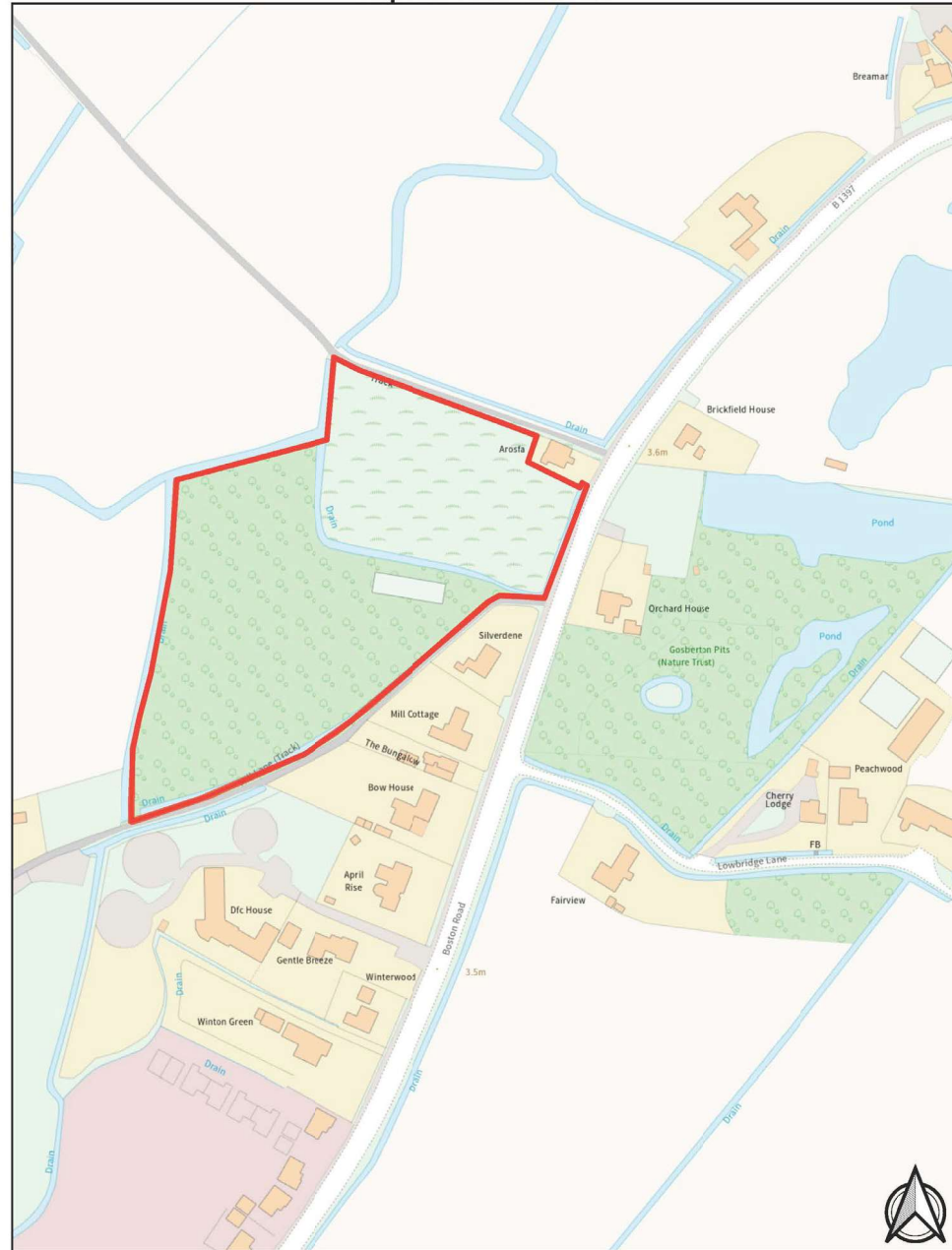


MapThat Scale Print Title



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MAP SCALE 1:2000
CREATED DATE: 01/12/2022
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IN SCALE



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REVISION DATE DRAWN DESCRIPTION



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CLIENT	RTW Construction & Developments Ltd	DRAWN	EG	PROJECT DESIGNER	KB	PROJECT DIRECTOR	KB
PROJECT	Proposed Residential Development on land off Boston Road, Gosberton	DATE	10.11.2021	SCALE	1:1250	PAPER SIZE	A3
DRAWING	Location Plan	DRAWING NUMBER	525.LP.01				



Housetype Schedule

Housetype	Area	Plots	Count
1 Bedroom Affordable House			
The Robin	62.4 m ² (671.7 ft ²)	Plots 10, 11	2
			2
2 Bedroom Affordable House			
The Starling	72.0 m ² (775 ft ²)	Plots 12, 13, 14	3
			3
3 Bedroom House			
The Heron	86.6 m ² (932 ft ²)	Plot 8, 16	2
The Kingfisher	86.8 m ² (934 ft ²)	Plot 15	1
The Swallow	86.6 m ² (932 ft ²)	Plot 9	1
			4
4 Bedroom House			
The Goldfinch	118.8 m ² (1279 ft ²)	Plot 1, 2	2
The Skylark	160.9 m ² (1732 ft ²)	Plot 5, 6	2
The Raven	199.6 m ² (2148 ft ²)	Plot 19	1
The Mallard	172.3 m ² (1855 ft ²)	Plot 3, 18	2
			7
5 Bedroom House			
The Swar	223.0 m ² (2400 ft ²)	Plot 4, 7, 17	3
Type F		Plot 20	1
			4
Total			20

Gross Site Area: 2.03 Hectares (5.01 Acres)
 POS: 0.38 Hectares (0.95 Acres), 19%
 Net Area: 1.65 Hectares (4.06 Acres)

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REV	DATE	BY	DESCRIPTION
1	03.11.2020	EG	Issue for Boston Housing Association
2	04.11.2020	EG	Issue for RWD
3	08.10.2020	EG	Additional consultation with planning submitted
4	02.06.2021	EG	Approved for planning submission to the council
5	02.06.2021	EG	Planning application submitted to the council
6	03.11.2020	EG	Issue for planning application to the council
7	17.12.2020	EG	Approved for planning application to the council
8	16.12.2020	EG	Issue for planning application to the council



CLIENT	R'W Construction & Developments Ltd		
PROJECT	Proposed Residential Development on land off Boston Road, Gosberton		
DRAWING	Site Layout		
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR	
EG	KB	KB	
DATE	SCALE	PAPER SIZE	
10.11.2021	1:500	A1	
DRAWING NUMBER	525.SL.C1		



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Building Types and Quantities	
	300P Detached House 6 NLS
	200P Bungalow 4 NLS
	300P Chalet Bungalow 2 NLS
	200P Terrace House 2 NLS
	100P Semi-Detached 2 NLS

Ref.	Date	Description	Initial
C	10.07.20	Drawing updated in relation to LA changes as follows: 1. 100P House Type Inclusion and substitution for Plots 4 and 5	CLS
B	30.04.20	Drawing updated in relation to SEI changes as follows: 1. Turning head updated. 2. Pumping station compound and access road added. 3. Drains updated. 4. Plot 10 repositioned.	RDL
A	16.04.20	Plots 1 to 5 amended as follows: 1. Plotting repositioned. 2. Garden increased in depth. 3. Houses moved slightly to West. Plot 6 layout altered to allow for these changes. Turning head added to plot 12 & 13.	RDL

Oglesby & Limb Ltd
Chartered Architect

Suite 1, Market Chambers
17 Market Place, Boston, Lincs
PE11 1SE
Tel: 01775 761196
e-mail: design@o-ltd.co.uk

Client:
Steve Grimston

Project:
**Proposed Residential Development,
Boston Road,
Gosberton,
Lincolnshire
PE11 4NR**

Drawing Title:
**Site Layout Plan
As Proposed
PLANNING APPLICATION ISSUE**

Date: **OCT 2019** Scale: **as shown**
Drawn by: **EJU** Checked by: **AJO**

Drawing Number:
A1435 - 11

Rev:
C



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Affordable Housing Scheme Housetype Schedule

1 Bedroom Affordable House			
The Robin	62.4 m ² (671.7 ft ²)	Plots 10, 11	2
			2
2 Bedroom Affordable House			
The Starling	72.0 m ² (775 ft ²)	Plots 12, 13, 14	3
			3
			3
Total			5

Key

- Rented Housing
- First Homes

Affordable Housing Scheme Provider
The affordable housing provider is to be clarified at a later date.

REVISION	DATE	DRAWN	DESCRIPTION
A	12.11.2021	EG	Initial set out plan
B	18.11.2021	EG	Updated to reflect changes to plot 10 and 11
C	18.02.2022	EG	Revised to include Public Open Space and Rented Housing
D	11.08.2022	EG	Updated to include new layout
E	03.02.2023	EG	Final design and layout plan

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CLIENT	RTW Construction & Developments Ltd		
PROJECT	Proposed Residential Development on land off Boston Road, Gosbeaton		
DRAWING	Affordable Housing Plan		
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR	
EG	KB	KB	
DATE	SCALE	PAPER SIZE	
11.11.2021	1:500	A1	
DRAWING NUMBER	525.AHP.01		
Working in partnership with Keighley Charman Associates & Revan Consultants			





- Key**
- Proposed Foul Water Rising Main to Anglian Water Adopted sewer in Medway Close
 - Proposed new foul sewer in new estate road
 - LCC Highway Swale with underdrain adopted by Anglian Water
 - Attenuation Basin within Public Open Space for Storm event attenuation
 - Surface water lateral connections to adopted underdrain
 - New Linear Pond
 - Overland Flow

