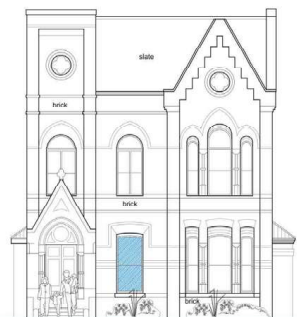
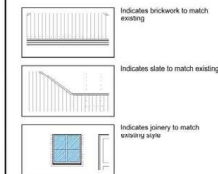


MapThat Scale Print Title



**General Notes**  
 1. All dimensions are shown in 'mm' unless otherwise stated.  
 2. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.  
 3. This drawing is to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.  
 4. Any discrepancies are to be brought to the designers attention.

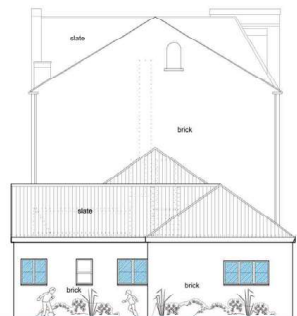
**MATERIALS KEY**



**Front Elevation (SE)**  
 Scale: 1:100



**Side Elevation (NE)**  
 Scale: 1:100



**Rear Elevation (NW)**  
 Scale: 1:100

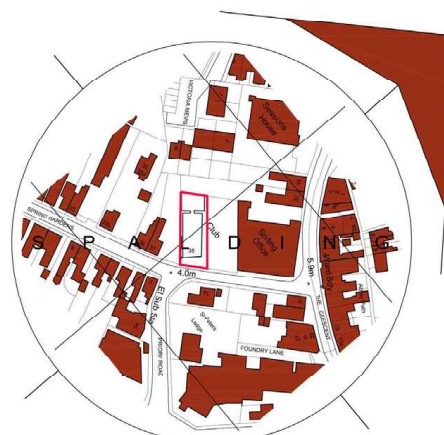


**Side Elevation (SW)**  
 Scale: 1:100



**Section AA**  
 Scale: 1:100

Schedule of Sizes			
Unit	Internal Area (m2)	Dwelling Type	Bedrooms
<b>Ground Floor</b>			
Unit 1	53.4	Flat	1
Unit 2	51.3	Flat	1
Unit 3	61.5	Flat	2
Unit 4	64.5	Flat	2
<b>First Floor</b>			
Unit 5	65.2	Maisonette	2
Unit 6	52	Maisonette	1
Unit 7	69.4	Maisonette	2



**Location Plan**  
 Scale: 1:1250

FOR APPROVAL








Swann Edwards Architecture Limited, Swann Edwards Architecture, Black Barn, Fern Road, Guyhirn, Wisbech, Cambs. PE13 4AA, t 01453 435534 e info@swannedwards.co.uk w www.swannedwards.co.uk




Job No. Proposed Change Of Use Spring Gardens Spalding For: Market Homes Ltd	Date May 2021	Drawn by GT Checked by G.E.
Drawing Title Planning Drawing Elevations & Location Plan	Job No. SE-1515 Dwg No. PP1100	Sheet Size A1 Revision C

General Notes  
 1. All dimensions are shown in 'mm' unless otherwise stated.  
 2. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.  
 3. This drawing is to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.  
 4. Any discrepancies are to be brought to the designers attention.

**SITE PLAN KEY**

-  Indicates buildings unsurveyed (from ordinance survey location plan)
-  Indicates buildings surveyed on site
-  Indicates existing site access
-  Indicates proposed roof
-  Indicates proposed hedge

**WALL KEY**

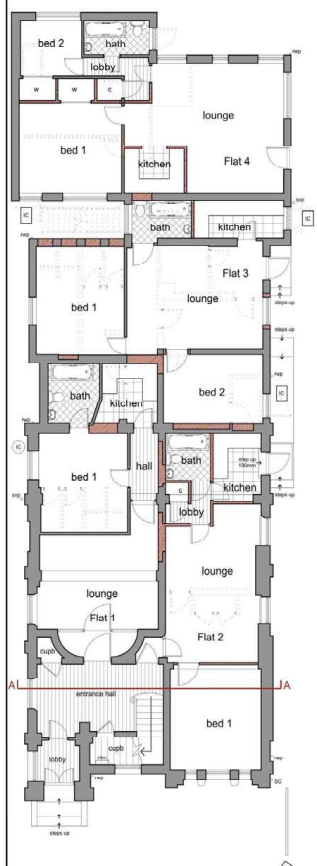
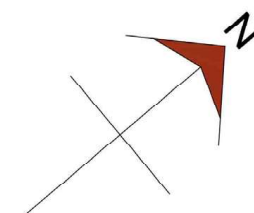
-  Indicates existing wall
-  Indicates proposed wall
-  Indicates wall to be demolished

STATUS  
**FOR APPROVAL**

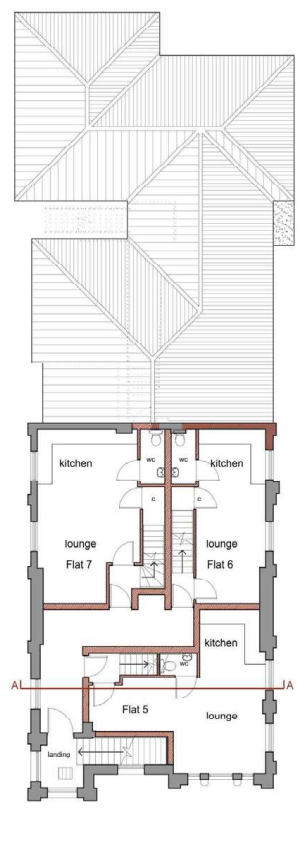
**SWANN EDWARDS**  
 ARCHITECTURE

Swann Edwards Architecture Limited, Swann Edwards Architecture, Black Barn, Fern Road, Guyhirn, Wisbech, Cambs. PE13 4AA, t 01453 435534 e info@swannedwards.co.uk w www.swannedwards.co.uk

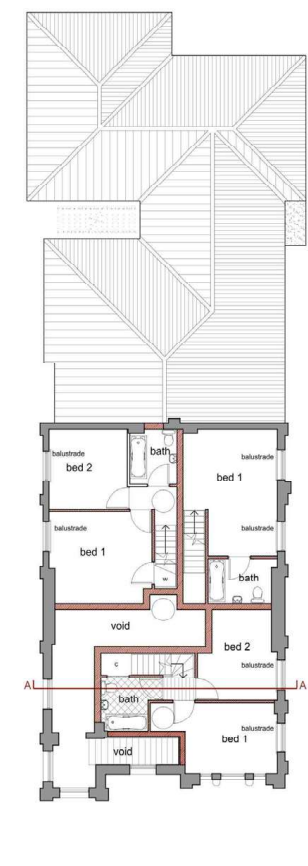
Job No. Proposed Change Of Use Spring Gardens Spalding For: Market Homes Ltd	Date May 2021	Drawn by GT Checked by G.E.
Drawing Title Planning Drawing Floor Plans & Site Plan	Job No. SE-1515	Sheet Size A1
	Dep No. PP1000	Revision B



