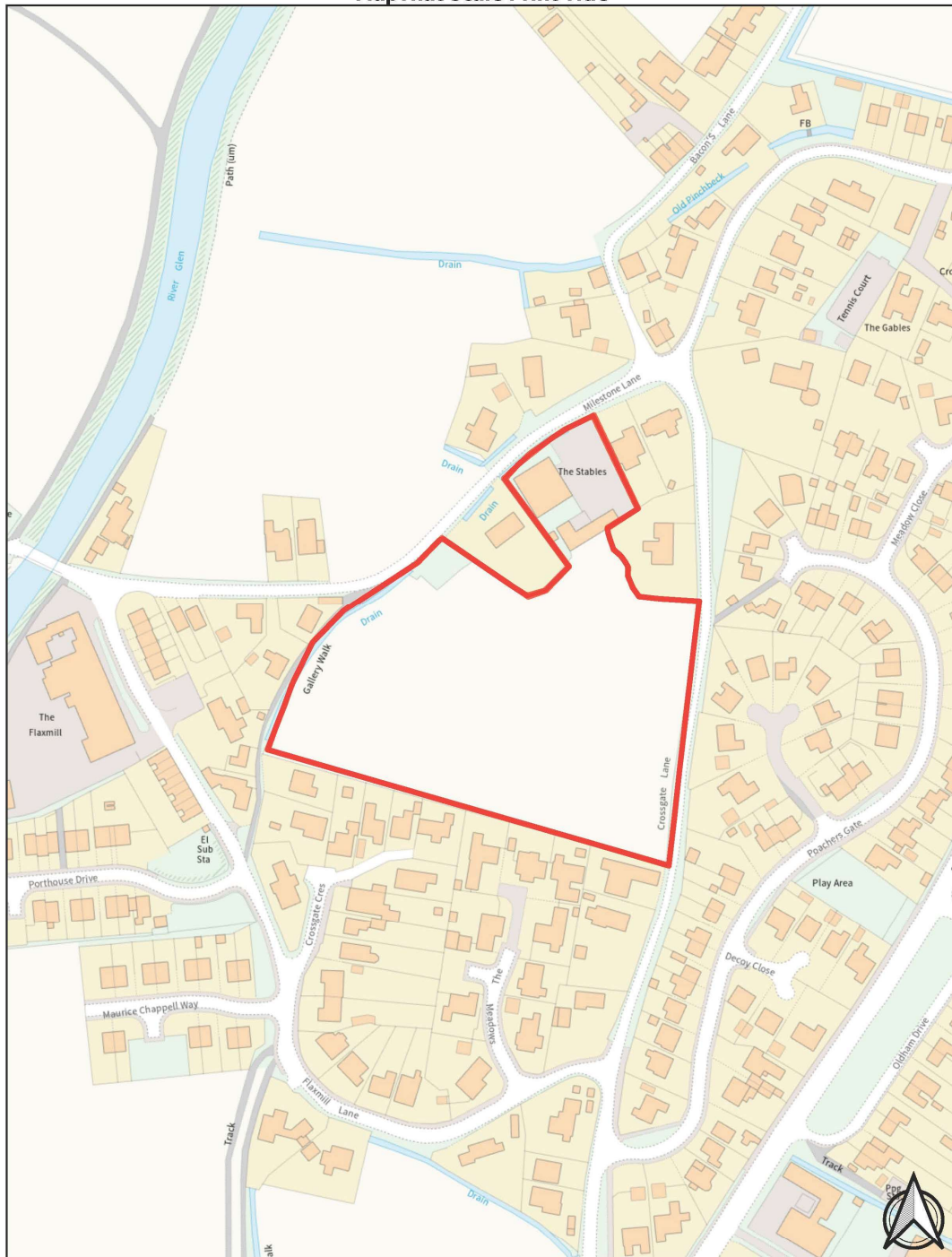
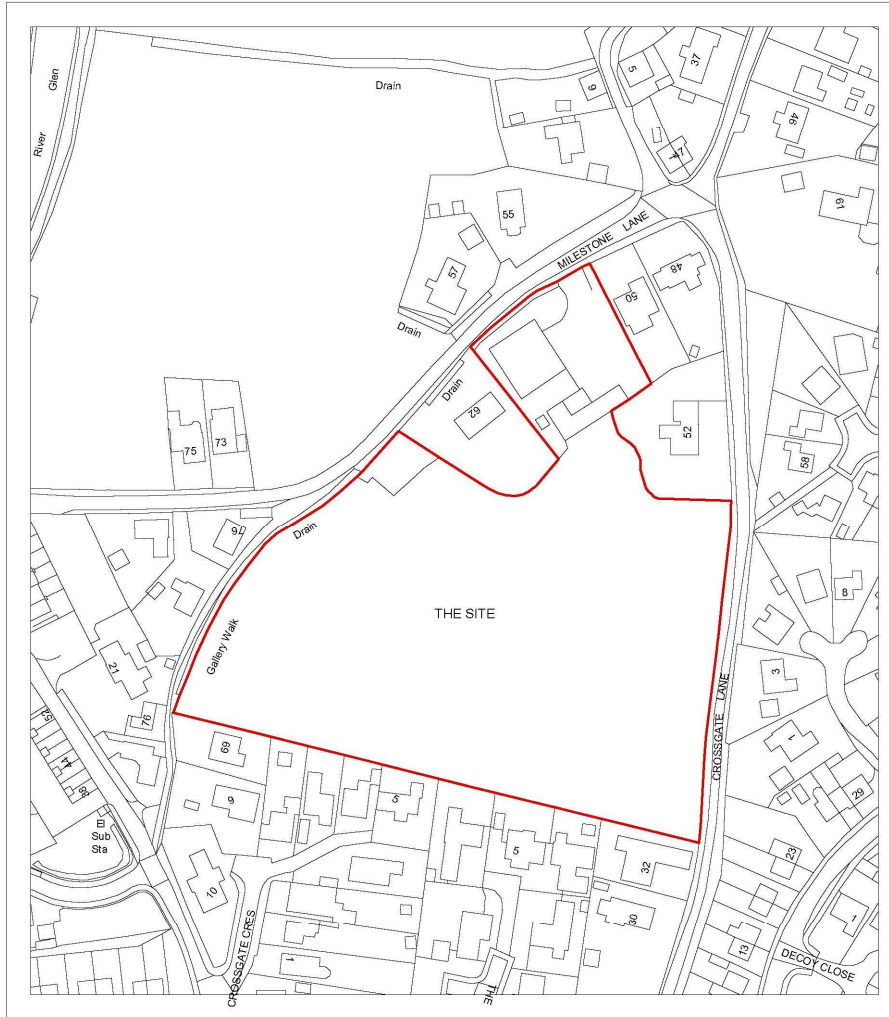
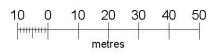