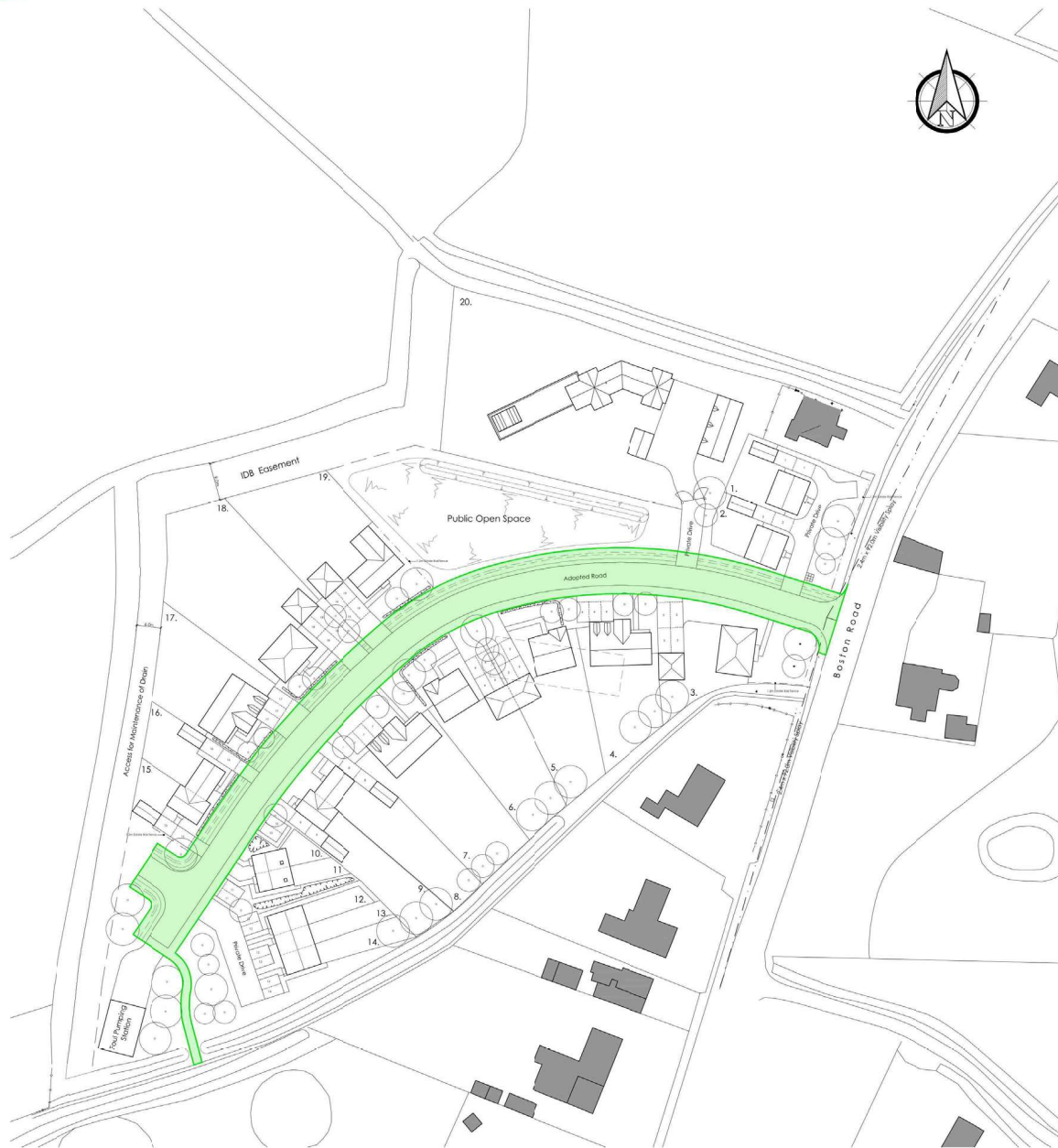
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REVISION	DATE	DRAWN	DESCRIPTION
D	23.11.2022	EG	Revised roof drainage
F	17.11.2022	EG	Revised floor drainage
B	14.11.2022	EG	Updated to new layout
C	18.10.2022	EG	Attenuation basins amended
E	18.08.2022	EG	Overland flow paths updated to site plan
G	10.02.2022	EG	Finalising drainage strategy and revised Level 1st Floor 20' ebbled above
A	22.12.2021	EG	Approved for show and assessment to the drain running West of the site



CLIENT	RTW Construction & Developments Ltd		
PROJECT	Proposed Residential Development on land off Boston Road, Gosberton		
DRAWING	Drainage Strategy		
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR	
EG	KB	KB	
DATE	SCALE	PAPER SIZE	
10.11.2021	1:500	A1	
DRAWING NUMBER	525.DS.01		
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KEY

Areas to be offered to Lincolnshire County Council Highways for adoption under a Section 38 Agreement

NO	DATE	BY	FOR	DESCRIPTION
1	22.11.2022	EG	Rubin-raft-architects	
2	18.10.2022	EG	STUDIO 11 ARCHITECTURE	



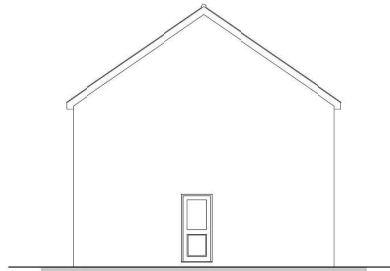
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CLIENT	RTW Construction & Developments Ltd	
PROJECT	Proposed Residential Development on land off Boston Road, Gosbeaton	
DRAWING	Highways Adoptable Areas Plan	
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
OS/EG	KB	KB
DATE	SCALE	PAPER SIZE
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DRAWING NUMBER	525.HAA.01	
<small>Working in partnership with Ralph Chapman Associates & Bevan Colvilles</small>		

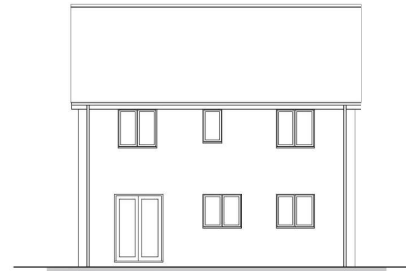




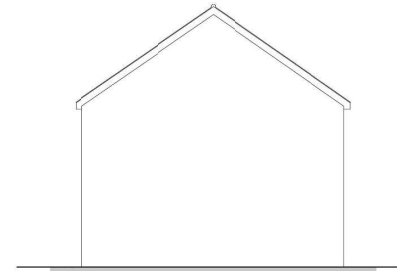
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Side Elevation

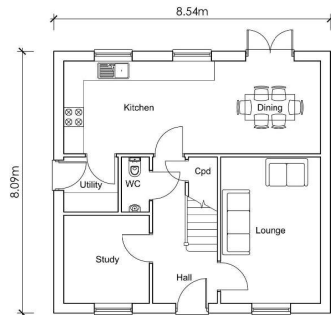


Rear Elevation

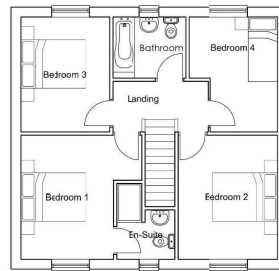


Side Elevation

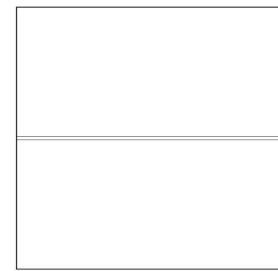
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Ground Floor Plan



First Floor Plan



Roof Plan



REVISION	DATE	DRAWN	DESCRIPTION



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING Golfinch - Floor Plans & Elevations

DRAWN EG	PROJECT DESIGNER KB	PROJECT DIRECTOR KB
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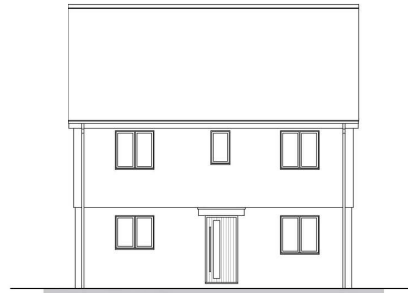
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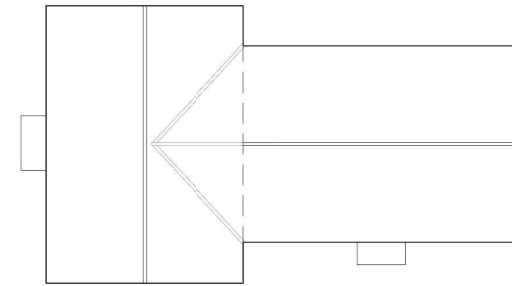
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Front Elevation



Side Elevation

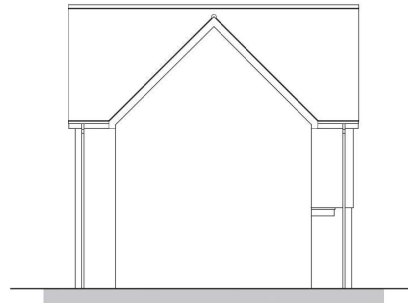


Roof Plan

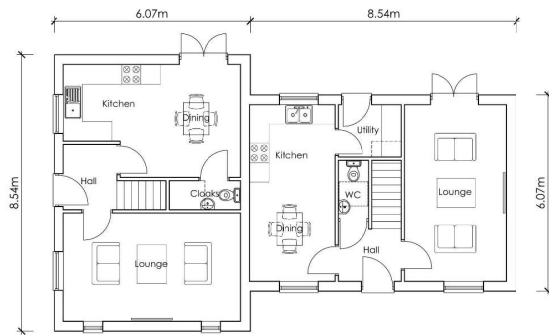
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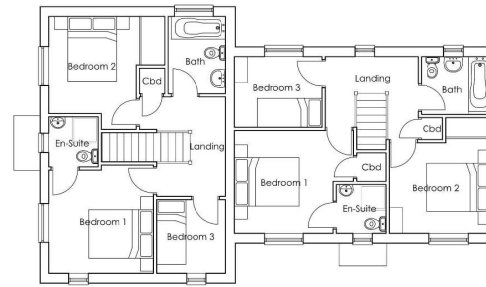
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

REVISION DATE DRAWN DESCRIPTION



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING Kingisher & Heron - Floor Plans & Elevations

DRAWN EG	PROJECT DESIGNER KB	PROJECT DIRECTOR KB
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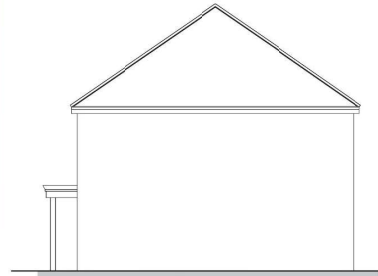
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DRAWING NUMBER 525.Kin&Her.01

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Front Elevation



Side Elevation

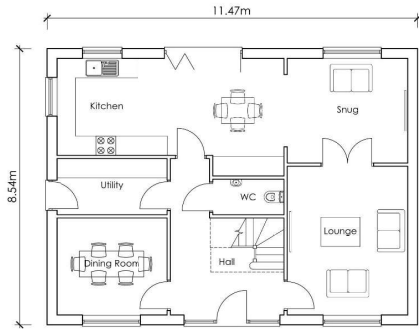


Rear Elevation

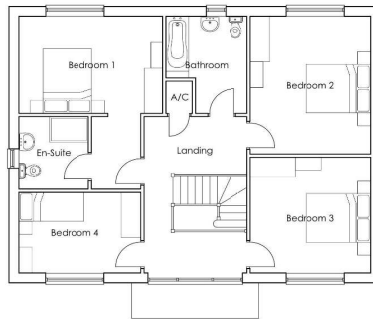


Side Elevation

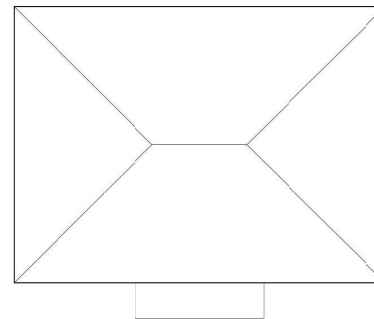
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Ground Floor Plan



First Floor Plan



Roof Plan

REVISION	DATE	OS	DESCRIPTION
A	06.12.2021	OS	Kitchen window on side elevation amended.