GF Plan  
 Scale: 1:100



FF Plan  
 Scale: 1:100



SF Plan  
 Scale: 1:100



Site Plan  
 Scale: 1:100









































MapThat Scale Print Title







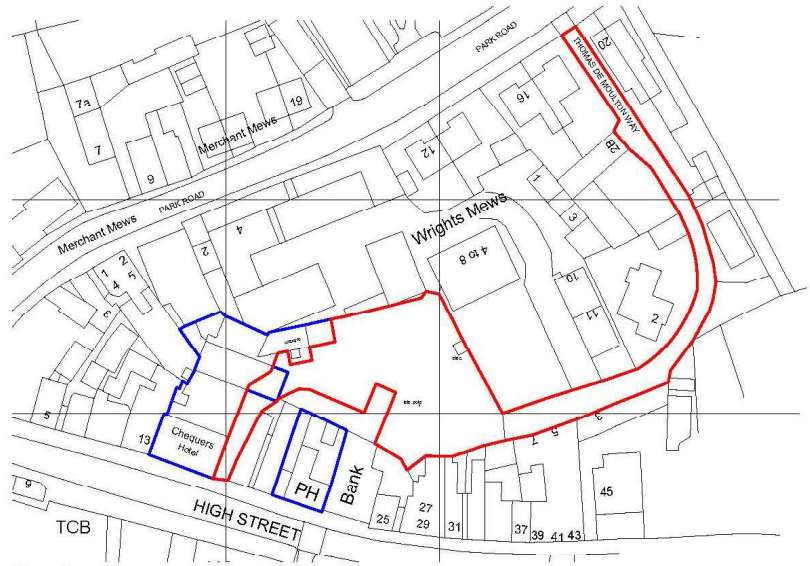
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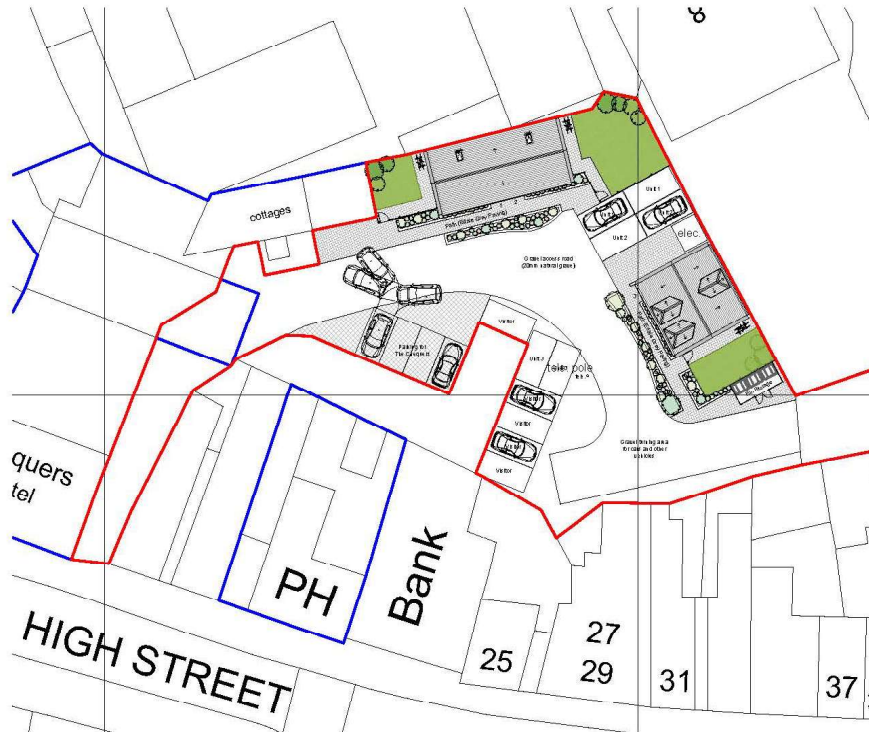
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MAP SCALE 1:1250  
CREATED DATE: 04/05/2022  
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LOCATION PLAN @ 1:1250

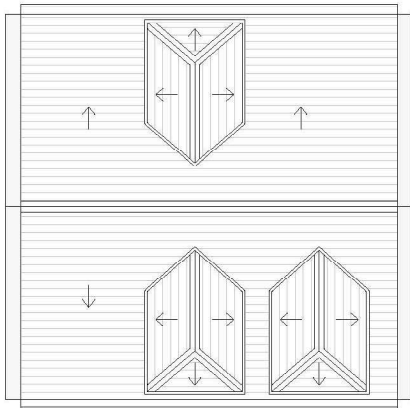


BLOCK PLAN @ 1:500

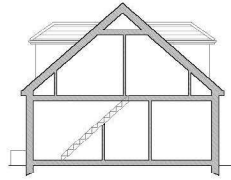


<b>JOB TITLE:</b>	LTR The Chequers Hotel, 15 High Street, Holbeach, Spalding, PE12 7DU
<b>DWG TITLE:</b>	Location & Block Plan
<b>DWG. NO.:</b>	376-01-C
<b>SCALE:</b>	As shown @ A4 Do not scale from drawing
<b>DATE:</b>	09/12/2021
<b>STATUS:</b>	PLANNING
<b>DRAWN BY:</b>	NF
<b>CHECKED BY:</b>	JC
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BUNGALOW ROOF PLAN @ 1:100



INDICATIVE SECTION @ 1:200



LEFT GABLE ELEVATION @ 1:100



RIGHT GABLE ELEVATION @ 1:100

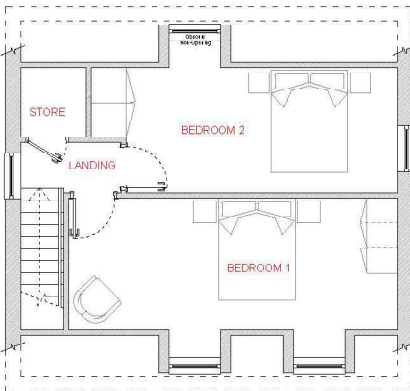
UPVC casement escape window, white timber effect  
Patio doors: UPVC, white, timber effect

**GENERAL NOTES:** All work should be carried out in accordance with current approved documents. The Contractor should be familiar with the relevant codes of practice and Building Regulations. The Contractor should ensure that Building Inspector is contacted at the relevant key stages. The contractor should check all dimensions and conditions prior to commencement of works on site. The designer will not accept the responsibility of anomalies or mistakes occurring during construction stages. A detailed design and supervision service will be carried out on a separate basis as agreed with the client. Internal wall construction and wall thickness to be checked and confirmed by the contractor prior to works commencing on site. All materials and workmanship are to comply with the relevant and current British Standards and codes of practice. The manufacturer's recommendations are to be followed in respect of the installation and fixing of all products and any discrepancies between those recommendations and any other requirement of the specification or drawings should be reported back to Clayton Architecture Ltd, necessary planning/building control approvals should be obtained prior to the commencement of the works, and complied with. Any deviation from the approved drawings is undertaken at your own risk and may require further planning/building control approvals. All steelwork dimensions to be checked by general and fabricating contractors prior to fabrication of steelwork.

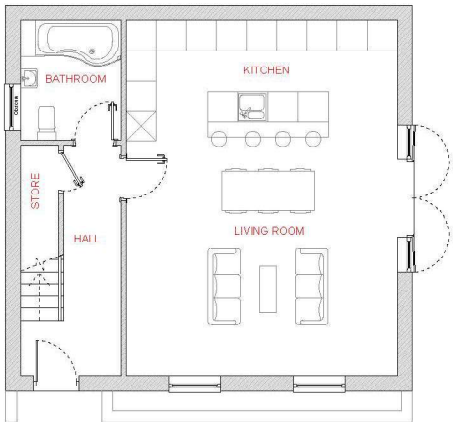
**CDM Regulations:** All parties must abide by the Construction Design and Management Regulations 2015. It is the Client's responsibility to appoint a competent Principal Designer on all projects involving multiple contractors. Projects are notifiable to the Health & Safety Executive if the building works will involve more than 500 man hours or be longer than 30 days in duration with 20+ site personnel. Domestic Clients responsibilities are usually transferred to the sole contractor, or Principal Contractor where there are multiple contractors.

**Party Wall Act:** The owner has a duty to serve a party structure notice to any adjoining owner if works are to be carried out to a party wall, structure, or line of junction; or if works involve excavations lower than the foundations of a neighbouring building within 3m, or excavations out through a 40" line from the foundations of a neighbouring building within 6m, a party wall agreement/award should be formalised before the commencement of the works.