Welcome to the Planning Committee





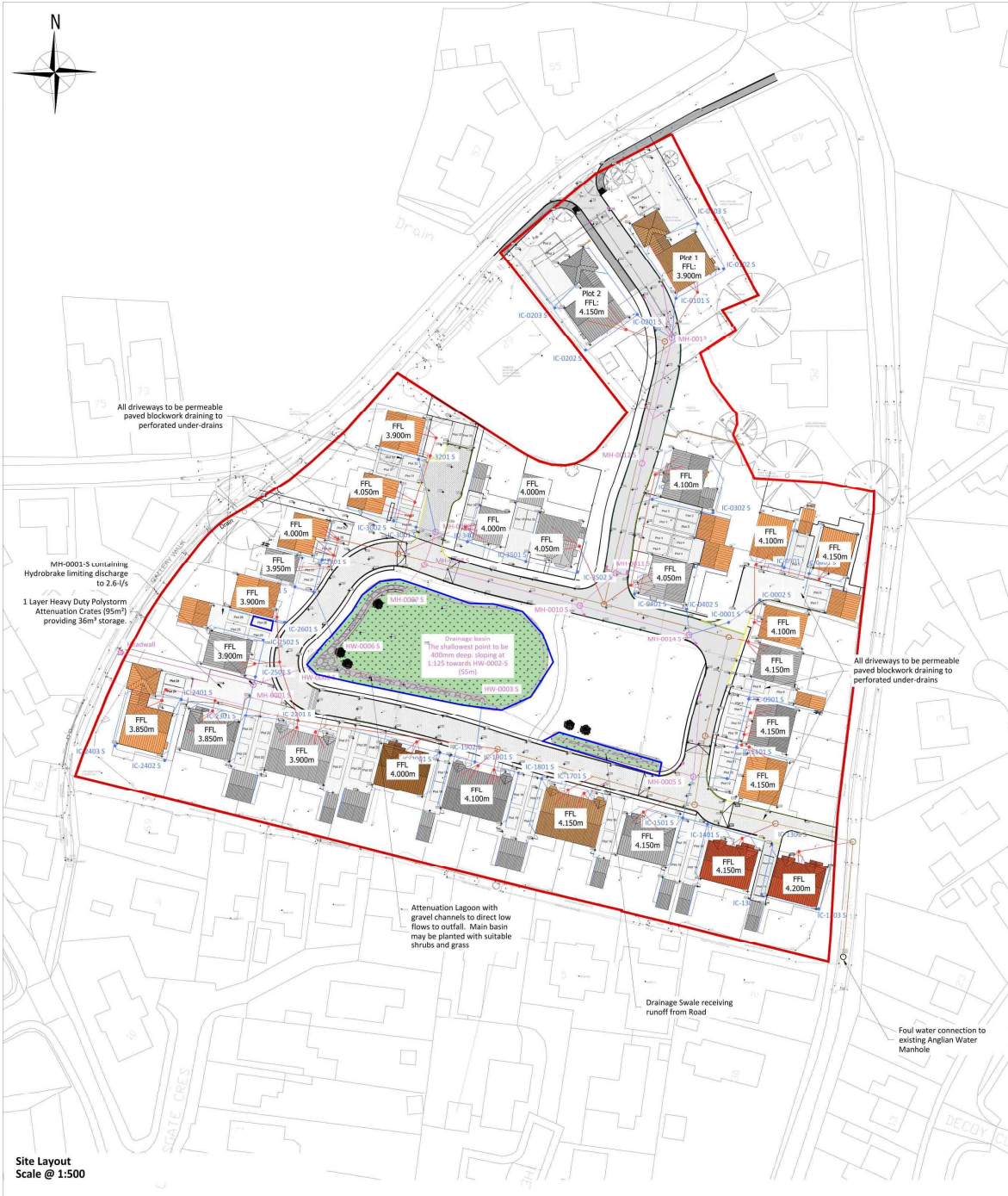
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Scale 1:1250 @ A3



LOCATION PLAN



Site Layout Scale @ 1:500

Project Details

The site is located off Milestone Lane, Pinchbeck, Spalding. The postcode for the site is PE11 3XR and the approximate centre of the site at National Grid Reference TF 24240 26600.
 The site size is more than a hectare (1.88 ha). The site is currently greenfield disused soft landscaping. The proposed development includes proposals for the construction of 35 dwellings with roads, driveways and parking spaces as follows:

- Housing (Roofs) : 3327m²
- Driveways and Parking : 2608m²
- Adoptable Road and Footpath: 1970m²
- Total Impermeable area: 7905m² (Approx 42% of the Site)

Superficial deposits are silty fine Sands. Infiltration tests have shown an infiltration rate of 3.67 x 10e-6 m/s. and ground water was encountered 0.95m below existing ground level.

Drainage and SUDS Strategy:

As stated in CIRIA SuDS Manual 2015 the objective of sustainable drainage systems is to maximize the benefits and minimize the negative impacts of surface water runoff from developed areas. By applying SuDS methodology, storm runoff from the Site is controlled to ensure that flow rates in downstream watercourses are not increased and the water is appropriately treated to remove any contaminants, thus ensuring the quality of the water in the natural environment downstream.

Drainage Hierarchy:

Drainage Hierarchy	Y/N	Comment
1 Infiltration to maximum extent	N	Due to high water table, soakaways are not suitable
2 Discharge to Surface Waters	Y	An existing Surface Water ditch will be utilised to the western side of the site
3 Discharge to Surface Water Sewer	N	None available
4 Discharge to Combined Sewer	N	Only option remaining

Key aspects proposed:

- It is proposed to provide an adoptable drainage system throughout the development, receiving runoff from roofs, driveways and the access road. These flows will be attenuated before discharging into the existing surface water ditch running along the western side of the site.
- Runoff from private driveways and parking spaces will be filtered through a filter media within permeable surfacing.
- The Adoptable Road shall be drained either through the collection of water using gullies and discharging through a gravity operated system or using a grass filter strip to a Swale, both to be adopted by Highways. A perforated underdrain shall be adopted by Anglian Water.
- Discharge from the Site shall be restricted to Greenfield Runoff Rate of 2.6-l/s (As stated on HR Wallingford) using a Hydrobrake in MH-0001-S
- Attenuated water shall be stored in a combination of the Swales/Lagoon and the underground attenuation crates & subbase for all storm events up to 1 in 100-year + 40% Climate Change event.
- All flooding will be routed away from the properties and collected in a vegetated area in the centre of the site.