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING Mallard - Floor Plans & Elevations

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
EG	KB	KB
DATE	SCALE	PAPER SIZE
10.11.2021	1:100	A2

DRAWING NUMBER 525.Mal.01

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Front Elevation



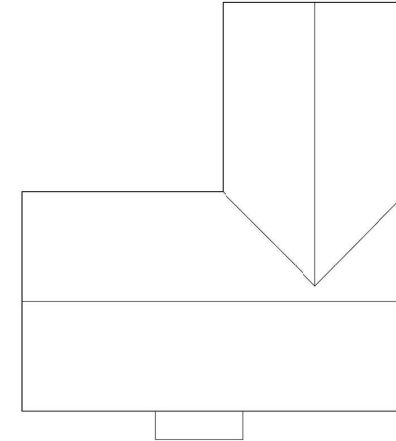
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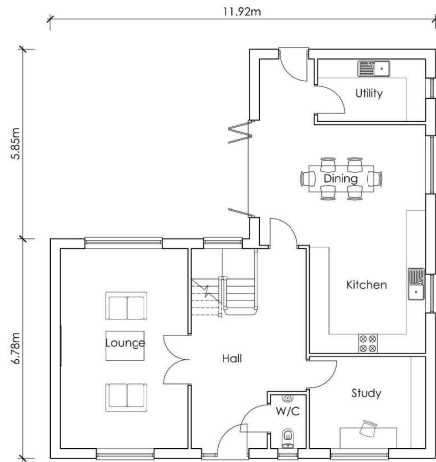
Rear Elevation



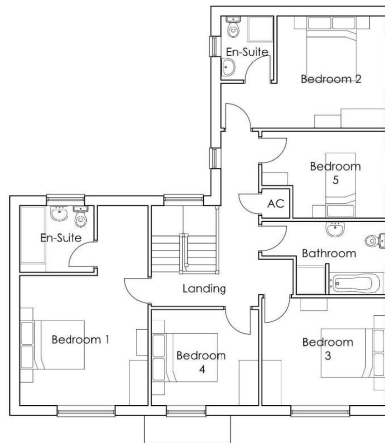
Side Elevation



Roof Plan



Ground Floor Plan



First Floor Plan



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING The Raven - Floor Plans & Elevations

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
EG	KB	KB

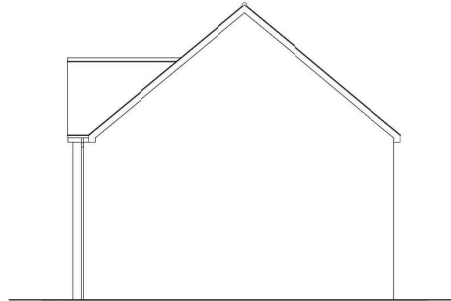
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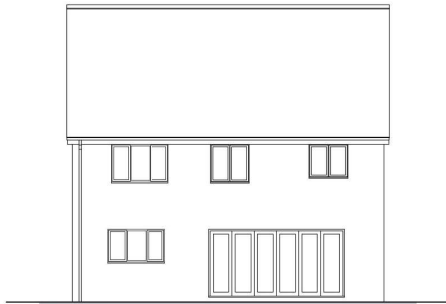
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Front Elevation



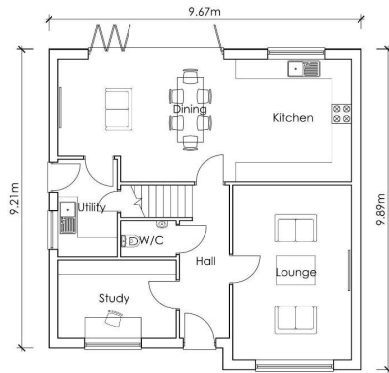
Side Elevation



Rear Elevation



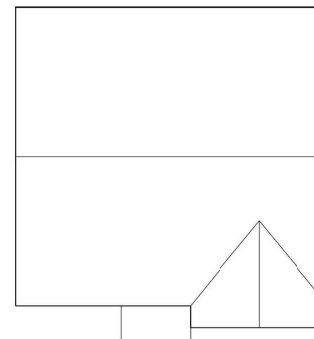
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING The Skylark - Floor Plans & Elevations

DRAWN EG	PROJECT DESIGNER KB	PROJECT DIRECTOR KB
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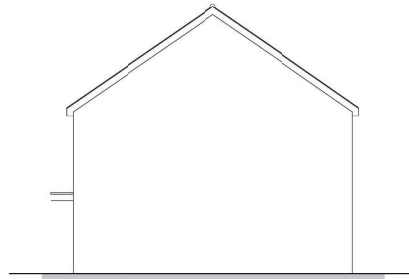
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DRAWING NUMBER 525.Sky.01

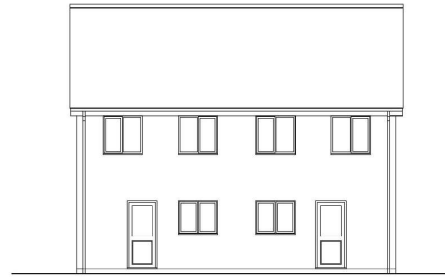
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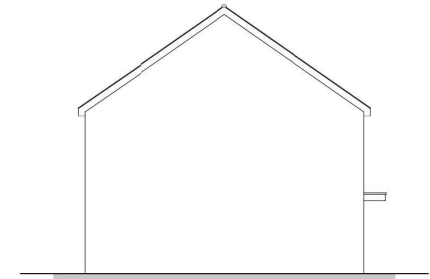
Front Elevation



Side Elevation

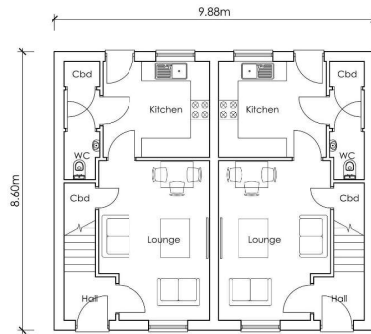


Rear Elevation

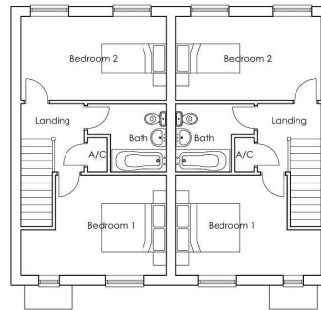


Side Elevation

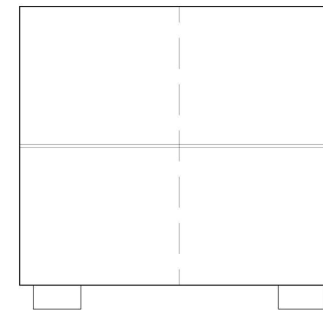
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Ground Floor Plan



First Floor Plan



Roof Plan

ROOM	AREA
LOUNGE	16.14m ²
KITCHEN	9.84m ²
WC	1.52m ²
BEDROOM 1	12.15m ²
BEDROOM 2	11.67m ²
BATHROOM	4.33m ²
STORAGE	2.51m ²
TOTAL AREA	72.0m ²



REVISION DATE DRAWN DESCRIPTION



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING Starlin - Floor Plans & Elevations

DRAWN EG PROJECT DESIGNER KB PROJECT DIRECTOR KB

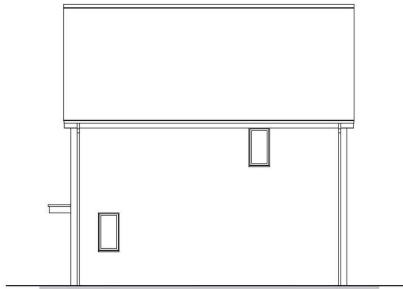
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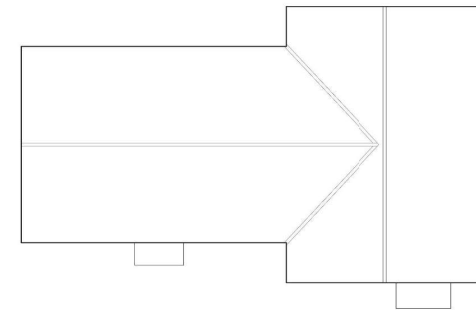
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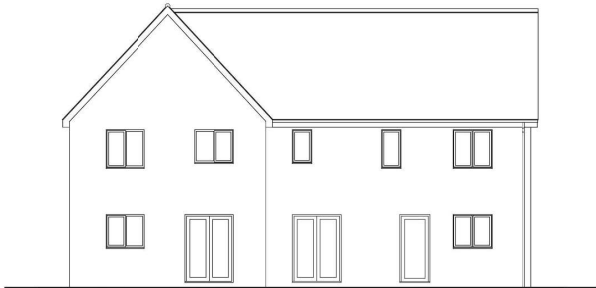
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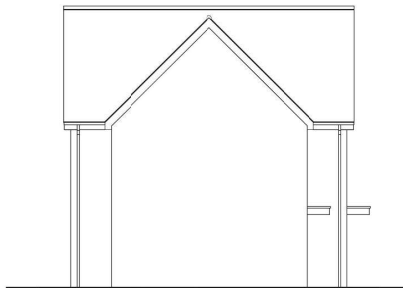
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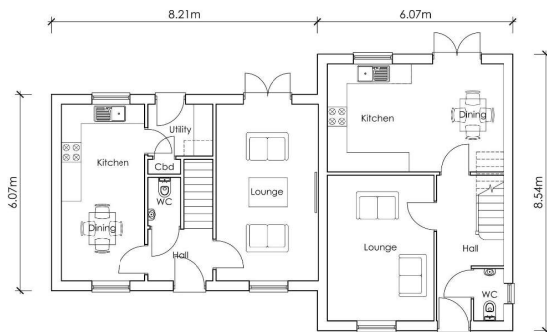
Roof Plan



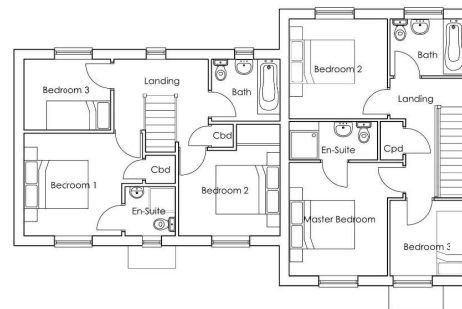
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

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REVISION DATE DRAWN DESCRIPTION



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING Swallow & Heron - Floor Plans & Elevations

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
EG	KB	KB

DATE	SCALE	PAPER SIZE
02.11.2021	1:100	A1

DRAWING NUMBER 525.Swa&Her.01

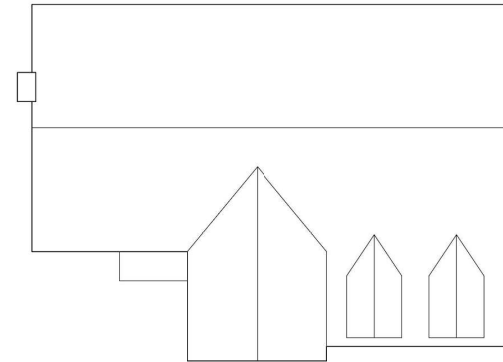
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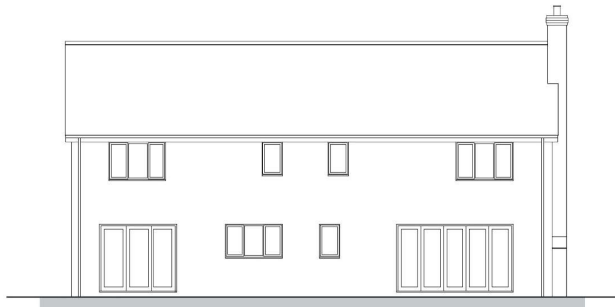
Front Elevation



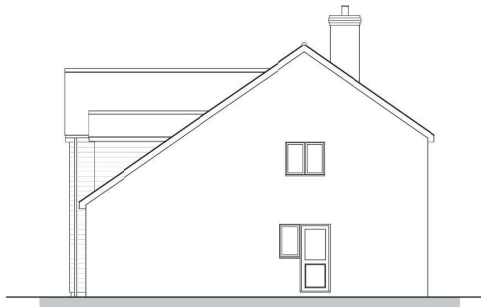
Side Elevation



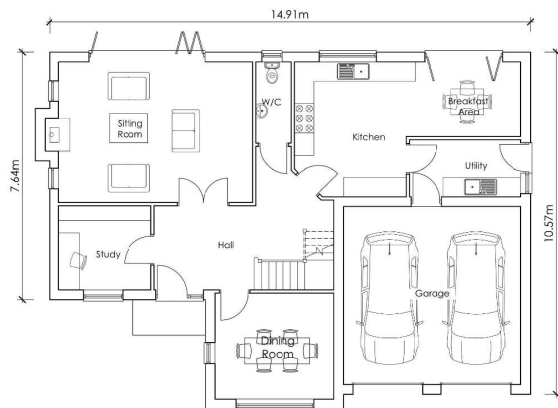
Roof Plan



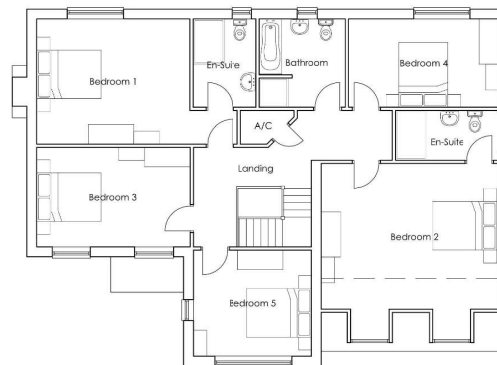
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan



All discrepancies are to be brought to the attention of the below office.
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REVISION	DATE	DRAWN	DESCRIPTION
A	10.02.2022	OS	Windows added.