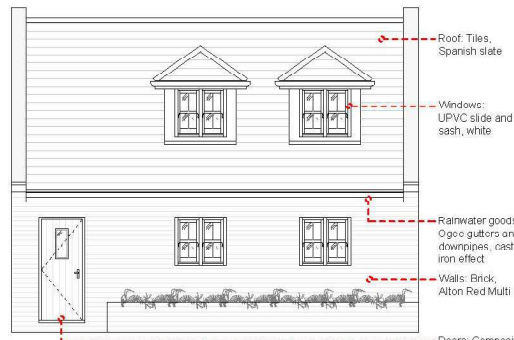
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BUNGALOW FIRST FLOOR PLAN @ 1:100



BUNGALOW GROUND FLOOR PLAN @ 1:100

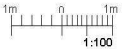


BUNGALOW FRONT ELEVATION @ 1:100



BUNGALOW REAR ELEVATION @ 1:100

Roof Tiles, Spanish slate  
Windows: UPVC slide and sash, white  
Rainwater goods: Omega gutters and downpipes, cast iron effect  
Walls: Brick, Alton Red Multi  
Doors: Composite door, traditional appearance



**JOB TITLE:**  
LTR The Chequers Hotel, 15 High Street, Holbeach, Spalding, PE12 7DU

**DWG TITLE:**  
Proposed Plans and Elevations Bungalows

**DWG. NO.:**  
376-04-B

**SCALE:**  
As shown @ A3  
Do not scale from drawing

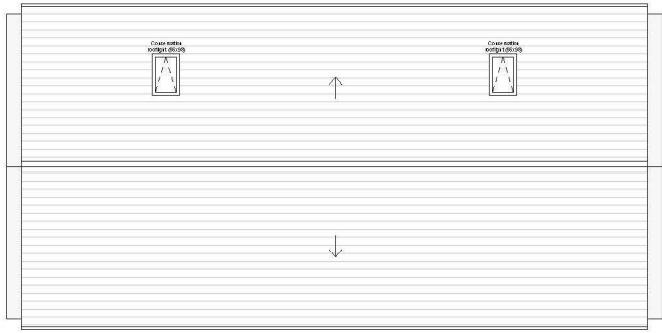
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30/11/2021

**STATUS:**  
PLANNING

**DRAWN BY:** NF **CHECKED BY:** JC

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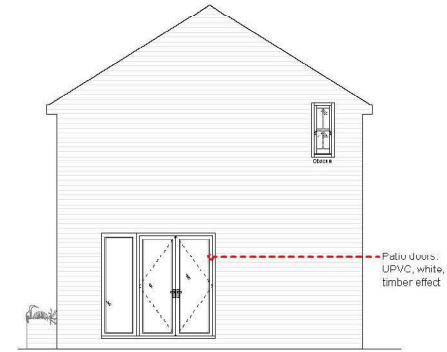




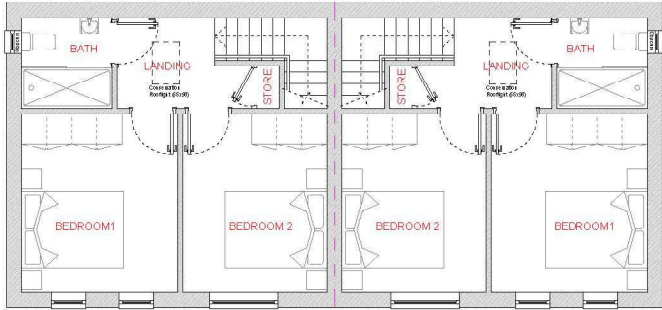
MEWS ROOF PLAN @ 1:100



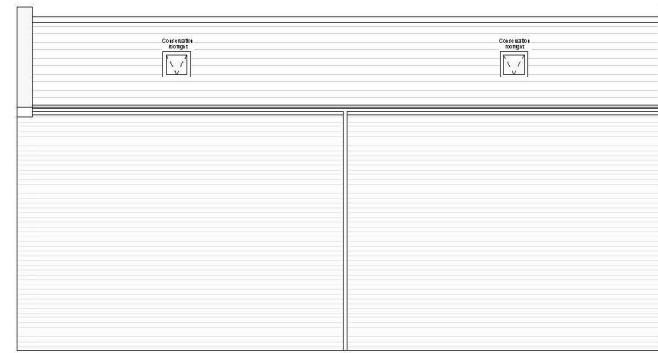
LEFT GABLE ELEVATION @ 1:100



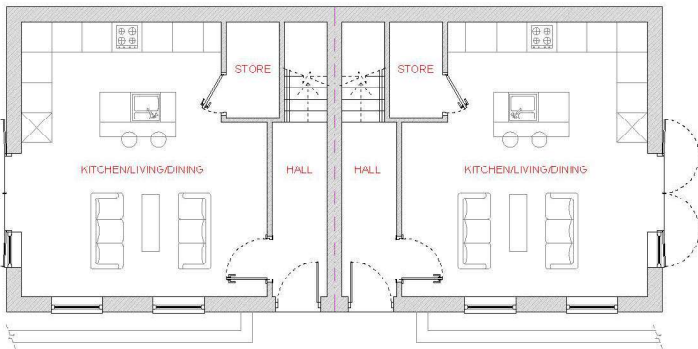
RIGHT GABLE ELEVATION @ 1:100



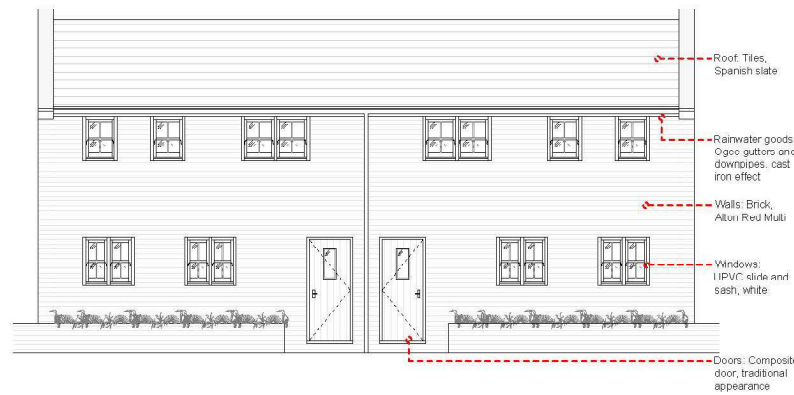
MEWS FIRST FLOOR PLAN @ 1:100



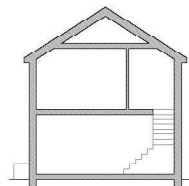
MEWS REAR ELEVATION @ 1:100



MEWS GROUND FLOOR PLAN @ 1:100



MEWS FRONT ELEVATION @ 1:100



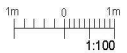
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**GENERAL NOTES:** All work should be carried out in accordance with current approved documents. The Contractor should be familiar with the relevant codes of practice and Building Regulations. The Contractor should ensure that Building Inspector is contacted at the relevant key stages. The contractor should check all dimensions and conditions prior to commencement of works on site. The designer will not accept the responsibility of anomalies or mistakes occurring during construction stages. A detailed design and supervision service will be carried out on a separate basis as agreed with the client. Internal wall construction and wall thickness to be checked and confirmed by the contractor prior to works commencing on site. All materials and workmanship are to comply with the relevant and current British Standards and codes of practice. The manufacturers recommendations are to be followed in respect of the installation and fixing of all products and any discrepancies between those recommendations and any other requirement of the specification or drawings should be reported back to Clayton Architecture Ltd, necessary planning/building control approvals should be obtained prior to the commencement of the works, and complied with. Any deviation from the approved drawings is undertaken at your own risk and may require further planning/building control approvals. All steelwork dimensions to be checked by general and fabricating contractors prior to fabrication of steelwork.

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JOB TITLE:  
LTR The Chequers  
Hotel, 15 High Street,  
Spalding, PE12 7DU

DWG TITLE:  
Proposed Plans and  
Elevations  
Mews

DWG. NO.:  
376-03-A

SCALE:  
As shown @ A3  
Do not scale from drawing

DATE:  
04/08/2021

STATUS:  
PLANNING

DRAWN BY: NF  
CHECKED BY: JC

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REGISTERED OFFICE: 15 High Street, Spalding, PE12 7DU













