR MUST SITE CHECK ALL DIMENSIONS PRIOR TO COMMENCING MATERIALS. FURNISHED DIMENSIONS ARE TO BE USED FOR TOLERANCE UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE CONTRACT ADMINISTRATOR BY THE CONTRACTOR.

REV	AMENDMENTS	DATE	BY
-	-	-	-
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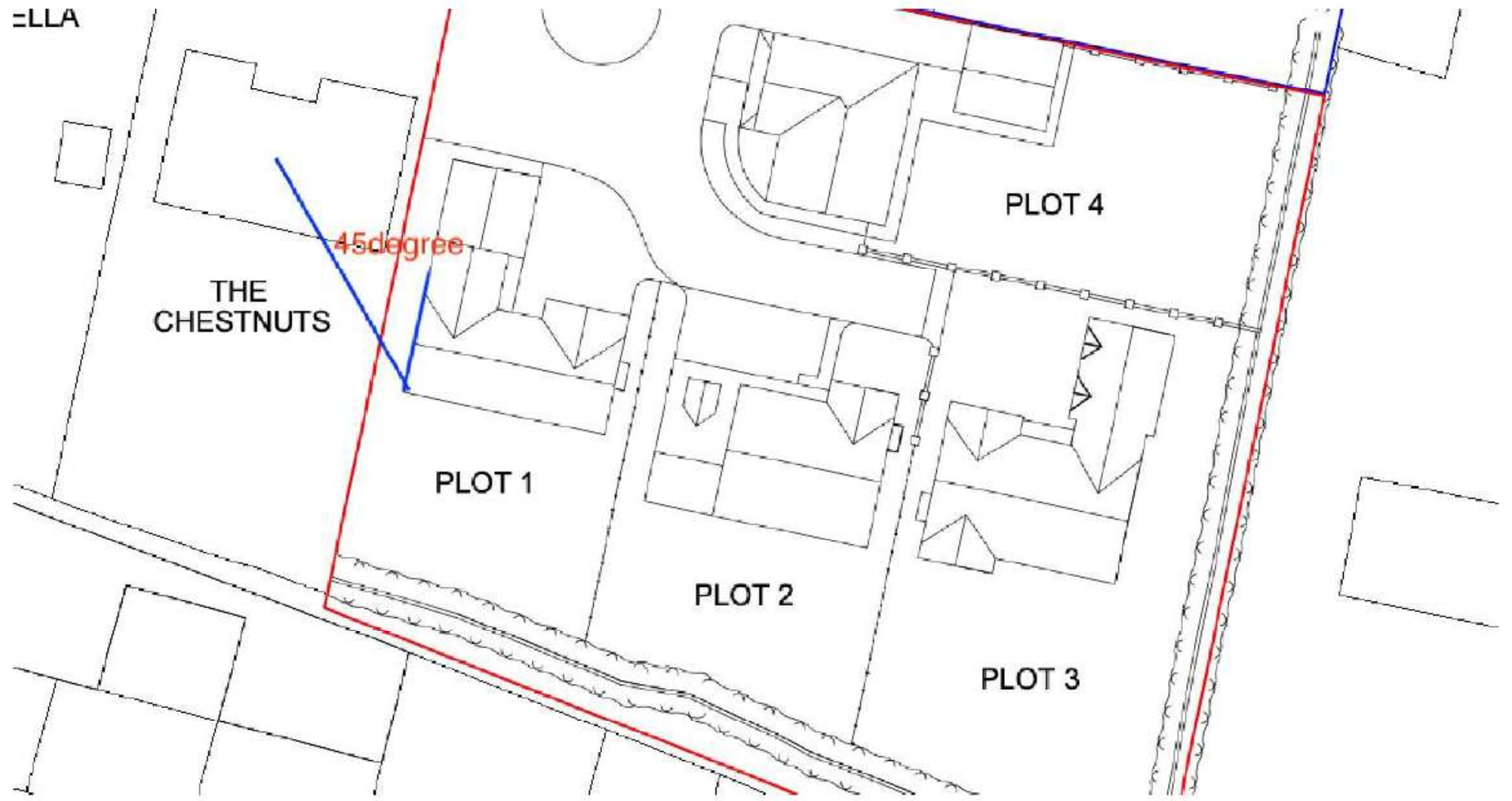
Project:
 DEMOLITION OF EXISTING BUNGALOW AND ERECTION OF TWO DETACHED DWELLINGS AND TWO DETACHED GARAGE UNITS ON WEST LANE, BRICKLASH HIRE, PETSLEIGH