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

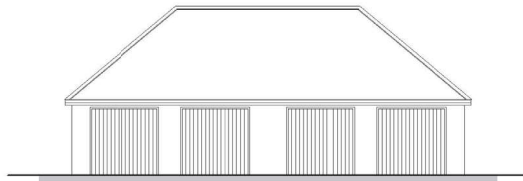
DRAWING The Swan - Floor Plans & Elevations

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
EG	KB	KB
DATE	SCALE	PAPER SIZE
11.11.2021	1:100	A2

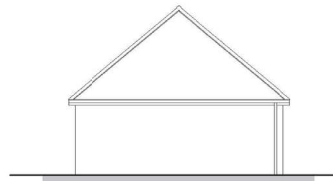
DRAWING NUMBER 525.Swan.P.01

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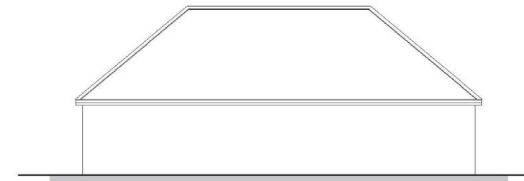
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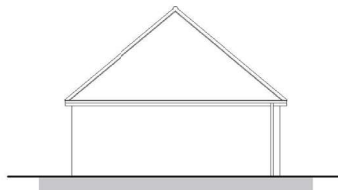
Front Elevation



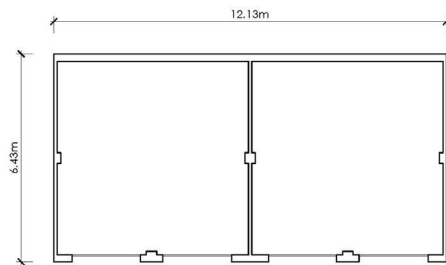
Side Elevation



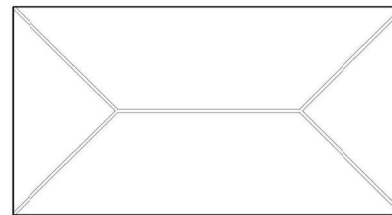
Rear Elevation



Side Elevation



Ground Floor Plan



Roof Plan



REVISION DATE DRAWN DESCRIPTION



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING Twin Double Garage - Floor Plans & Elevations

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
OS	KB	KB

DATE	SCALE	PAPER SIZE
03.12.2021	1:100	A2

DRAWING NUMBER 525.TDG.P.01

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South (Front) Elevation



Images showing material pallet



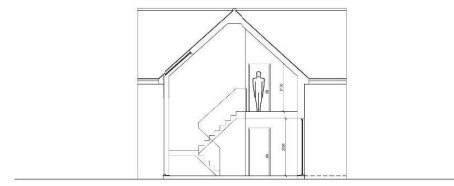
East (Side) Elevation



Section A-A



West (Side) Elevation



Section B-B



North (Back) Elevation

- KEY
1. Slate tiles
 2. Brick
 3. Timber Cladding
 4. UPVC or Aluminum windows
 5. Timber or UPVC Door
 6. Metal Cladding
 7. Dray RWP



REVISION DATE DRAWN DESCRIPTION

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CLIENT RTW Construction & Developments Ltd

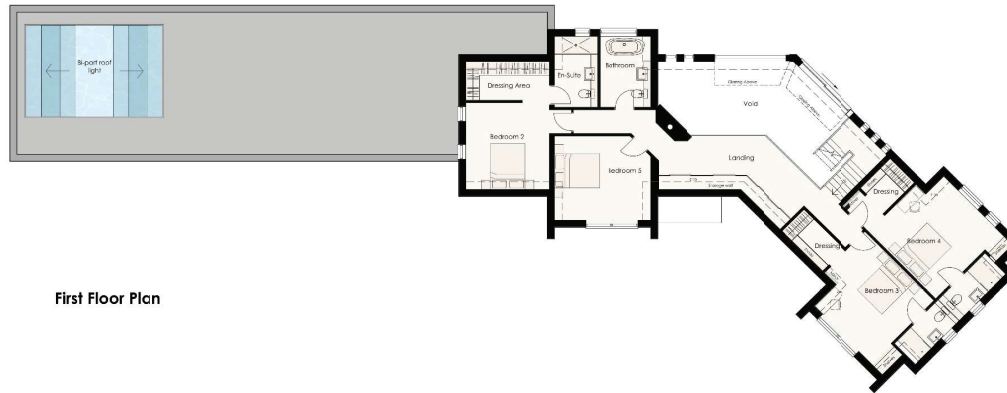
PROJECT Plot 20 on land off Boston Road,
Gosberton

DRAWING Proposed Elevations and Sections

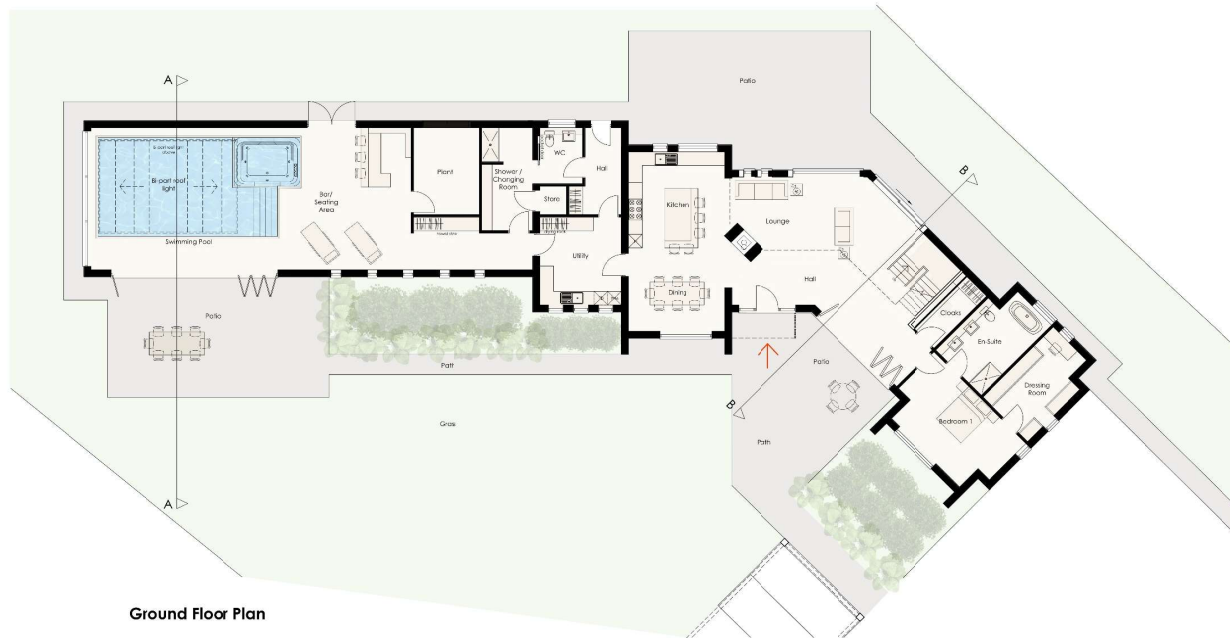
DRAWN PROJECT DESIGNER PROJECT DIRECTOR
EG AK KB

DATE SCALE PAPER SIZE
25.10.2022 1:100 A1

DRAWING NUMBER 525.P20.02



First Floor Plan



Ground Floor Plan

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Swimming pool examples with flat roof and roof light



Glass stair example



REVISED DATE DRAWN DESCRIPTION



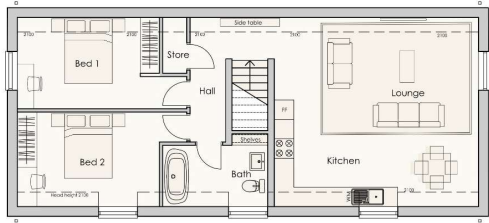
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CLIENT RTW Construction & Developments Ltd

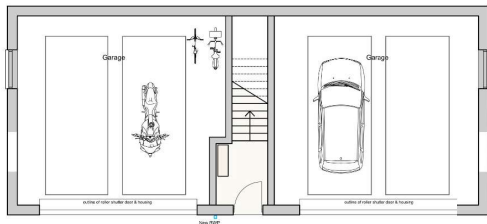
PROJECT Plot 20 on land off Boston Road, Gosberton

DRAWING Proposed Floor Plans

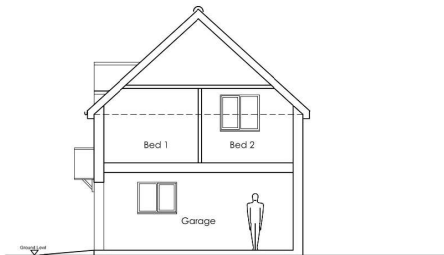
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
EG	AK	KB
DATE	SCALE	PAPER SIZE
25.10.2022	1:100	A1
DRAWING NUMBER	525.P20.01	



First Floor Plan



Ground Floor Plan



Front (West) Elevation



Side (South) Elevation



Side (North) Elevation



Back (East) Elevation

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KEY

1. Slate tiles
2. Brick
3. Timber Cladding
4. UPVC or Aluminum windows
5. Timber or UPVC Door
6. Metal Cladding
7. Dray RWP

REVISION DATE DRAWN DESCRIPTION



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architecture

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CLIENT RTW Construction & Developments Ltd

PROJECT Plot 20 on land off Boston Road,
Gosberton

DRAWING Proposed Garage Floor Plans &
Elevations

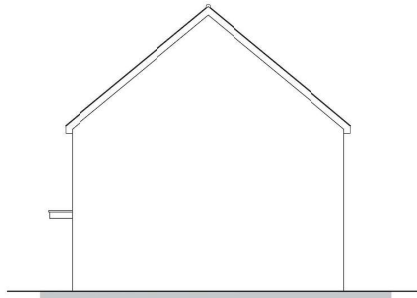
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
EG	AK	KB