THOMAS DE MOKILTON  
WAY



























































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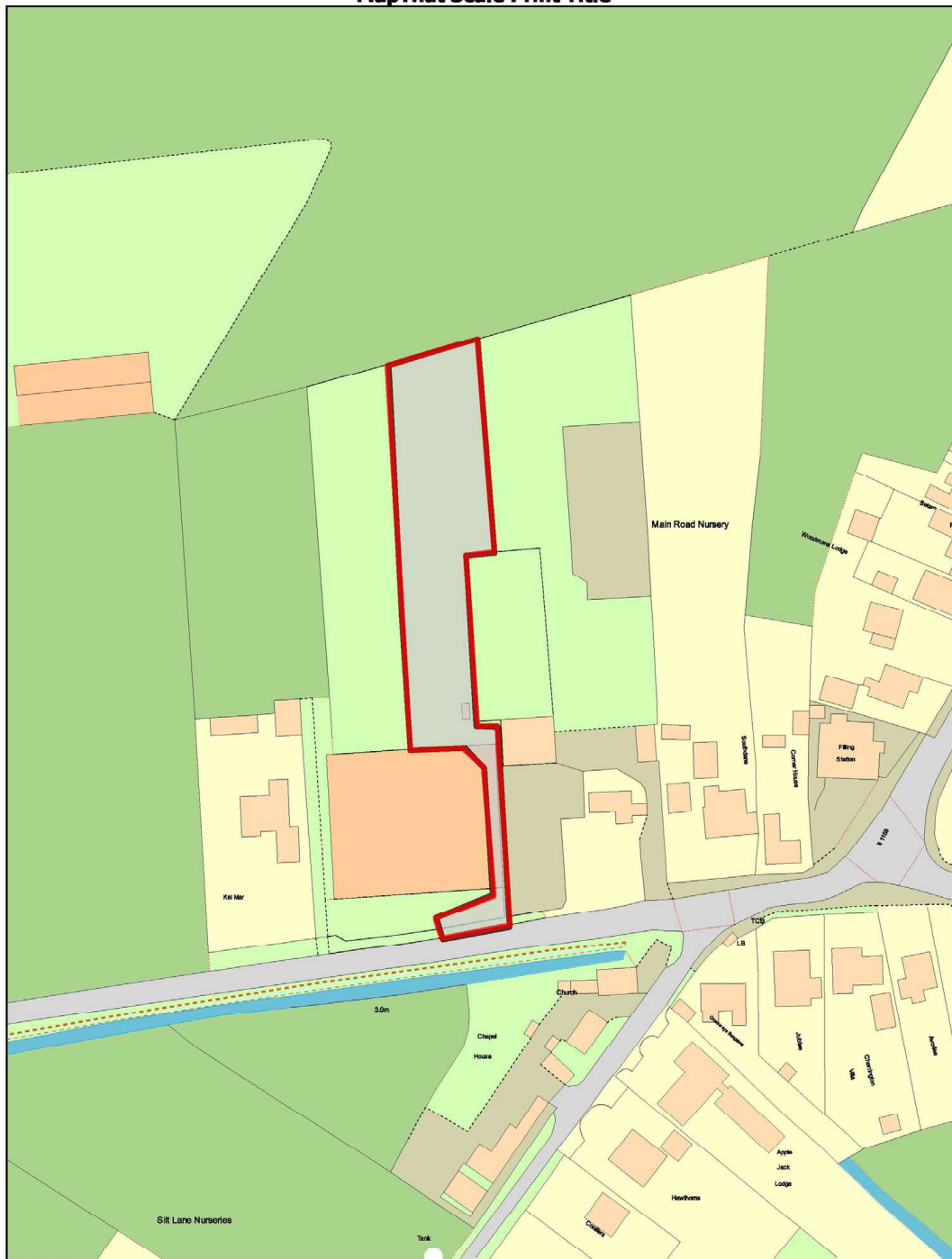
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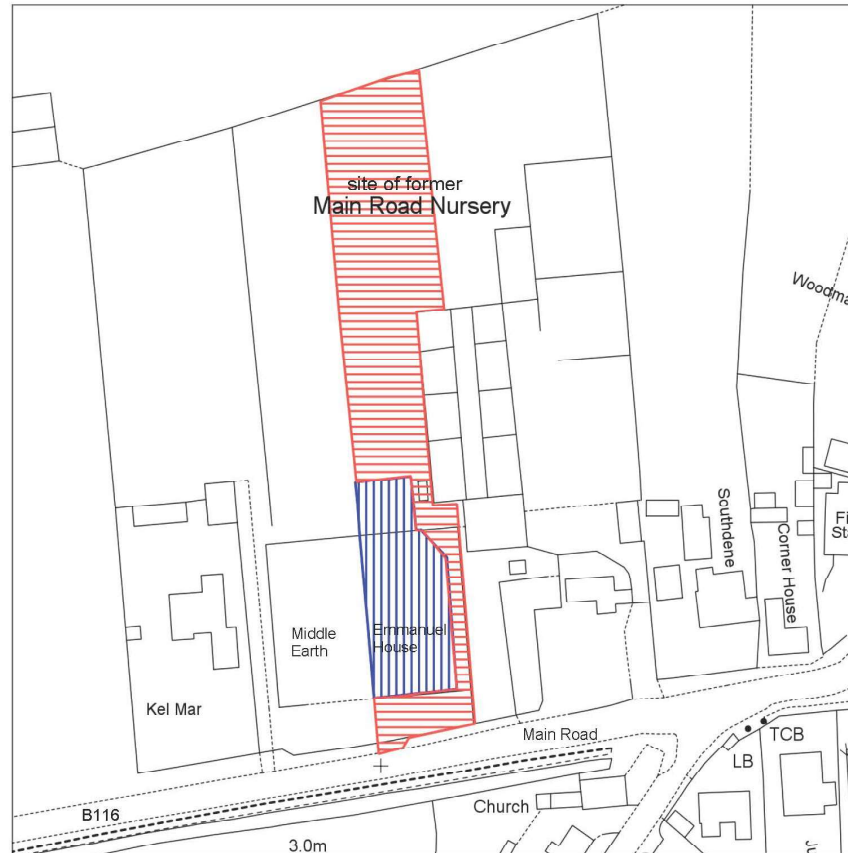


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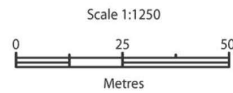
MAP SCALE 1:1250  
CREATED DATE: 29/04/2022  
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EH01: Land to rear of Emmanuel House,  
Main Road, Holbeach Drive,  
Location Plan  
scale 1:1250 at A4



Emmanuel House, Main Road, Holbeach Drive, Spalding PE12 0PS



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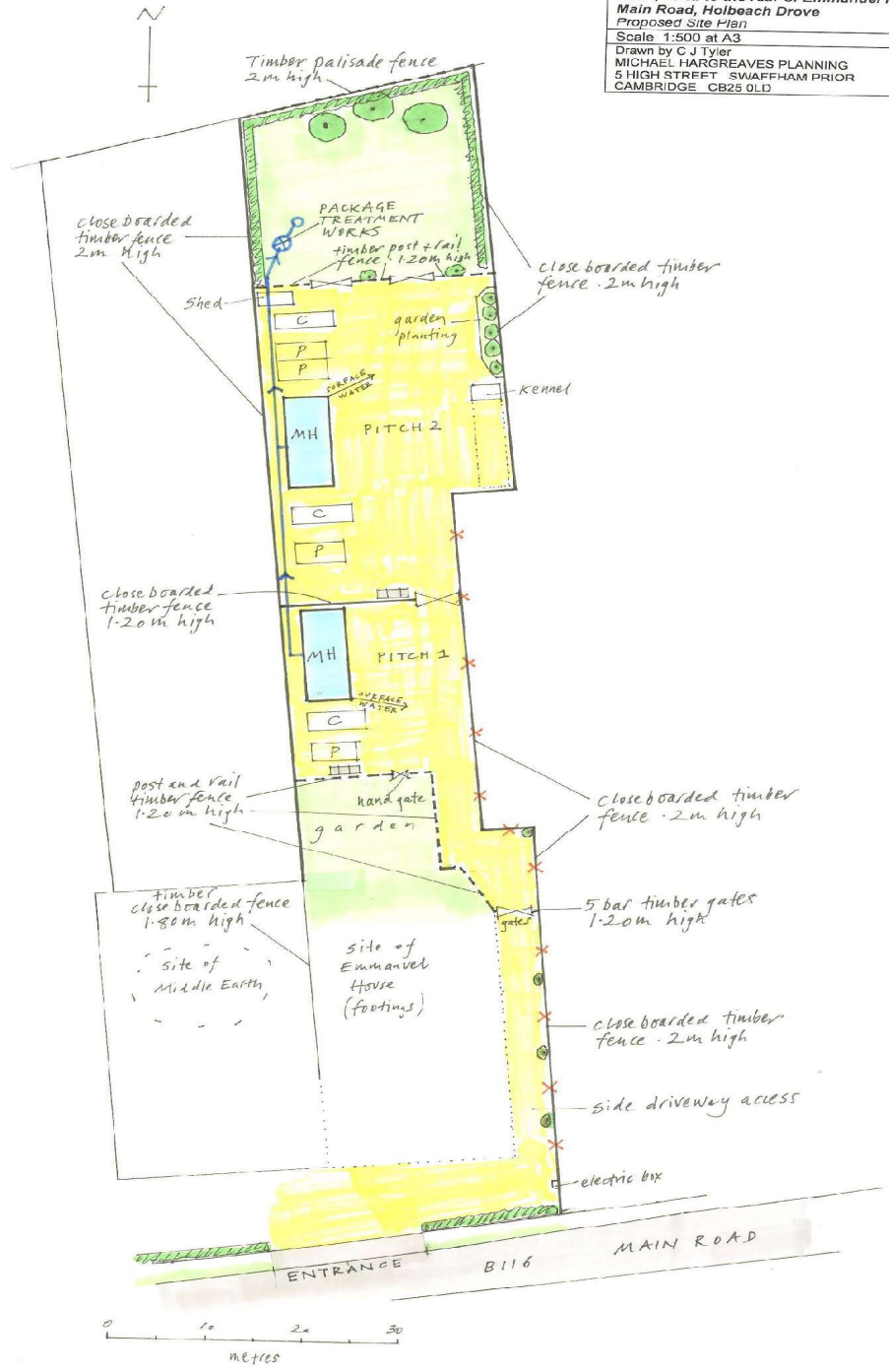
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The representation of features as lines is no evidence of a property boundary.