Storm Water Attenuation

Attenuation Volume Provided shall be 667.6m³ (Subbase = 130.3m³; Swales = 537.3m³)

- Attenuation Volume used in 1 in 30 yrs storm event: 32%
- Attenuation Volume used in 1 in 100 yrs storm event: 46%
- Attenuation Volume used in 1 in 100 yrs storm event + 40% Climate Change : 73%

Foul Water

- An adoptable foul water system shall be provided discharging to an existing public sewer in the south eastern point of the site.

Exceedence Flows

Storm Water System is designed to receive and contain within the site boundary all rainfall up to & including 1:100 AEP. Larger flows are expected to follow the topography of the site and discharge on to the vegetated area within the centre of the site. Exceedence Flows is exceptional events or due to blockage shall be routed away from all properties.

Management & Maintenance:

The maintenance activities listed below are considered to be the basic tasks necessary to keep the site drainage systems working at optimum efficiency, which is necessary to ensure that they have capacity to deal with extreme / unusual events. Other activities, such as litter removal / repairs etc. will also be required.

Area	Maintenance Activity	Frequency	Responsibility
Foul Drainage	CCTV/Jetting of Sewers	Every 10-Years	Anglian Water
Foul Drainage Hard-Surfacing & Drainage	Repairs to Sewers	As Required	Anglian Water
Hard-Surfacing & Drainage	Blockwork paved areas to be swept and de-weeded	As required during Spring and Summer Months	Plot Owner
Building Roof Drainage	Cleaning of Gullies	Recommended every 2-Years	Management Company
Building Roof Drainage	CCTV/Jetting of Sewers	Recommended Every 10-Years	Management Company
Hard-Surfacing & Drainage	Inspection of Manholes/Chambers	Recommended Every 5-Years	Management Company
Building Roof Drainage	Soillages	Provision of Spill Kits to Contain	Management Company
Building Roof Drainage	Gutters to be cleared of debris	Recommended Every 2-Years	Management Company
Building Roof Drainage	Cleaning of below ground pipework	Recommended Every 10-Years	Management Company
Development Site Access Roads	Periodic sweeping to remove debris, leaves etc	Every 2-4 weeks during autumn	Highways Authority
Adoptable Road Drainage	Inspection and Maintenance, Gully cleaning etc.	As Required	Anglian Water
Soakaway Trenches	CCTV Flushing	Every 5-Years Every 10-Years	Highways Authority

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Key

- HB-HALF BATTERED KERB
- BN-BULLNOSE KERB
- TN-TRANSITION KERB
- EF-EDGING OF FOOTPATH
- Permeable Paving
- Tarmac

CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS 2015

THE CONTRACTORS ATTENTION IS DRAWN TO THE INFORMATION ABOVE IDENTIFIED RELATING APPEARANCE ON THE DRAWING AND EXPLAINED IN THE ASSOCIATED DESIGN RISK REGISTER.

LEGEND

- NO YOU MUST NOT DO
- HAZARD OR DANGER
- ! YOU MUST DO
- CAUTION

Rev	Description	Date
P6	Amended Site Layout Plan For Plot 30 & 31	21-09-22
P5	Amended Plan	13-09-22
P4	Drainage basin information added	22-04-22

Client
Postland Management Ltd

Project
**The Burells
 Milestone Lane
 Pinchbeck**

Title
Drainage Strategy

Job No	21027
Drawing No	21027-1000
Status	Preliminary
Scale	As Stated
Date	08-11-21
Project Engineer	TBP
Drawn By	AJP
Checked By	TBP
Approved By	