DATE	SCALE	PAPER SIZE
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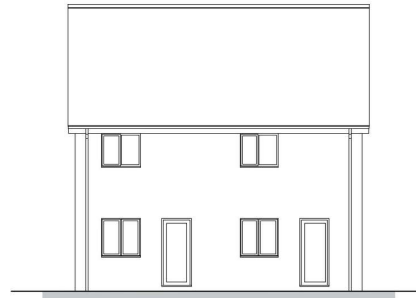
DRAWING NUMBER 525.P20.03



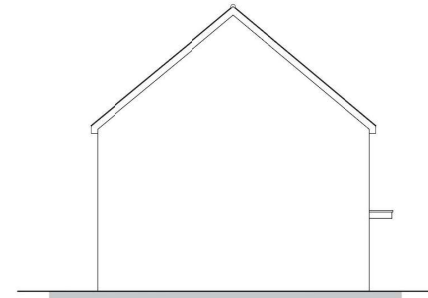
Front Elevation



Side Elevation

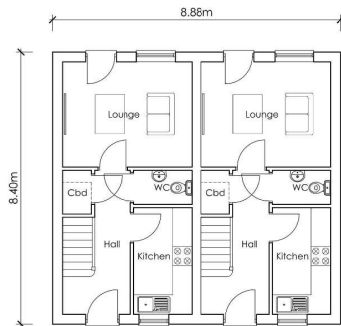


Rear Elevation

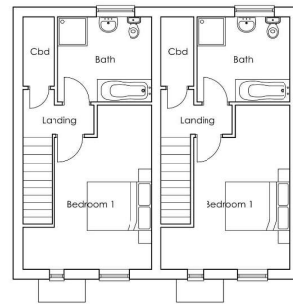


Side Elevation

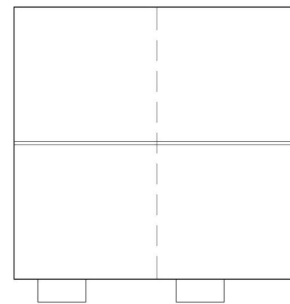
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Ground Floor Plan



First Floor Plan



Roof Plan

ROOM AREAS	
ROOM	AREA
LOUNGE	13.0m ²
KITCHEN	3.94m ²
WC	1.89m ²
BEDROOM 1	13.21m ²
BATHROOM	2.61m ²
STORAGE	3.32m ²
TOTAL AREA	62.4m ²

REVISION DATE DRAWN DESCRIPTION



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CLIENT RTW Construction & Developments Ltd

PROJECT Proposed residential development off Boston Road, Gosberton

DRAWING The Robin - Floor Plans & Elevations

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
EG	KB	KB
DATE	SCALE	PAPER SIZE
18.10.2022	1:100	A2

DRAWING NUMBER
525.Rob.P.01

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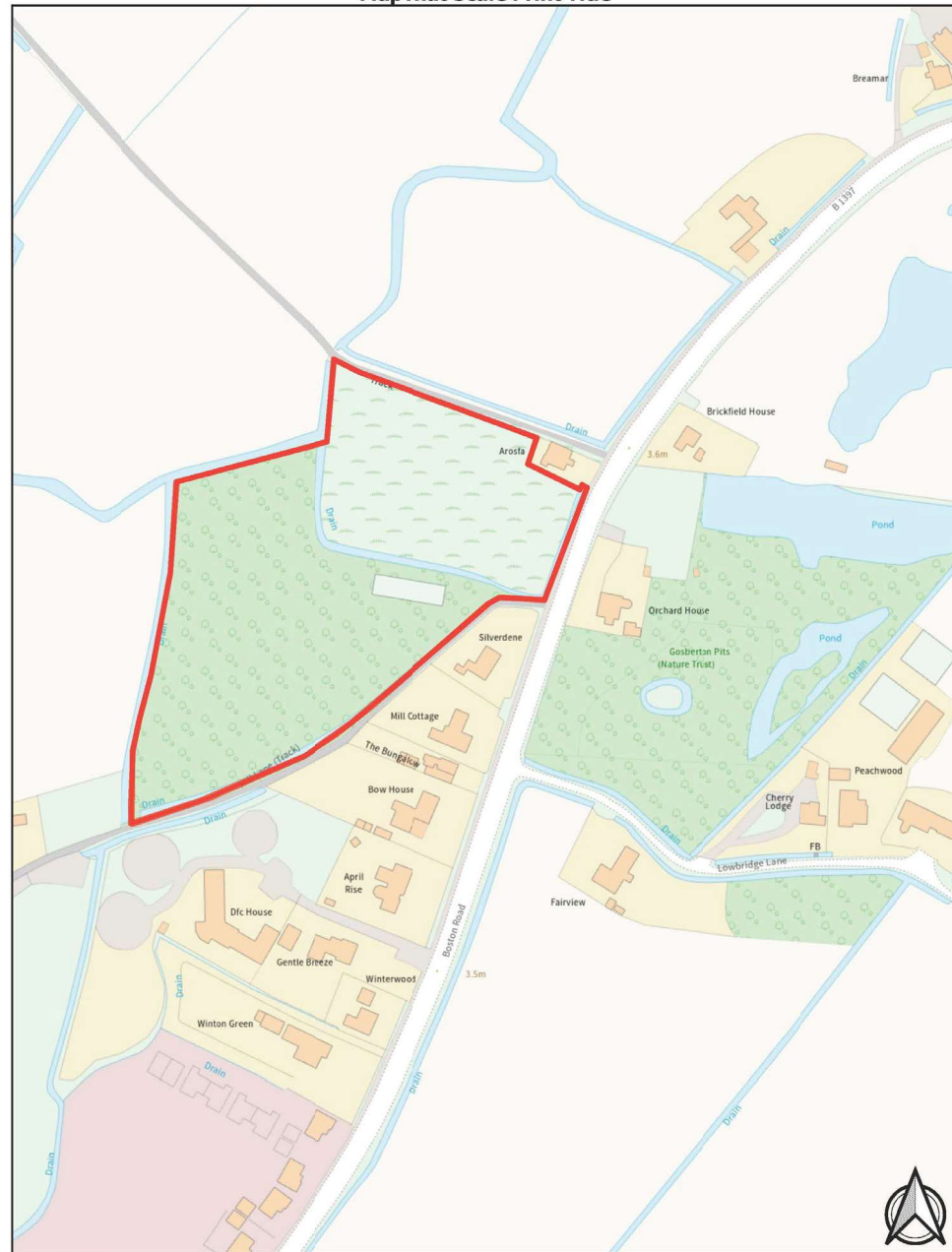








MapThat Scale Print Title



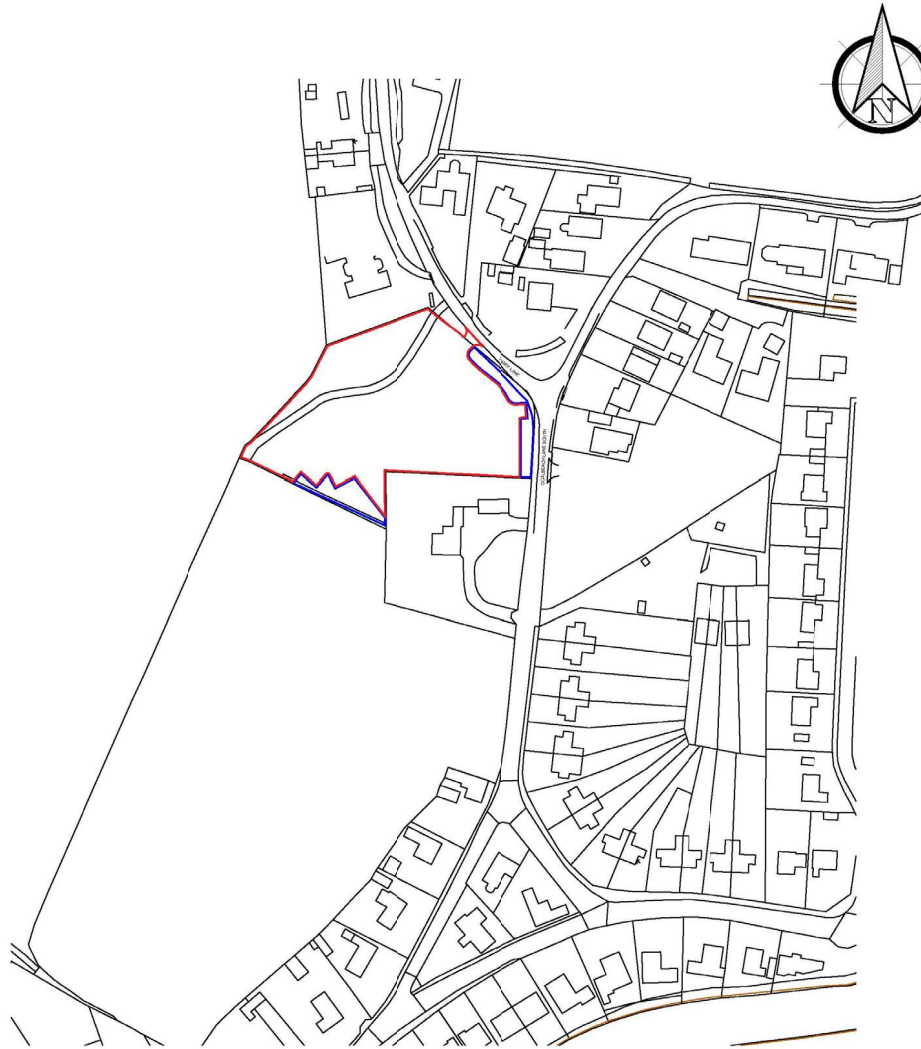
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MAP SCALE 1:2000
CREATED DATE: 01/12/2022
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IN SCALE



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25m 0 25 50 75
1:1250

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CLIENT NNA Surfleet LTD
PROJECT Proposed residential development off
Thay Lane, Surfleet

DRAWING Location Plan

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
AK	AK	KB
DATE	SCALE	PAPER SIZE
30.01.2022	1:1250	A2

DRAWING NUMBER 524.PL.01

KEY

-  Existing Trees to be removed
-  Existing Trees to be retained
-  Existing Hedges to be retained
-  New tree planting



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CD	30.11.22	ED	Final design/permissions
AC	29.08.22	AK	Architectural drawings
REVISED BY	DATE	REASON	DESCRIPTION



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CLIENT	NNA Surfleet LTD		
PROJECT	Proposed residential development off Thary Lane, Surfleet		
DRAWING	Illustrative Site Plan		
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR	
AK	AK	KB	
DATE	SCALE	PAPER SIZE	
30.03.2022	1:200	A1	
DRAWING NUMBER	524.PL.19		



Front Elevation

Slate Roof
Gray Fascia
UPVC Windows
Natural Timber Cladding
Brick Head Detail
Gray modern door
Red Brick



Side Elevation



Side Elevation



Rear Elevation

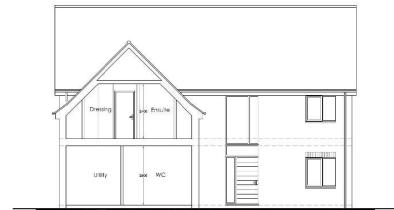
Gray Aluminium door



Ground Floor Plan



First Floor Plan



Section



REVISION	DATE	DRAWN	DESCRIPTION
A	30.03.2022	AK	APPROVED TO THE MAIN CONTRACT



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CLIENT	NKA Surfleet LTD	
PROJECT	Proposed residential development off Thury Lane, Surfleet	
DRAWING	Plot 1 - Illustrative Floor Plans & Elevations	