Date Of Issue: 26 January 2022  
Supplied By: Getmapping  
Supplier Plan Id: 278741\_1250  
OS License Number: 100030848  
Applicant: Michael Hargreaves  
Application Reference: Holbeach Drive

EH02, Land to the rear of Emmanuel House,  
 Main Road, Holboach Drive  
 Proposed Site Plan  
 Scale 1:500 at A3  
 Drawn by C J Tyler  
 MICHAEL HARGREAVES PLANNING  
 5 HIGH STREET SWAFFHAM PRIOR  
 CAMBRIDGE CB25 0LD



KEY	
	Concrete pad for Mobile Home
	Touring Caravan
	Grass
	Permeable hardstanding surface P = parking space
	New native tree planting
	New garden shrub planting
	New native hedge planting
	5 bar timber gate, 1.20 m height
	Foul waste drain leading to package treatment works with inspection chamber and drainage field (indicative)
	Surface water drainage pipe leading to soakaway system beneath hardstanding (indicative)
	Recycling and Refuse bin storage area
	Exterior soft downlight (fence mounted at 1.60m)



























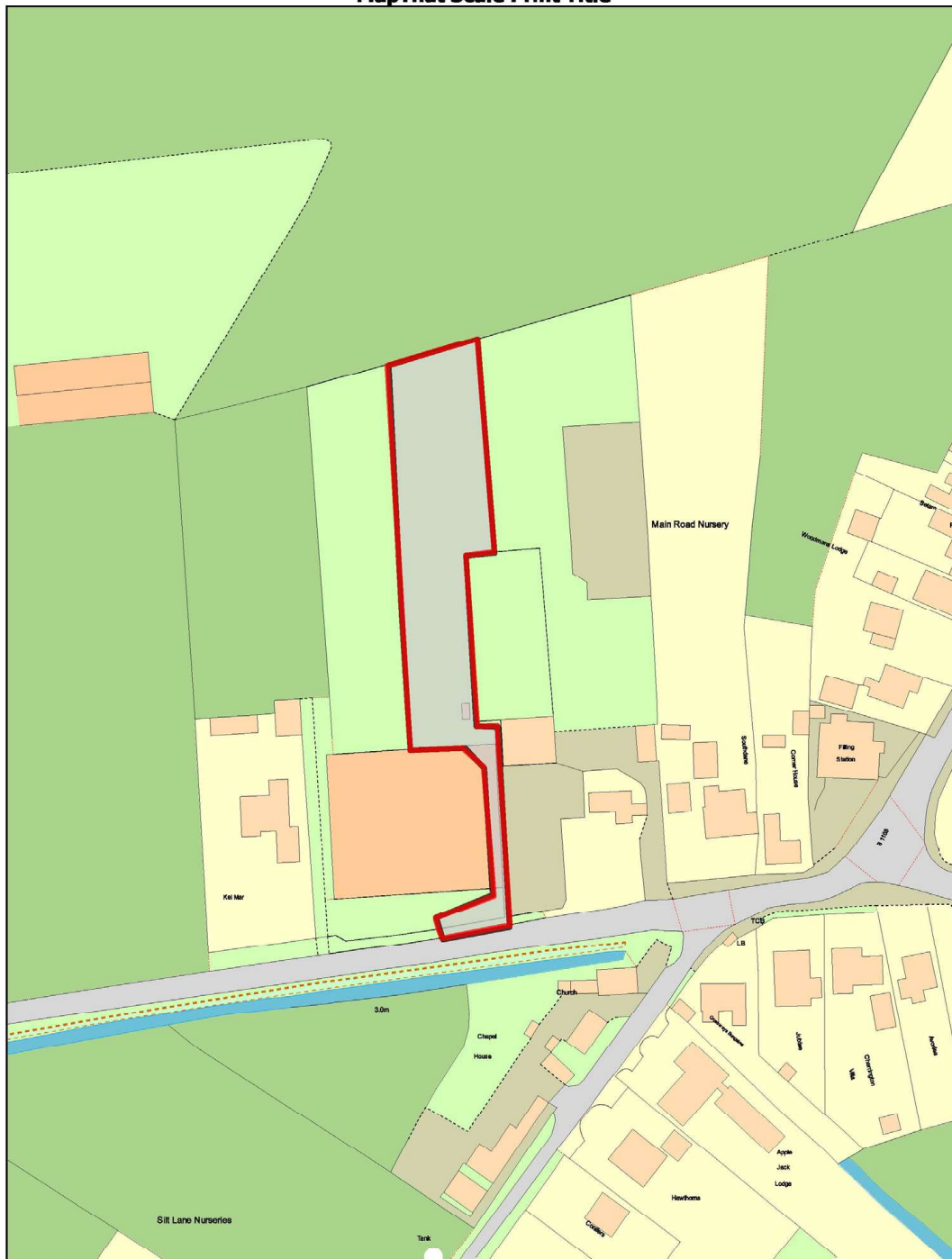








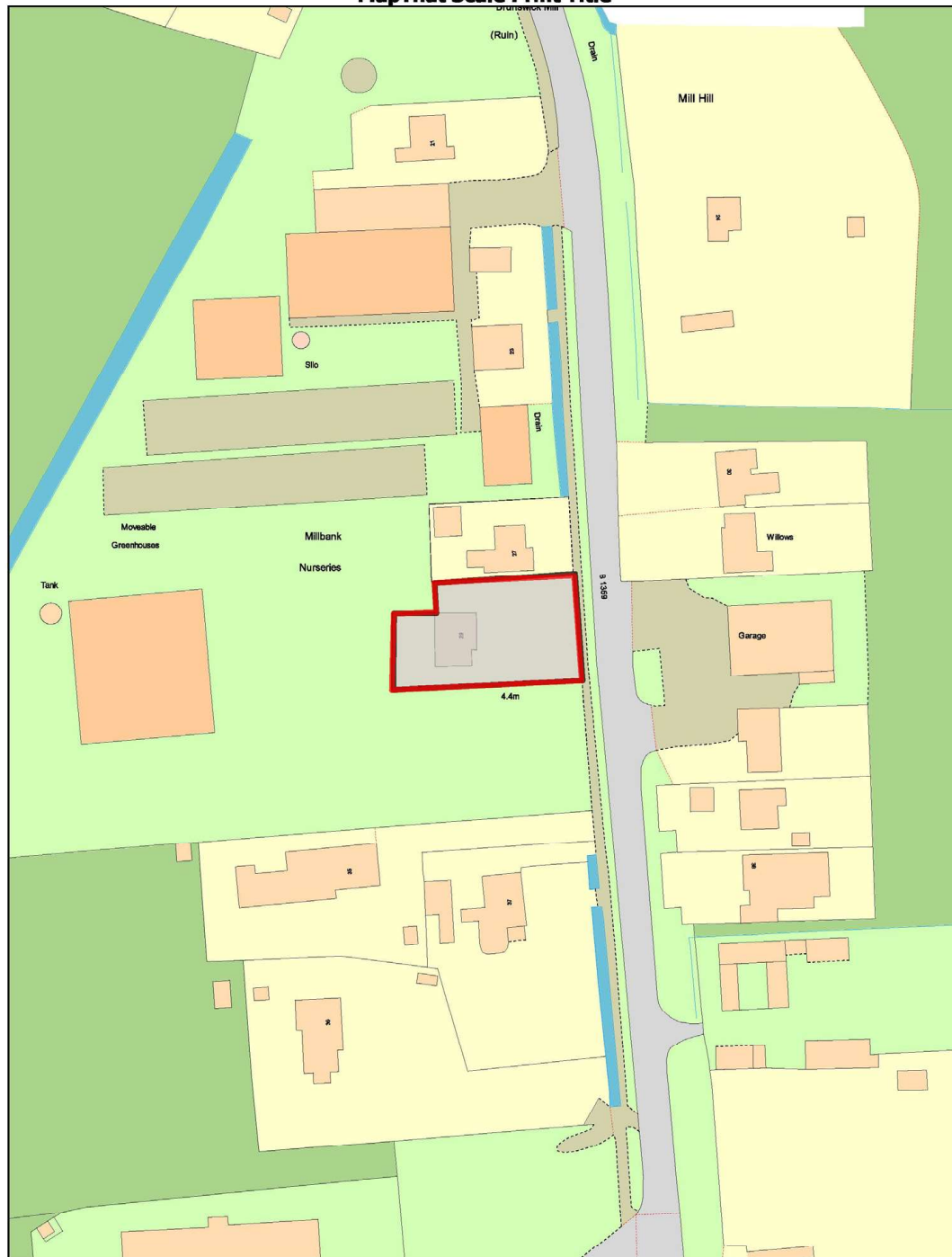
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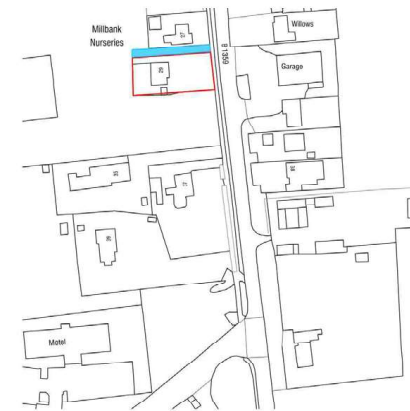


— Title boundary  
— Shared access

Notes			
Figural dimensions only to be taken from this drawing. Do not scale it in drawing.			
Rev	Date	Drawn	Description
-	-	-	-



**BLOCK PLAN 1:500**



**SITE PLAN 1:1250**



**MaxDesign**

Architecture | Planning | Consultancy