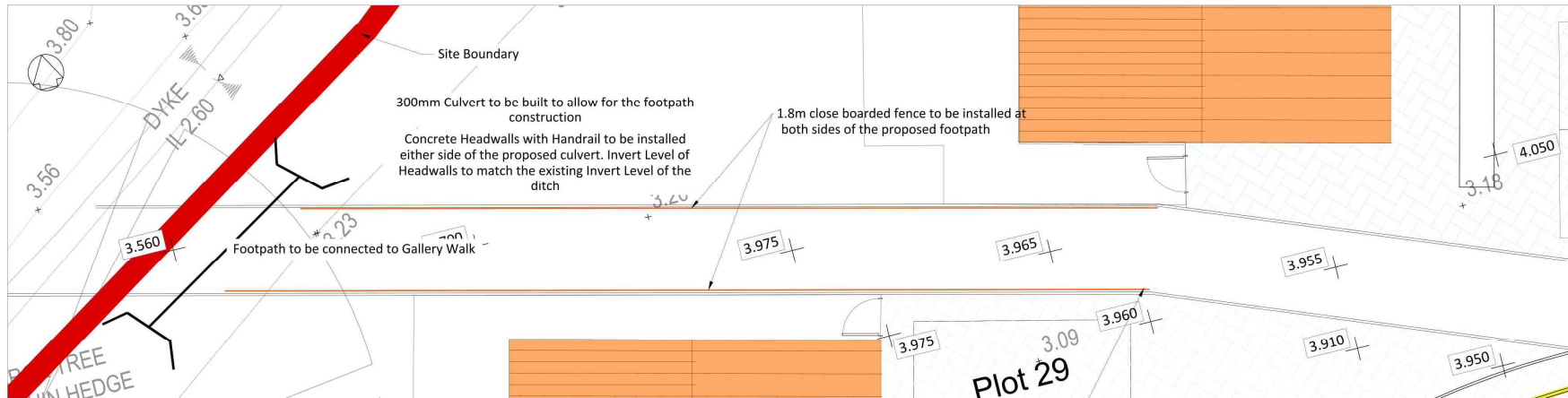


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Proposed Footpath Plan
Scale (1:50)

Footpath Barrier to be positioned at the end of the footpath up to the Architect's Specification

Key

- HB-HALF BATTERED KERB
- BN-BULLNOSE KERB
- TN-TRANSITION KERB
- EF-EDGING OF FOOTPATH
- Permeable Paving
- Tarmac

CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS 2015

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LEGEND

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- HAZARD OR DANGER
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- CAUTION

ABNORMAL RISKS IDENTIFIED:

P7	Amended Site Layout Plan for Plot 30 & 31	EP	21-09-22
P6	Amended Plans	PSP	13-09-22
P5	Rev-Design	AJP	22-04-22

Client
Postland Management Ltd

Project
**The Burells
Milestone Lane
Pinchbeck**

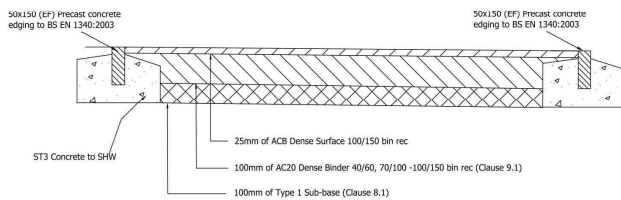
Title
Proposed Private Footpath

Job No	21027	
Drawing No	21027-012	P7
Status	Preliminary	Rev
Scale	As Stated	Date 08-11-21
Project Engineer	TBP	Drawn By AJP Checked By TBP Approved By

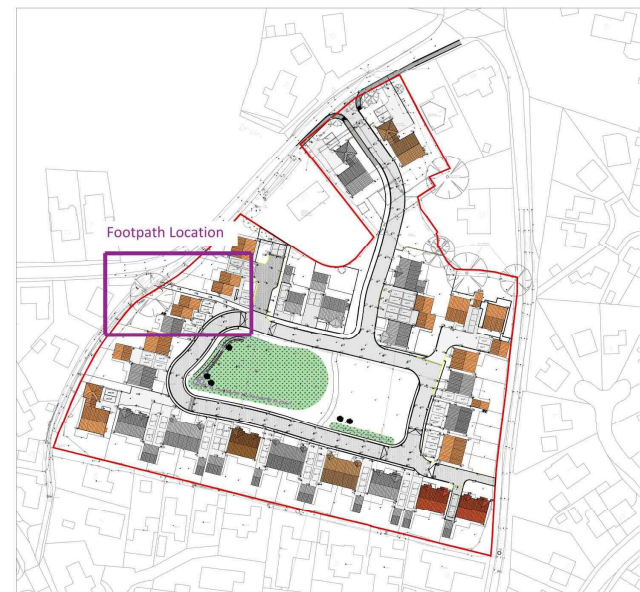


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Proposed Footpath Construction Detail
Scale (1:10)