Appoint:
 MR D J RULEWSKI & MR A T RULEWSKI

Drawn:
 FLOT 4 - ELEVATIONS & FLOOR PLANS

Sheet Size	A1	Project No.	
Drawing No.	005	Revision	
Date	28 September 2021	Drawn	DR
Scale	1:100 & 1:50	Checked	MR
		Approved	PR

ELLA



45 Degree Rule



Western Elevation of house on Plot 1

















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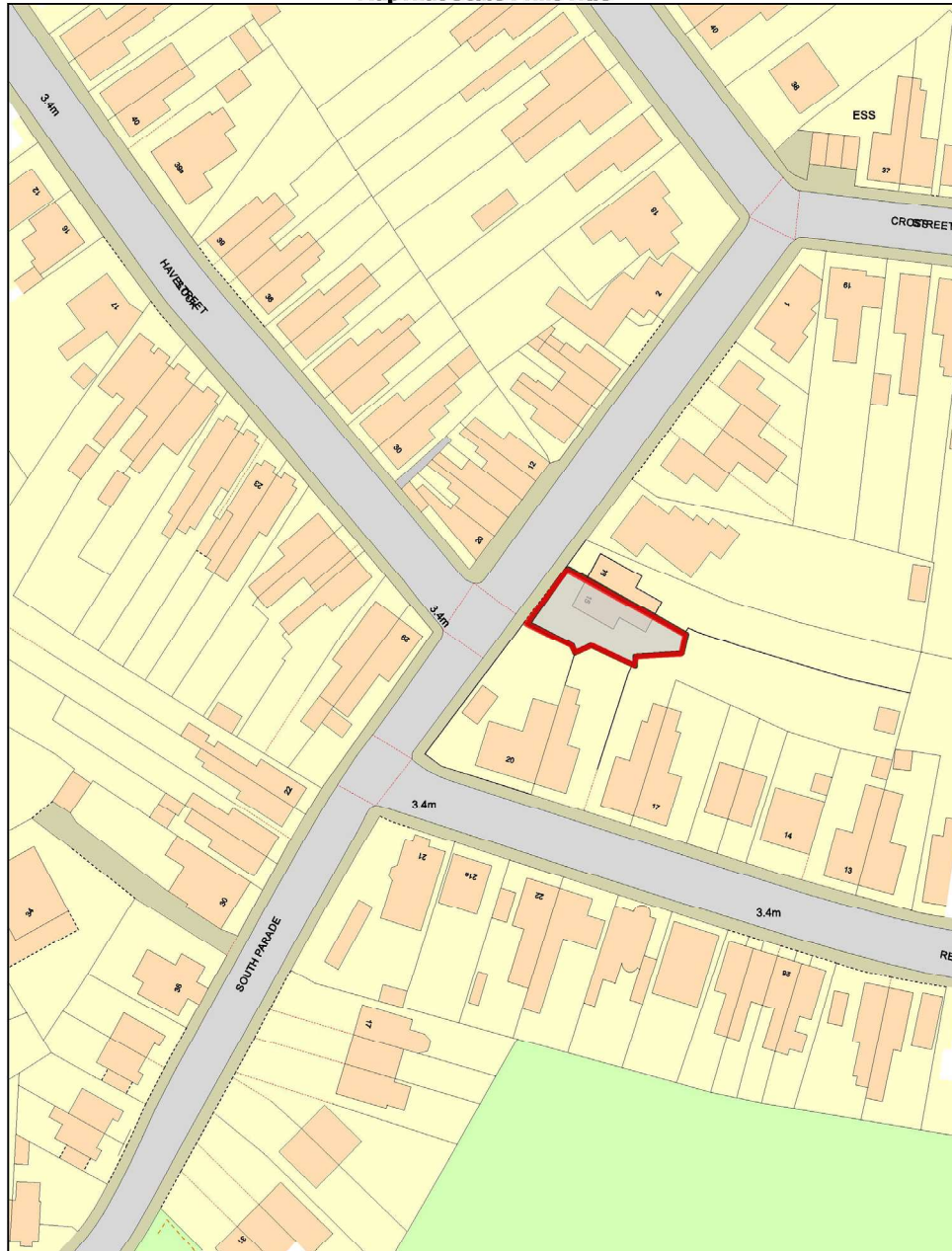