Armstrong House, First Avenue, Doncaster DN9 3GA  
 t: 01302 867509 m: 07734 939 044  
 e: design@maxdesignconsultancy.co.uk w: maxdesignconsultancy.co.uk

**status:**  
PLANNING

**client:**  
Vimdal Reality Ltd

**project:** 29 Wisbech Road, Long Sutton,  
Spalding, PE12 9AG

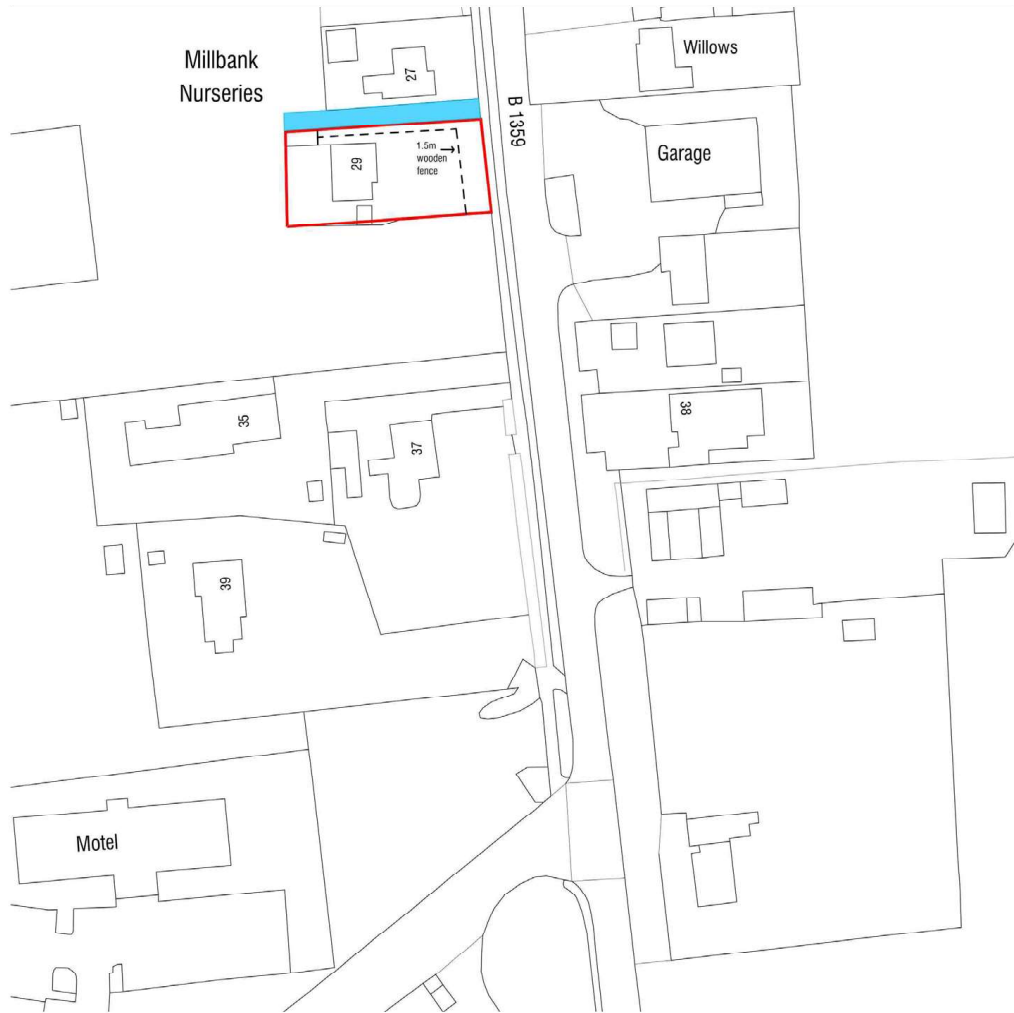
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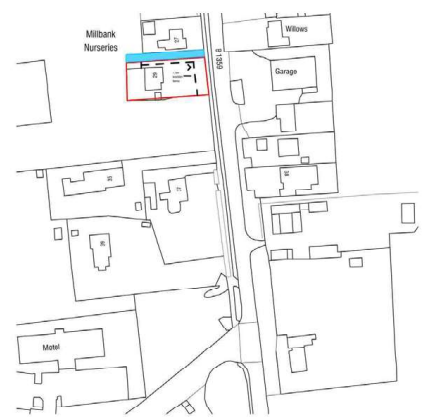
project no.:	drawn:	number:	rev:
21304	PW	003	-

▬ Title boundary  
▬ Shared access

Notes			
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Rev	Date	Drawn	Description
-	-	-	-



**BLOCK PLAN 1:500**



**SITE PLAN 1:1250**



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 t: 01302 867509 m: 07734 939 044  
 e: design@maxdesignconsultancy.co.uk w: maxdesignconsultancy.co.uk

**status:**  
PLANNING

**client:**  
Vimdal Reality Ltd

**project:** 29 Wisbech Road, Long Sutton,  
Spalding, PE12 9AG

**title:** Site Location Plan as Proposed

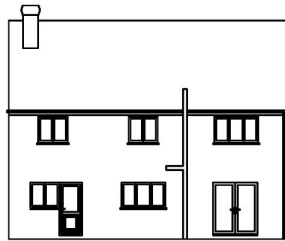
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project no.: <b>21304</b>	drawn: <b>PW</b>	number: <b>006</b>	rev: <b>-</b>
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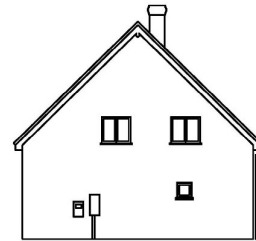
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Rev	Date	Drawn	Description
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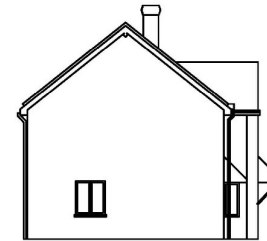
**FRONT ELEVATION** 1:100