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
AK	AK	KB
DATE	SCALE	PAPER SIZE
18.03.2022	1:100	A1
DRAWING NUMBER	S24.PL.03	



Front Elevation

Slate Roof
Gray Fascia
Buff Brick
UPVC Windows
Brick Head Detail
Gray modern door



Side Elevation

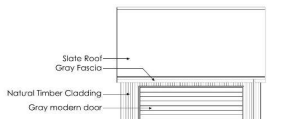


Side Elevation



Rear Elevation

Gray Aluminum door



Front Elevation

Slate Roof
Gray Fascia
Natural Timber Cladding
Gray modern door



Side Elevation



Side Elevation



Rear Elevation



Ground Floor Plan



First Floor Plan



Section



REVISION	DATE	DRAWN	DESCRIPTION
A	31.03.2022	AK	Amendations to the brickwork detail



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CLIENT	NKA Surfleet LTD		
PROJECT	Proposed residential development off Trury Lane, Surfleet		
DRAWING	Plot 2 - Illustrative Floor Plans, Elevations and Section		

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
AK	AK	KB
DATE	SCALE	PAPER SIZE
18.03.2022	1:100	A1
DRAWING NUMBER	S24.PL.04	



Front Elevation



Side Elevation



Side Elevation



Rear Elevation



Ground Floor Plan



First Floor Plan



Section



NO.	DATE	DESCRIPTION
A	18.03.2022	Approval to the client



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CLIENT	NKA Surfleet LTD	
PROJECT	Proposed residential development off Thray Lane, Surfleet	
DRAWING	Plot 3 - Illustrative Floor Plans, Elevations and Section	
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
AK	AK	KB
DATE	SCALE	PAPER SIZE
18.03.2022	1:100	A1
DRAWING NUMBER	S24.PL.05	



Front Elevation



Side Elevation



Side Elevation



Rear Elevation

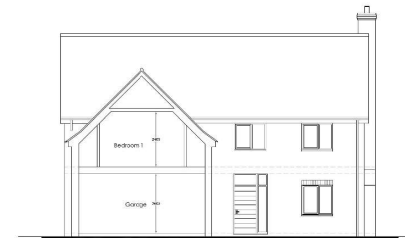
Gray Aluminium door



Ground Floor Plan



First Floor Plan



Section



REVISION	DATE	DRAWN	DESCRIPTION
A	30.06.2022	AK	Amendments to the work submitted.



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CLIENT	NKA Surfleet LTD		
PROJECT	Proposed residential development off Thray Lane, Surfleet		
DRAWING	Plot 4 - Illustrative Floor Plans, Elevations and Section		
DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR	
AK	AK	KB	
DATE	SCALE	PAPER SIZE	
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DRAWING NUMBER	S24.PL.05		



Front Elevation

Side Elevation

Side Elevation

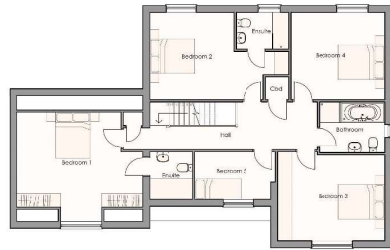
Rear Elevation

- Slate Roof
- UPVC Windows
- Grey Facade
- Natural Timber Cladding
- Brick Head Detail
- Grey modern door
- Red Brick
- Grey modern garage door

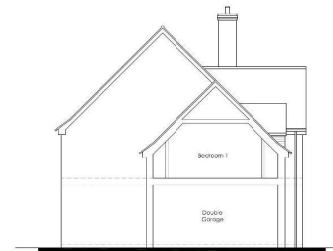
Grey Aluminum door



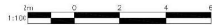
Ground Floor Plan



First Floor Plan



Section



NO	DATE	BY	DESCRIPTION
A	30.06.2022	AK	APPROVED TO THE MAIN DEVELOPER



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CLIENT	NNA Surfleet LTD		
PROJECT	Proposed residential development off Thry Lane, Surfleet		
DRAWING	Plot 5 - Illustrative Floor Plans, Elevations and Section		

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
AK	AK	KB
DATE	SCALE	PAPER SIZE
18.03.2022	1:100	A1
DRAWING NUMBER	S24.PL.07	



Front Elevation



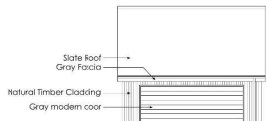
Side Elevation



Side Elevation



Rear Elevation



Front Elevation



Side Elevation



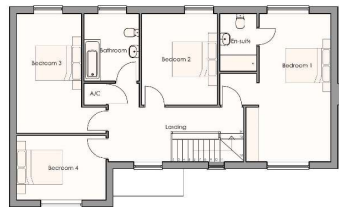
Side Elevation



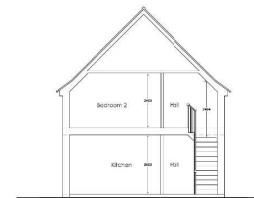
Rear Elevation



Ground Floor Plan



First Floor Plan



Section



REVISION	DATE	DRAWN	DESCRIPTION
A	30.06.2022	AK	PROVISION TO THE KISS APPROVAL



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CLIENT: NKA Surfleet LTD
PROJECT: Proposed residential development off Thury Lane, Surfleet
DRAWING: Plot 4 - Illustrative Floor Plans, Elevations and Section

DRAWN	PROJECT DESIGNER	PROJECT DIRECTOR
AK	AK	KB
DATE	SCALE	PAPER SIZE
18.03.2022	1:100	A1

DRAWING NUMBER: S24.PL.03

TREE PROTECTION AND METHOD STATEMENT

INSTRUCTION

This Arboricultural Method Statement was commissioned by the Client to propose a methodology for the management and protection of the trees on or adjacent to the site in order to accompany a planning application. The trees were inspected in line with the recommendations of BS5837:2012 in March 2022.

TREE WORK

PEOPLE	DUTY	TIME
Suitably qualified person	<ul style="list-style-type: none"> Carry out the necessary inspections for bats and nesting birds write on start date 	Before any activity on site
Arboricultural Consultant	<ul style="list-style-type: none"> meet with contractors to discuss the treeworks needed 	Before any activity on site
Contractor	<ul style="list-style-type: none"> produce their own Method Statement for tree works that will include Risk Assessments, staff profiles and certificates machinery and equipment inspection records and certificates agree disposal of timber, brush and other arisings 	Before work begins
Client	<ul style="list-style-type: none"> agree disposal of timber, brush and other arisings 	Before work begins

GENERAL

- Tree work must be the first operation, before any other activity on site involving plant, machinery or materials.
- Tree work is skilled and potentially dangerous work, which must be carried out by trained and certificated staff working to BS3900:2020 and working in accordance with the various Regulations within the Health and Safety at Work Act 1974
- Contractor must have Public Liability Insurance (preferably £5 million) and Employer's Liability Insurance (preferably £10 million)
- Machinery and equipment must be maintained, inspected and operated in accordance with the various Regulations within the Health and Safety at Work Act 1974

WORK REQUIRED

Remove the following trees:	
9256	Flowering Cherry
9257	Cow Pine
9258	Flowering Cherry
9261	Hawthorn, Plum
9262	Flowering Cherry
9263	Cockspur Thorn
9264	Berberis
9265	Flowering Cherry
9267	Flowering Cherry
9269	Line
9270	Line
9271	Walnut
9272	Birch
9273	Flowering Cherry
9273	Silver Birch

- Remove dead wood greater than 25mm Ø from Walnut 9260 and Norway Maple 9265
- Lift the crown of Walnut 9259 to 5m above existing ground level
- Lift the crown of Walnut 9260 to 2.4m above existing ground level
- Laterally reduce the north and eastern crown of Norway Maple 9265 by up to 2m to facilitate development
- Lift the crown of Blue Alder 9268 to 5m above existing ground level
- Cut Group A to 600mm in height and trim sides

TREE PROTECTION

PEOPLE	DUTY	TIME
Arboricultural Consultant	<ul style="list-style-type: none"> inspect barriers attend during excavations for road construction 	Before construction begins
Site Manager	<ul style="list-style-type: none"> monitor the physical and managed protective tree measures continuously 	During construction

GENERAL NOTES

- The Site Manager will keep a copy of this Plan on site for reference during construction and for site induction where staff or contractors' work may implicate working near trees so they understand the purpose of the measures.
- No fires will be lit on site where flames can reach within 5m of the crown of a tree taking the size of the fire, wind speed and direction into account
- No storage or discharge of materials within 5 metres of a tree bole
- No mixing of cement or dispersing of fuel or chemicals within 15 metres of the tree bole
- Any damage that occurs to the trees during construction will be notified to BS3900:2020
- Trees must not be used as anchor points for winching or for supporting wires/cables
- Plants will be tied and secured at least 30 metres from the edge of the Root Protection Area
- Any plant with known fuel or other fluid leaks will only be operated near the trees when the leaks can be retained in absorbent mats or trays

GENERAL CONSTRUCTION PHASE

NO.	MATERIALS	NOTES
1	Wellbush panels on robust scaffold frame	Once the treeworks are complete, a barrier to Fig 2 BS5837 will be erected where shown by the local Blue Line. (See notes on barriers below)
2	Scaffold boards	Ground within the root protection area of trees that cannot be fenced will be protected with scaffold planks laid over 50mm thick covering of chipped woodchips
	A quantity of chipped woodchips	Woodchips will be used before any construction starts and be retained in situ until the end of the main development period. Area for ground protection areas shown by the blue crosshatch on the drawing

NOTES ON BARRIERS

- Weather-proof notice stating "PROTECTED AREA - DO NOT ENTER" to be erected on barriers not less than 5m apart (example on plan)
- The site manager will assess the integrity of the protective barrier protection measures continuously. Any shortcomings must be notified to the original specifications immediately.
- Barriers will remain in place until the end of the main construction period.

NOTES ON EXCAVATION FOR ROAD CONSTRUCTION

- The areas for excavation within Root Protection Areas will be hatched with aerosol paint to draw attention to the intended excavations area before works start.
- Roots less than 20mm Ø will be ignored
- Roots greater than 20mm Ø will be cut back to a union using sharp bypass secateurs in accordance with British Standard BS3900:2020 "Tree work - recommendations"
- Any exposed root will be covered with hessian until granular material can be placed over the roots.

NOTES ON INSTALLATION OF SERVICES

- Any trenching for the installation of services or other excavations for soakways etc. will be located at least 1m from the radial extent of the RPA's shown.

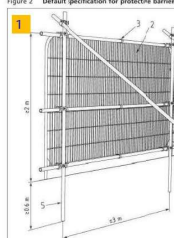
POST CONSTRUCTION

- Once all the construction and hard landscaping works are completed, the protective barriers and ground protection will be removed before landscaping work begins.
- Soil cultivation within the previously protected zones will be carried out by hand only. No machine cultivation will take place within these zones whatsoever.
- Planting within the previously protected zones will be carried out by hand using hand tools only.
- Retained trees will be re-inspected post-development by a qualified arboriculturalist and any works arising carried out within the time limits specified.

NOTES ON PAVING

- Paving laid within root protection areas will be constructed with a minimum of excavation. Excavation will be limited to 50mm below the existing ground level.