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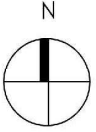
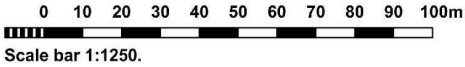
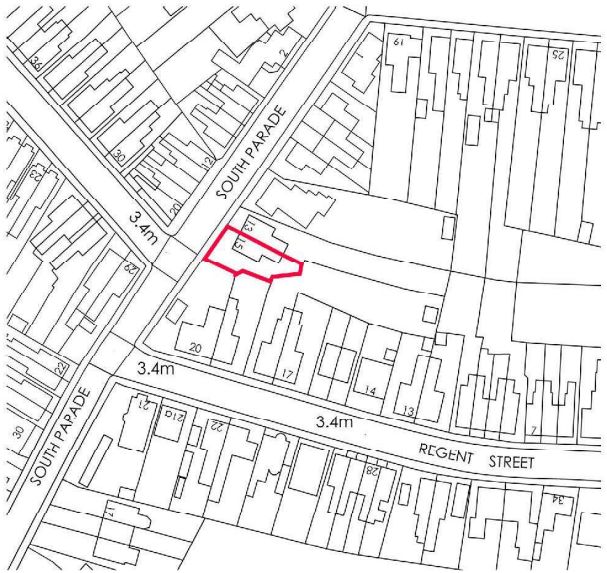


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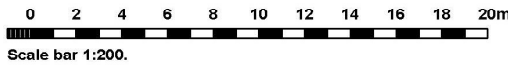
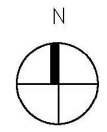
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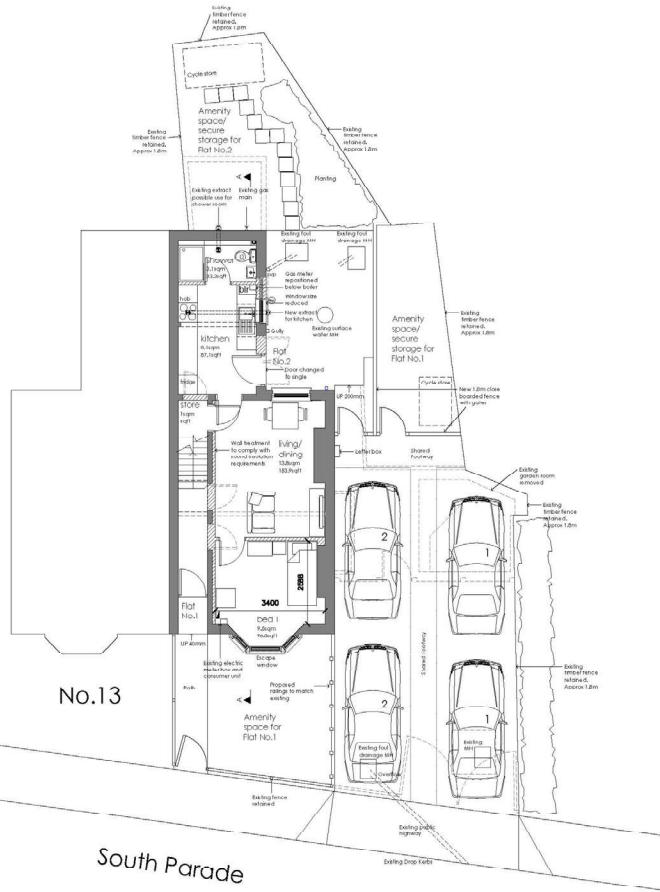
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	PROPOSED COVERSION AT 15 SOUTH PARADE SPALDING		
	Drawn by HU	Checked	Date NOV 2021
	Scale 1:1250 at A4		
	SITE LOCATION PLAN	Dwg No J2142.00104	Rev



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A		GENERAL CLIENT REQUESTED AMENDMENTS		20.12.2021		PC:	
Rev	Revision note	Date	Drawn by				
			PROPOSED CONVERSION AT 15 SOUTH PARADE SPALDING				
	Drawn by	Checked	Date	Scale			
	HU		NOV.2021	1:200 atA3			
	PROPOSED BLOCK PLAN	Dwg No	Rev				
		J214200106	A				