**REAR ELEVATION** 1:100



**SIDE ELEVATION** 1:100



**SIDE ELEVATION** 1:100



<b>MaxDesign</b> 			
Architecture   Planning   Consultancy			
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<small>t. 01302 867599</small>		<small>m. 07734 939 944</small>	
<small>e. design@maxdesignconsultancy.co.uk</small>		<small>w. maxdesignconsultancy.co.uk</small>	
status:			
<b>PLANNING</b>			
client:			
Vimdal Reality Ltd			
project:			
29 Wisbech Road, Long Sutton, Spalding, PE12 9AG			
title:			
Elevations as existing			
scale:		date:	
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project no:	drawn:	number:	rev:
21304	PW	004	-



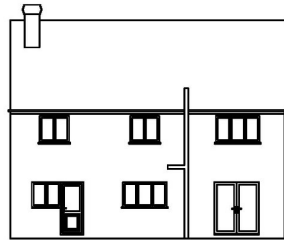
**Notes**

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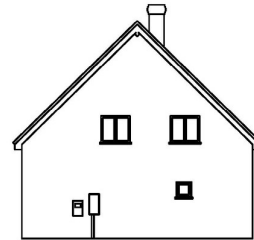
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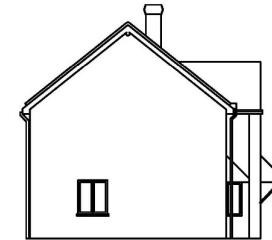
**FRONT ELEVATION** 1:100



**REAR ELEVATION** 1:100



**SIDE ELEVATION** 1:100

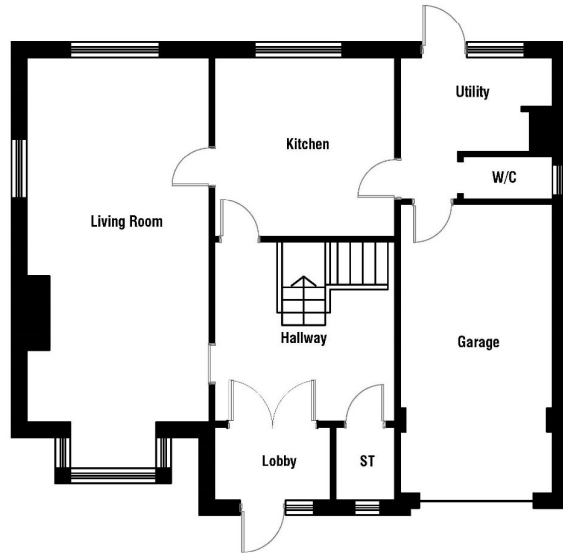


**SIDE ELEVATION** 1:100

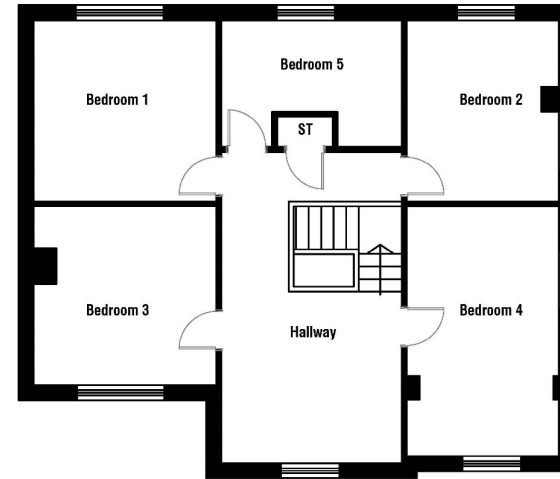


<b>MaxDesign</b> 			
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<small>t: 01302 867599</small>		<small>m: 07734 539 944</small>	
<small>e: design@maxdesignconsultancy.co.uk</small>		<small>w: maxdesignconsultancy.co.uk</small>	
<b>status:</b>			
<b>PLANNING</b>			
<b>client:</b>			
Vimdal Reality Ltd			
<b>project:</b>			
29 Wisbech Road, Long Sutton, Spalding, PE12 9AG			
<b>title:</b>			
Elevations as proposed			
<b>scale:</b>		<b>date:</b>	
1:100@A1		JAN 2022	
<b>project no:</b>	<b>drawn:</b>	<b>number:</b>	<b>rev:</b>
21304	PW	005	-

Notes			
Figured dimensions only to be taken from this drawing.			
Do not scale if in doubt ask.			
Rev	Date	Drawn	Description
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**GROUND FLOOR PLAN 1:50**

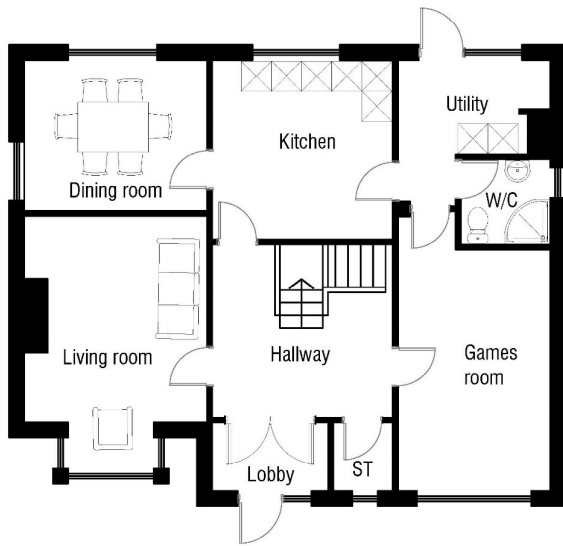


**FIRST FLOOR PLAN 1:50**

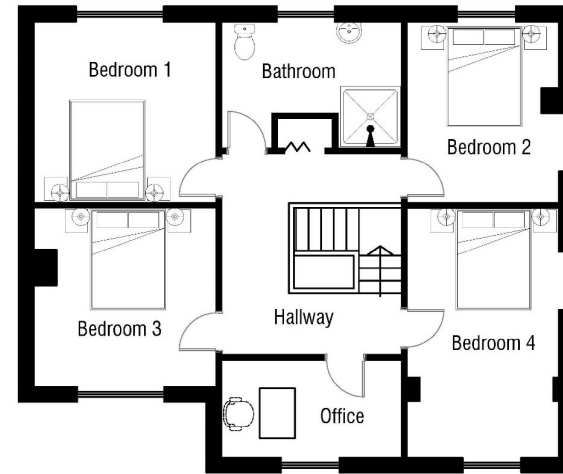


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Architecture   Planning   Consultancy			
<small>Armstrong House, First Avenue, Doncaster DN9 3GA</small>			
<small>t: 01302 867599</small>		<small>m: 07734 939 944</small>	
<small>e: design@maxdesignconsultancy.co.uk</small>		<small>w: maxdesignconsultancy.co.uk</small>	
status:			
<b>PLANNING</b>			
client:			
Vimdal Realty Ltd			
project:			
29 Wisbech Road, Long Sutton, Spalding, PE12 9AG			
title:			
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scale:		date:	
1:50@A1		DEC 2021	
project no.:	drawn:	number:	rev:
21115	OG	001	-

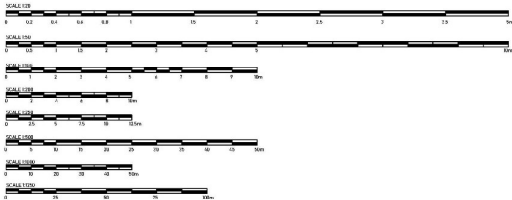
Notes			
Figured dimensions only to be taken from this drawing. Do not scale if in doubt ask.			
Rev	Date	Drawn	Description
-	-	-	-