Location Plan
Scale (1:1000)



Key

- HB-HALF BATTERED KERB
- BN-BULLNOSE KERB
- TN-TRANSITION KERB
- EF-EDGING OF FOOTPATH

- Adoptable Manhole
- Adoptable Gully
- Gravel
- Grass
- Proposed levels
- Surface Water

- NOTES**
1. Do not scale this drawing.
 2. All dimensions are in millimetres unless stated otherwise.
 3. This drawing to be read in conjunction with all other relevant drawings and specifications.
 4. All proprietary items to be installed in strict compliance with manufacturers instructions and recommendations.

- STANDARD DRAINAGE NOTES:**
1. Except where specifically shown otherwise all below ground pipes / connectors shall be 100mm dia PVC (to BS 4660) or VC (to BS 5451) with flexible joints and laid to minimum falls of 1 in 40, except where connected to W/C when falls may be 1 in 80.
 2. All gravity pipe runs to be tested to a standing head of 1500mm head of water above the invert at the head of the pipe run (but not exceeding 4000mm at the lower end)
 3. For details of bed and surround requirements refer to long sections and standard details. In all other situations provide 150mm of 10mm single-sized rounded gravel bedding and surround.
 4. Except where specifically shown otherwise, pipes to be a minimum of 600mm below roads/driveways and 600mm below garden/fields.
 5. Venting pipes to be provided at the head of each drain and to any branch longer than 6m where a single appliance is connected, or 12m where a group of appliances is connected.
 6. Stop-overs shall not be fitted in any chambers unless specified otherwise.
 7. Manhole/Gully covers shall be regulated to suit finished levels and crossfalls.
 8. All proprietary items to be installed in strict compliance with manufacturers instructions and recommendations.
 9. Drains passing beneath buildings to have minimum 100mm granular fill or flexible filling around pipe. Where the pipe crown is within 300mm of the underside of the slab, pipe shall be encased in concrete integral with the slab.
 10. Drains passing through walls below ground level to have minimum 50mm clearance all round and opening in walls to be masked all round with rigid sheet material to prevent ingress of fill or vermin. Openings in walls for pipes shall have concrete lintels to support wall construction above.
 11. Unless stated otherwise, pipes to be 100mm Diameter.

- STANDARD ROADS / FOOTPATH NOTES:**
1. Existing structures to be broken out to minimum 450mm below top of finished surface level. Existing footpath to be broken out and rubble and existing subbase to be removed off-site.
 2. Subgrade to be proof rolled with one pass of a smooth-wheeled roller having a mass per M-width of roll of not less than 2,100-kg or a Vibrating Roller having a mass per M-width of roll of not less than 700-kg or a Vibrating Plate Compactor having a mass per m² of not less than 1400-kg. Any soft spots shall be removed and replaced with Type 1 compacted in layers not exceeding 150mm thickness.
 3. All formations are to be treated with an approved herbicide before placing sub-base material on a geotextile separation membrane (Terram 1000 or similar approved)
 4. All sub-base material is to be non-frost-susceptible. All concrete to be sulphate resisting.