GROUND FLOOR PLAN
 FLAT No. 2 - 1-BEDROOM/1 PERSON
 TOTAL AREA: 37m²

Proposed plans

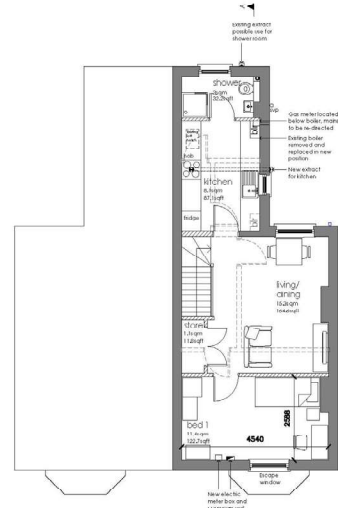
(Scale 1:100)



Scale bar 1:100.

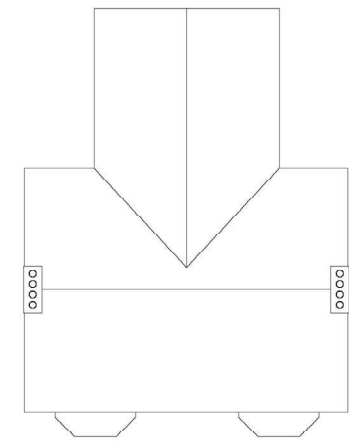
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NEW FABRIC
 EXISTING STRUCTURE



FIRST FLOOR PLAN

FLAT No.1 - 1-BEDROOM/1PERSON
 TOTAL AREA: 45.9m²
 GF AREA: 3.1m²
 FF AREA: 42.7m²



ROOF PLAN

PROVISIONAL

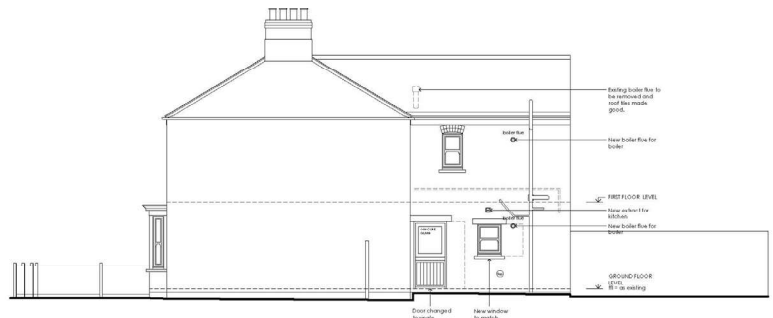
Rev	Revision note	Date	Drawn by
C	GENERAL CLIENT REQUESTED AMENDMENTS	20.12.2021	PC
B	GENERAL AMENDMENTS	08.12.2021	RU
A	DRAWING AMENDED FOLLOWING CLIENT COMMENTS	23.12.2021	RU
<p>PROPOSED CONVERSION AT 15 SOUTH PARADE SPALDING</p>			
<p>Drawn by HU</p>		<p>Checked</p>	<p>Date NOV 2021</p>
<p>Scale 1:100 at A2</p>		<p>Scale</p>	
<p>Framework Architects</p>		<p>Proposed Plans</p>	<p>Dwg No J2142.00102</p>
<p>Rev C</p>		<p>Rev C</p>	

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NEW FABRIC
 EXISTING STRUCTURE



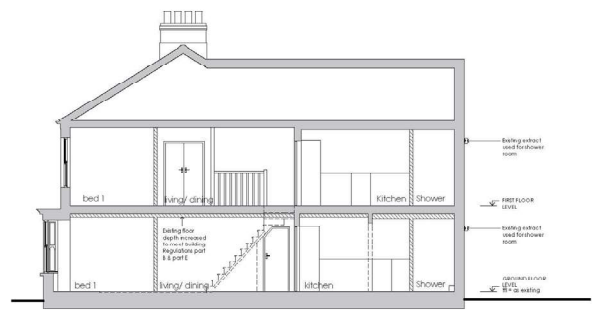
FRONT ELEVATION (ROADSIDE)



SIDE ELEVATION



REAR ELEVATION

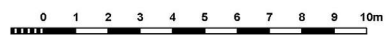


SECTION A-A

PROVISIONAL

Proposed Elevations & Section

(Scale 1:100)



Scale bar 1:100.