**GROUND FLOOR PLAN 1:50**



**FIRST FLOOR PLAN 1:50**



**MaxDesign**

Architecture | Planning | Consultancy

Armstrong House, First Avenue, Doncaster DN9 3GA  
 t: 01302 867599 m: 07734 939 944  
 e: design@maxdesignconsultancy.co.uk w: maxdesignconsultancy.co.uk

status: **PLANNING**

client: Vimdal Reality Ltd

project: 29 Wisbech Road, Long Sutton, Spalding, PE12 9AG

title: Floor Plans As Proposed

scale: 1:50@A1 date: JAN 2022

project no: <b>21304</b>	drawn: <b>PW</b>	number: <b>002</b>	rev: <b>-</b>
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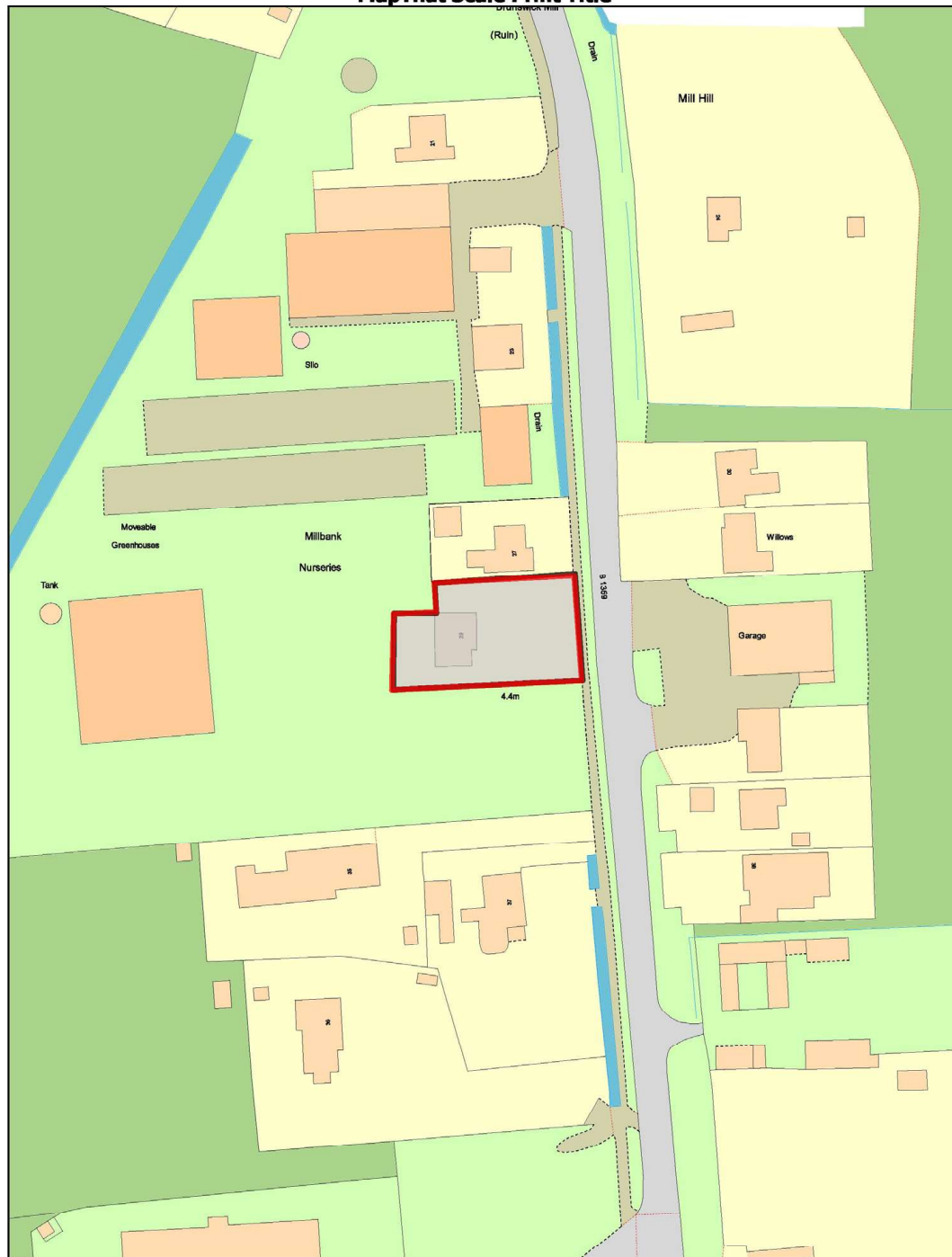






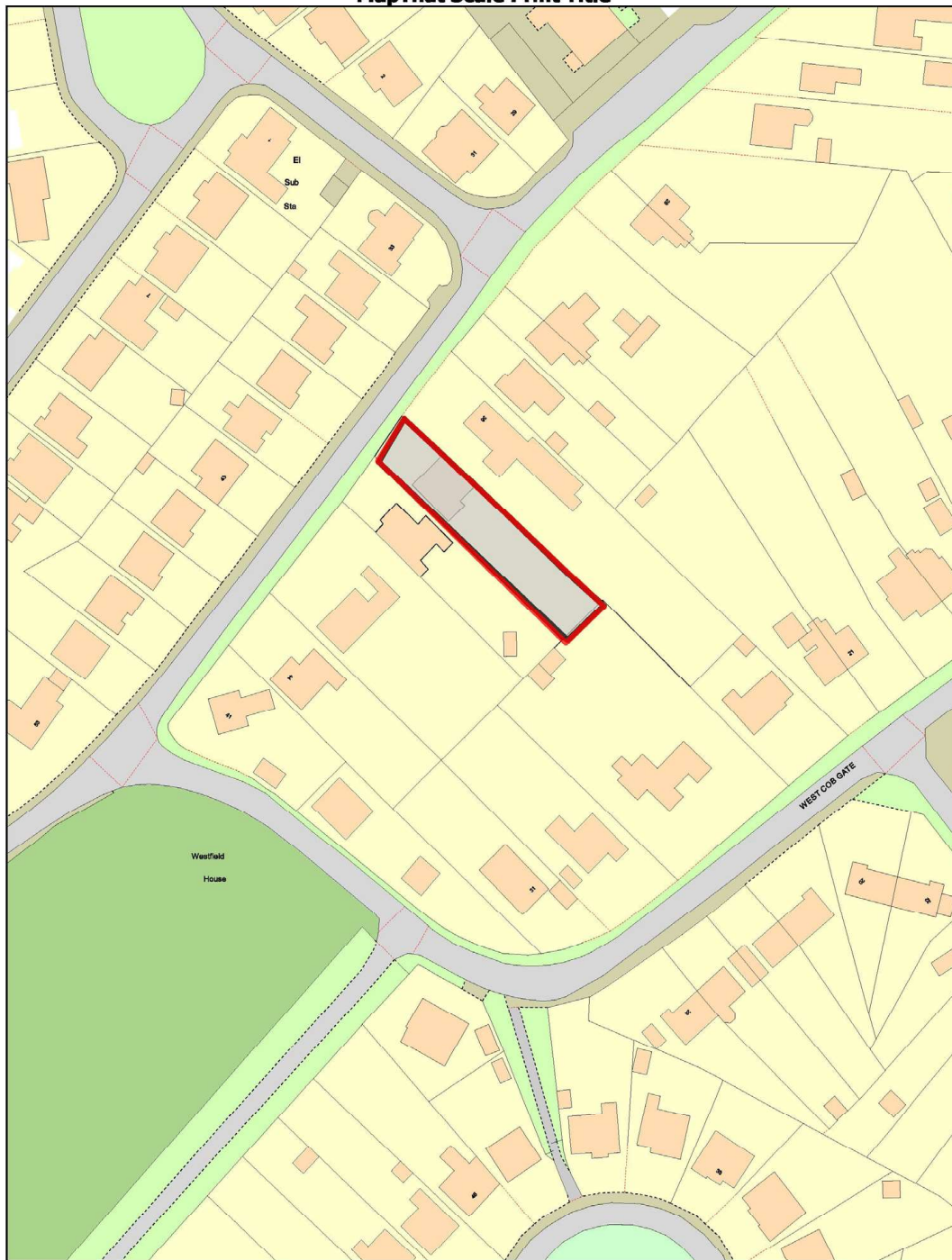


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mapServer



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