Figure 2 Default specification for protective barrier

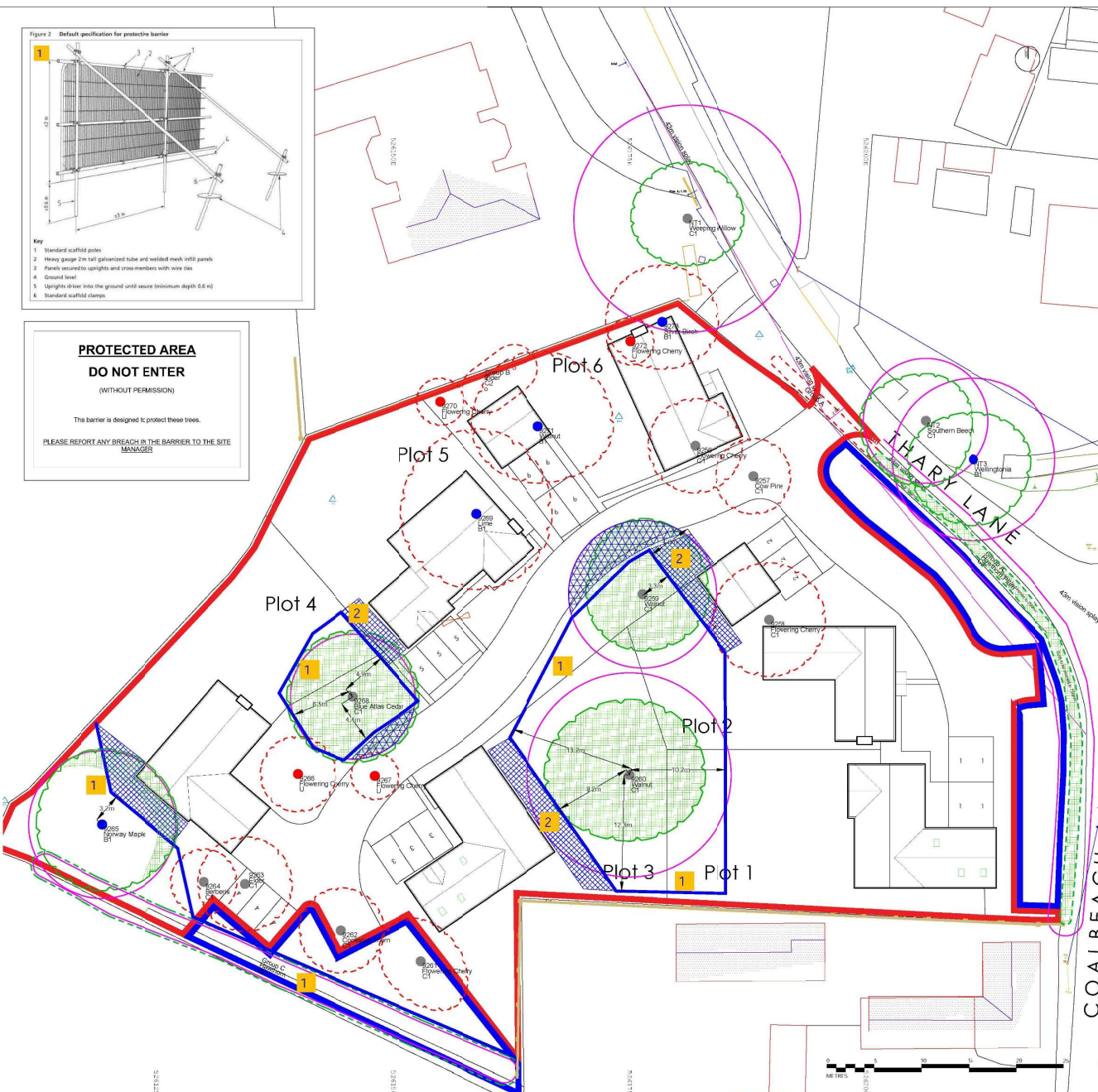


- Key**
- Standard scaffold poles
 - Heavy gauge 2m tall galvanneal tube and welded mesh infill panels
 - Panels secured by uprights and cross-members with wire ties
 - Ground level
 - Uprights driven into the ground until secure (minimum depth 0.6m)
 - Standard scaffold clamps

PROTECTED AREA DO NOT ENTER
(WITHOUT PERMISSION)

The barrier is designed to protect these trees.

PLEASE REPORT ANY BREACH IN THE BARRIER TO THE SITE MANAGER



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NOTE: S: Based on survey drawing 2202-212 and proposed site plan 6/24/PL/08

..... indicates tree edge and not to be taken upon

- KEY**
- ROOT PROTECTION AREA
 - CANOPY OUTLINE - INDIVIDUAL TREE
 - CANOPY OUTLINE - GROUPS
 - HILLS TO BE MAINTAINED
 - BARRIER TO FIG 2: BS5837
 - AREA FOR PAVING
 - GROUND PROTECTED WITH BOARDS

Rev	Description	Date
1	Prepared for Issue	

Planning

Andrew Bealon
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Station Road, Uppington
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e: andrew@bealonarboriculture.co.uk

Client
NNA Surf et Ltd

Project
Land off Thary Lane, Surfleet

Drawing Title
TREE PROTECTION PLAN

Drawn	Checked	Date
AMB		20/10/2022
Job No.	Scale	Sheet Size
4558	1:200	A1
Drawing Number	Revision	
4558_Thary Studio11TTP		

































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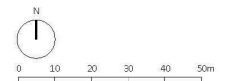
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Client
 Opperman Plants Ltd

Project
 Glasshouse development
 Low Fulney

Drawing
 Location Plan

Scale @ A3 1: 1250	Date 14/09/22
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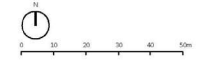
Drawn By WW	Checked By RJCD
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Job Number 1540-1	Status PL	Purpose of Issue Planning
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Drawing No. 1540-1_PL_LP01	Rev -
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Rev	Description	Date
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Client
 Opperman Plants Ltd
Project
 Glasshouse development
 Low Fulney

Drawing
 Existing Site Plan

Scale @ A2 1:1000	Date 24/09/22
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Drawn By WW	Checked By RJCD
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Job Number 1540-1	Status PL	Purpose of Issue Planning
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Drawing No. 1540-1_PL_SP01	Rev -
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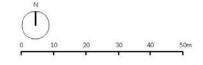
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Rev	Description	Date
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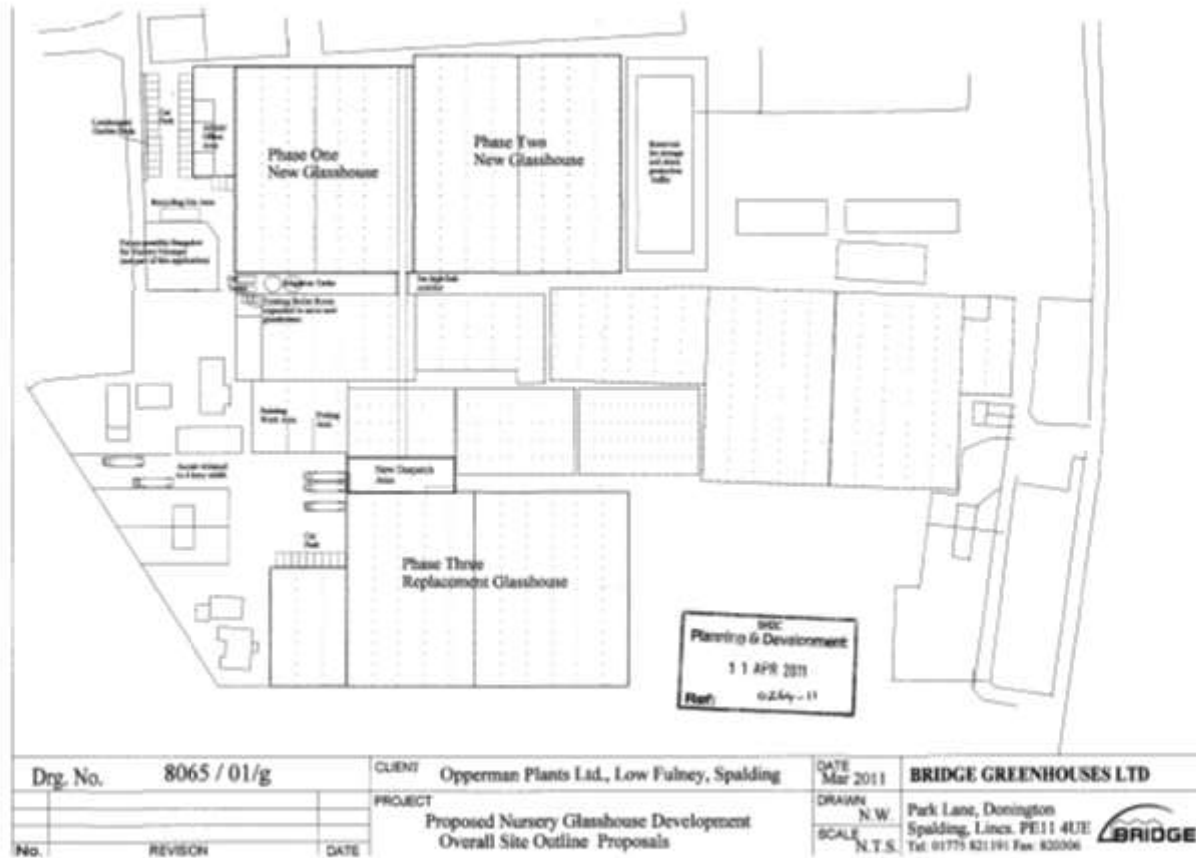
Tel: 01529 421646
 Email: admin@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