A GENERAL CLIENT REQUESTED AMENDMENTS		20.12.2021	PC
Rev	Revision note	Date	Drawn by
1	PROPOSED CONVERSION AT 15 SOUTH PARADE SPALDING		
	Drawn by	Checked	Date
	Scale		
	PROPOSED ELEVATIONS & SECTION	Dwg No	Rev



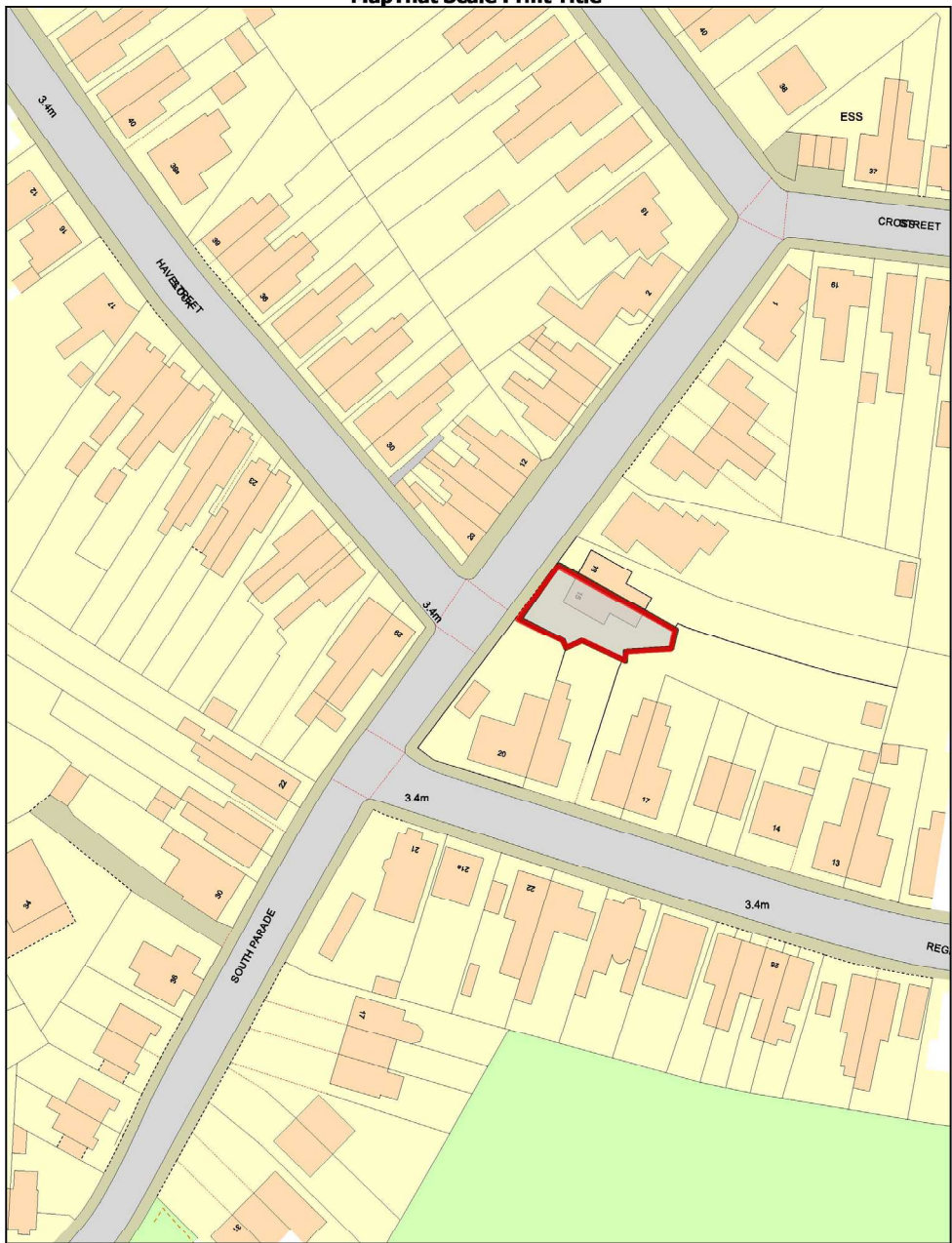
D. J. G. & SONS

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