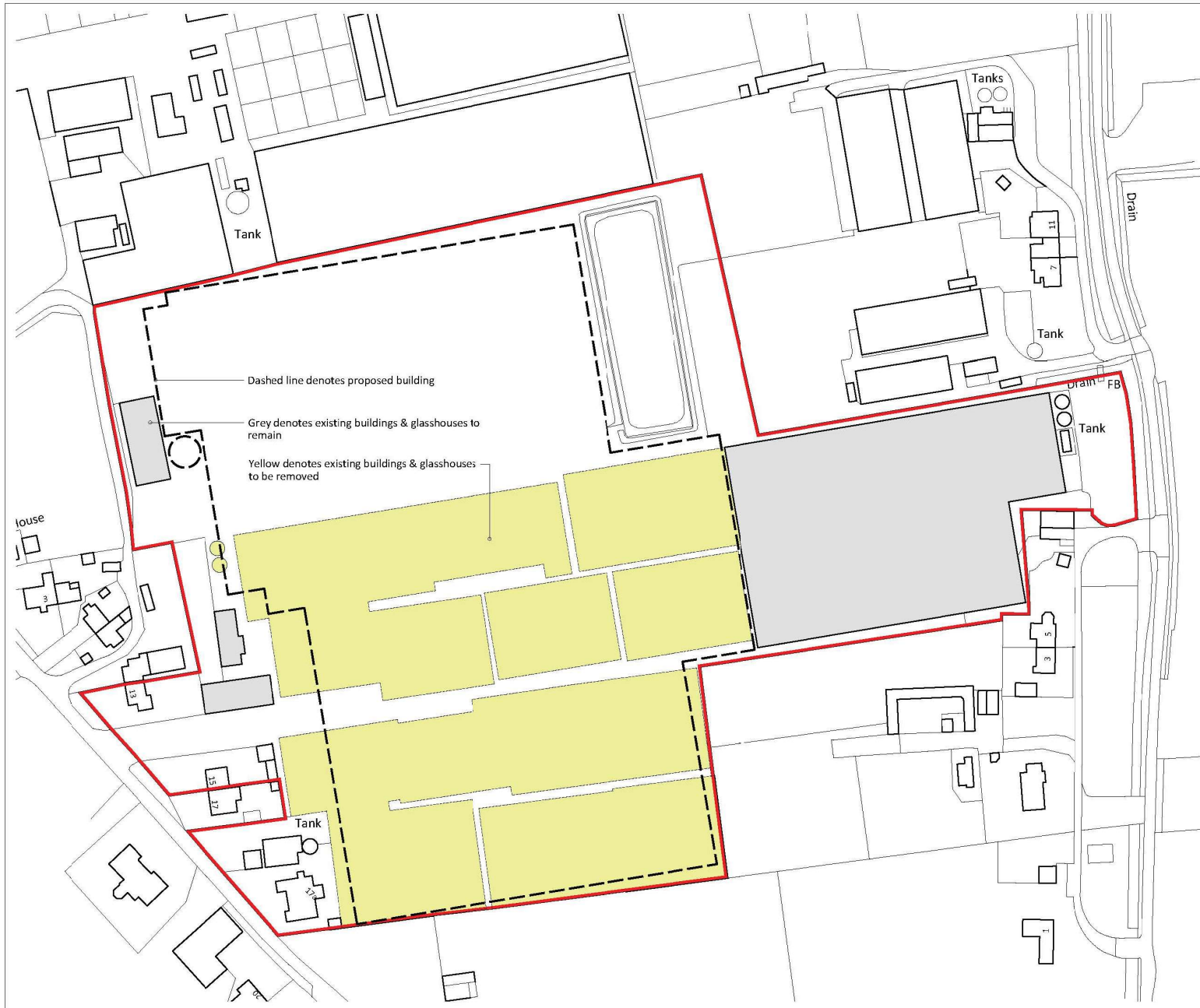
Client
 Opperman Plants Ltd

Project
 Glasshouse development
 Low Fulney

Drawing		
Proposed Site Plan		
Scale @ A2	Date	
1:1000	24/09/22	
Drawn By	Checked By	
WW	RJCD	
Job Number	Status	Purpose of Issue
1540-1	PL	Planning
Drawing No.		Rev
1540-1_PL_SP02		-

Planning Permission Granted under Reference: H16-0264-11 on 12th April 2011 which is Extant





Dashed line denotes proposed building

Grey denotes existing buildings & glasshouses to remain

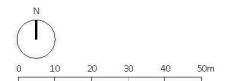
Yellow denotes existing buildings & glasshouses to be removed

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Rev	Description	Date
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Client
 Opperman Plants Ltd

Project
 Glasshouse development
 Low Fulney

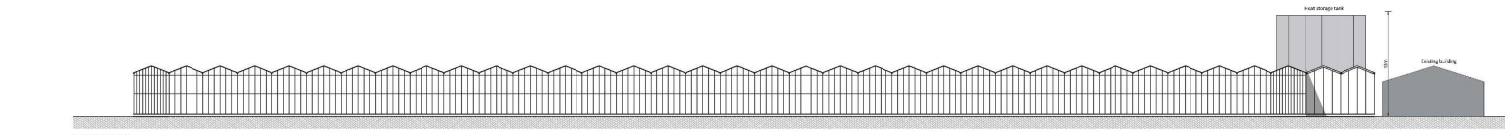
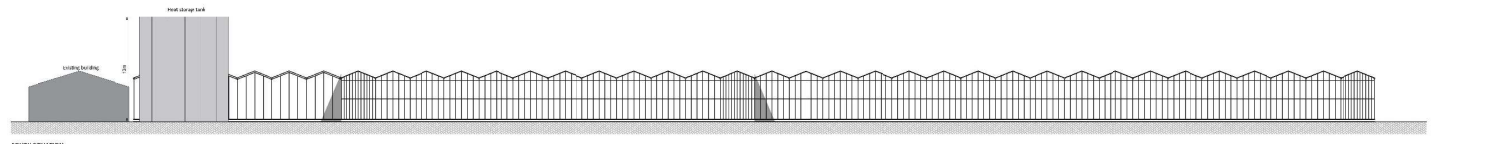
Drawing
 Site Plan

Scale @ A3 1: 1250	Date 31/08/22
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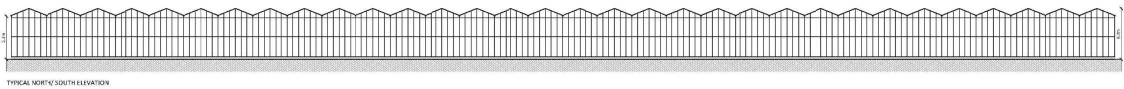
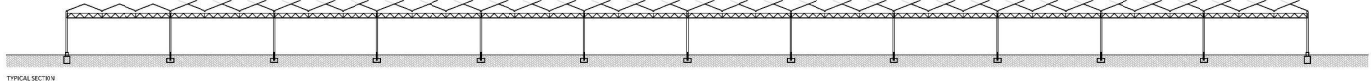
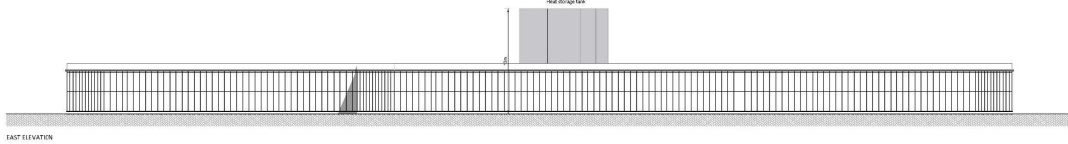
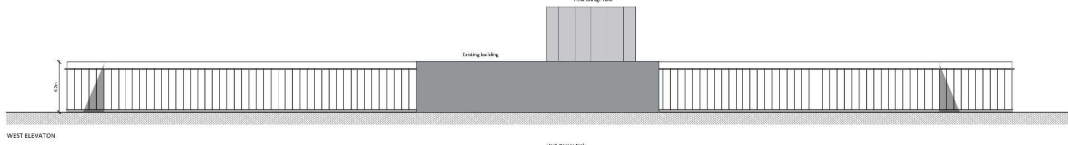
Drawn By WW	Checked By RJCD
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Job Number 1540-1	Status PL	Purpose of Issue Planning
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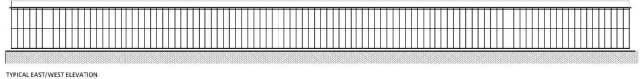
Drawing No. 1540-1_PL_SP03	Rev -
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PHASE 1 ELEVATIONS



PHASE 2/3 TYPICAL ELEVATIONS



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 2. The drawings are for information only and are not to be used for construction without the approval of the architect.
 3. The drawings are for information only and are not to be used for construction without the approval of the architect.

Legend
 - Existing building
 - New storage tank
 - Existing building

Scale
 1:100
 1:500
 1:1000

Client
 Department of Planning
 150-151, Market Street
 Sydney, NSW 2000

Project
 Urban renewal development
 150-151, Market Street

Drawn by
 J. Smith
Checked by
 M. Jones

Date
 15/01/2022

Task #
 150-151

Job Number
 150-151

Phase
 Planning

Sheet
 150-151_P1_1003

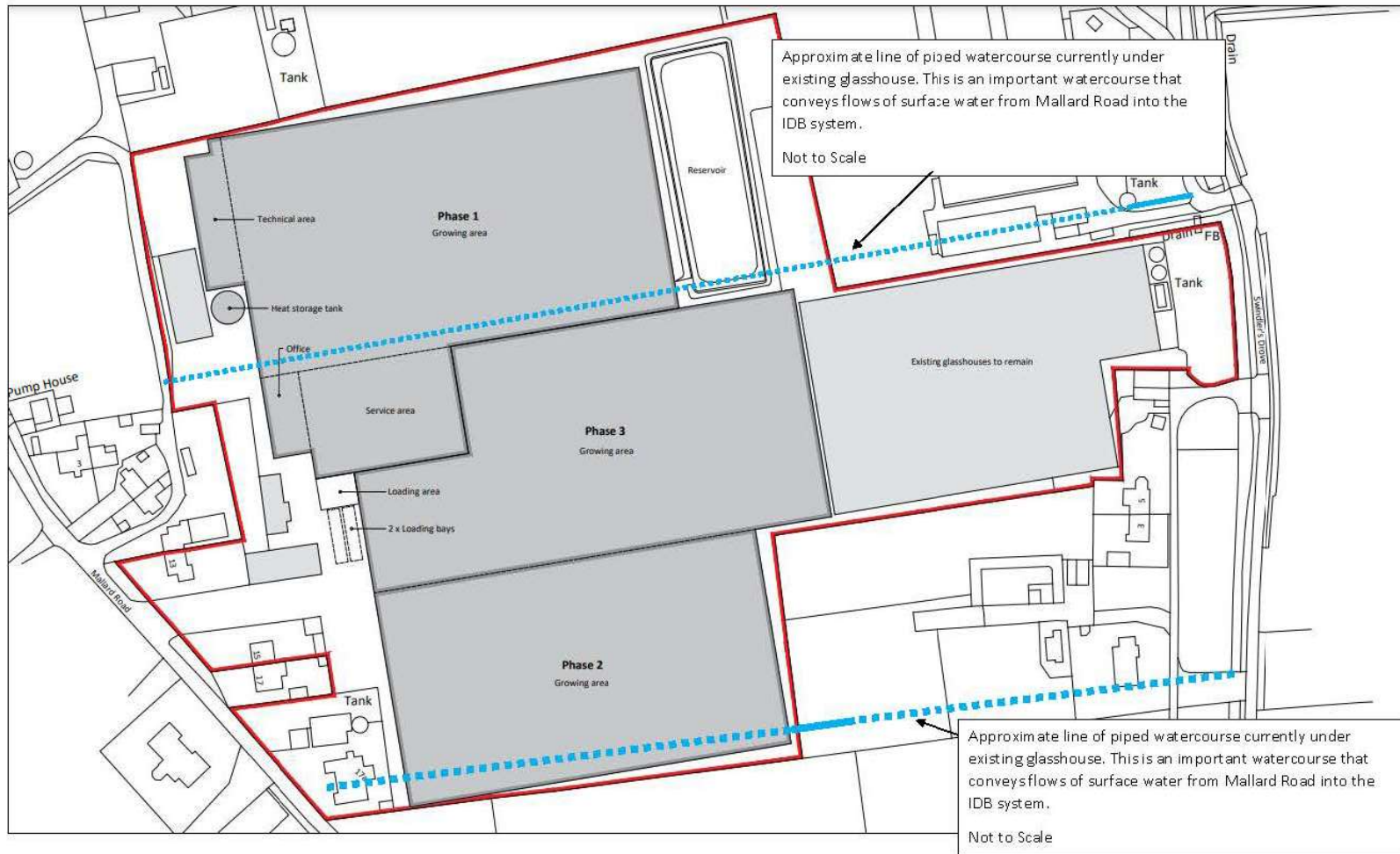
Scale
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Client
 Department of Planning
 150-151, Market Street
 Sydney, NSW 2000

Project
 Urban renewal development
 150-151, Market Street

Drawn by
 J. Smith
Checked by
 M. Jones

Date
 15/01/2022



1540-1_PLP
Pipe A and Pipe B Location Plan



















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