P2	Section A-A Amended	ASP	16-11-22
P1	Preliminary Issue	K.P	02-11-22

Client: **Postland Management Ltd**

Project: **The Burells
Milestone Lane
Pinchbeck**

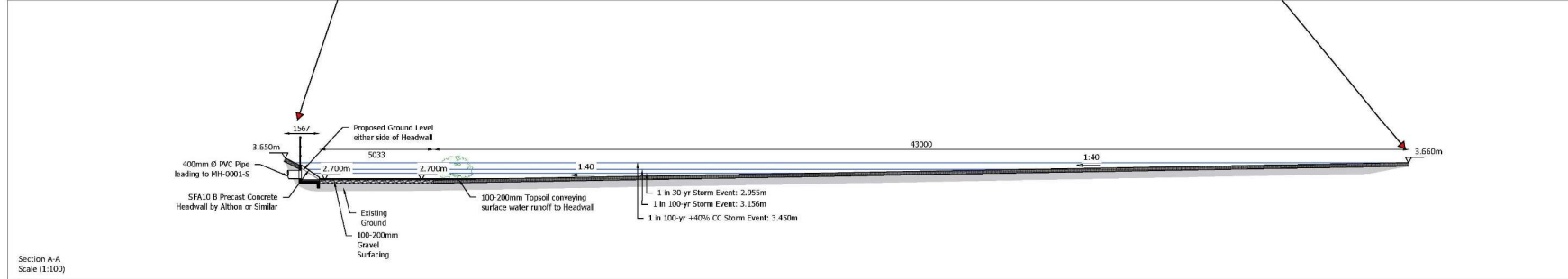
Title: **Pond Section Detail**

Job No	21027		
Drawing No	21027-014	P2	
Status	Preliminary		
Scale	As Stated	Date	02-11-22
Project Engineer	TBP	Drawn By	ASP
		Checked By	TBP
		Approved By	

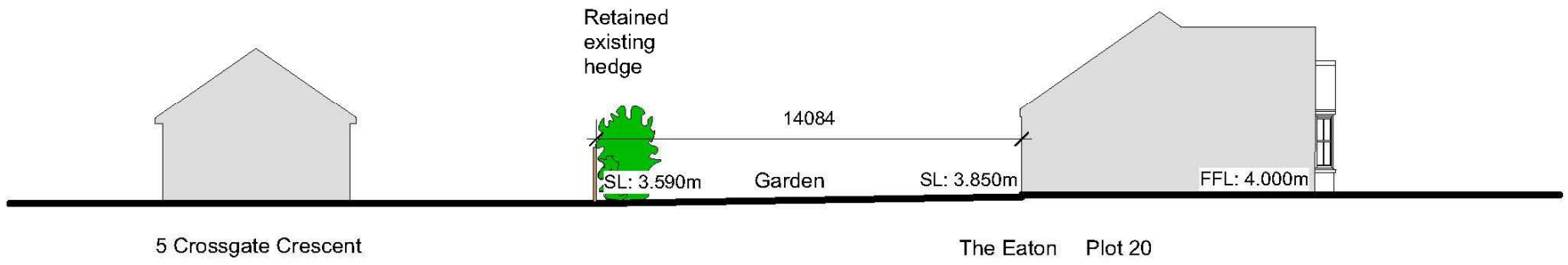


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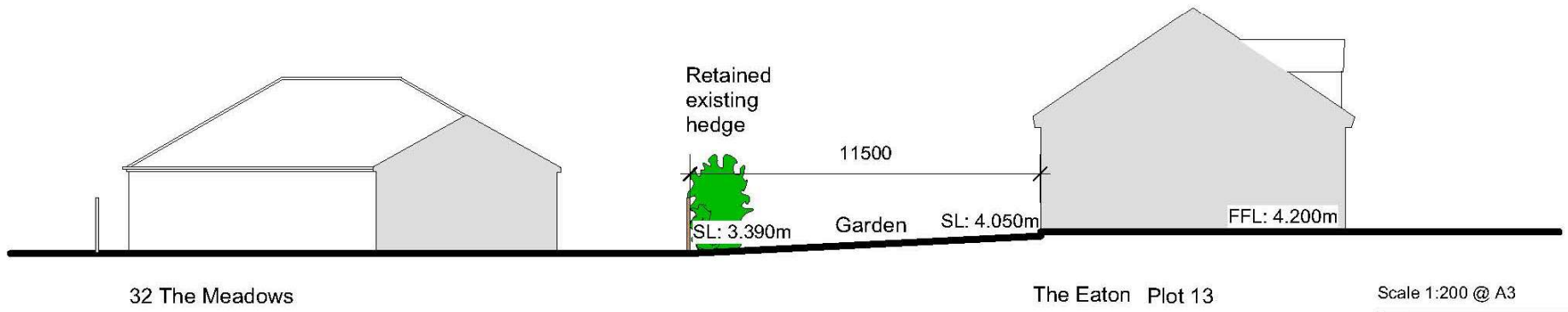
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Section A-A
Scale 1:100



SITE SECTION BB

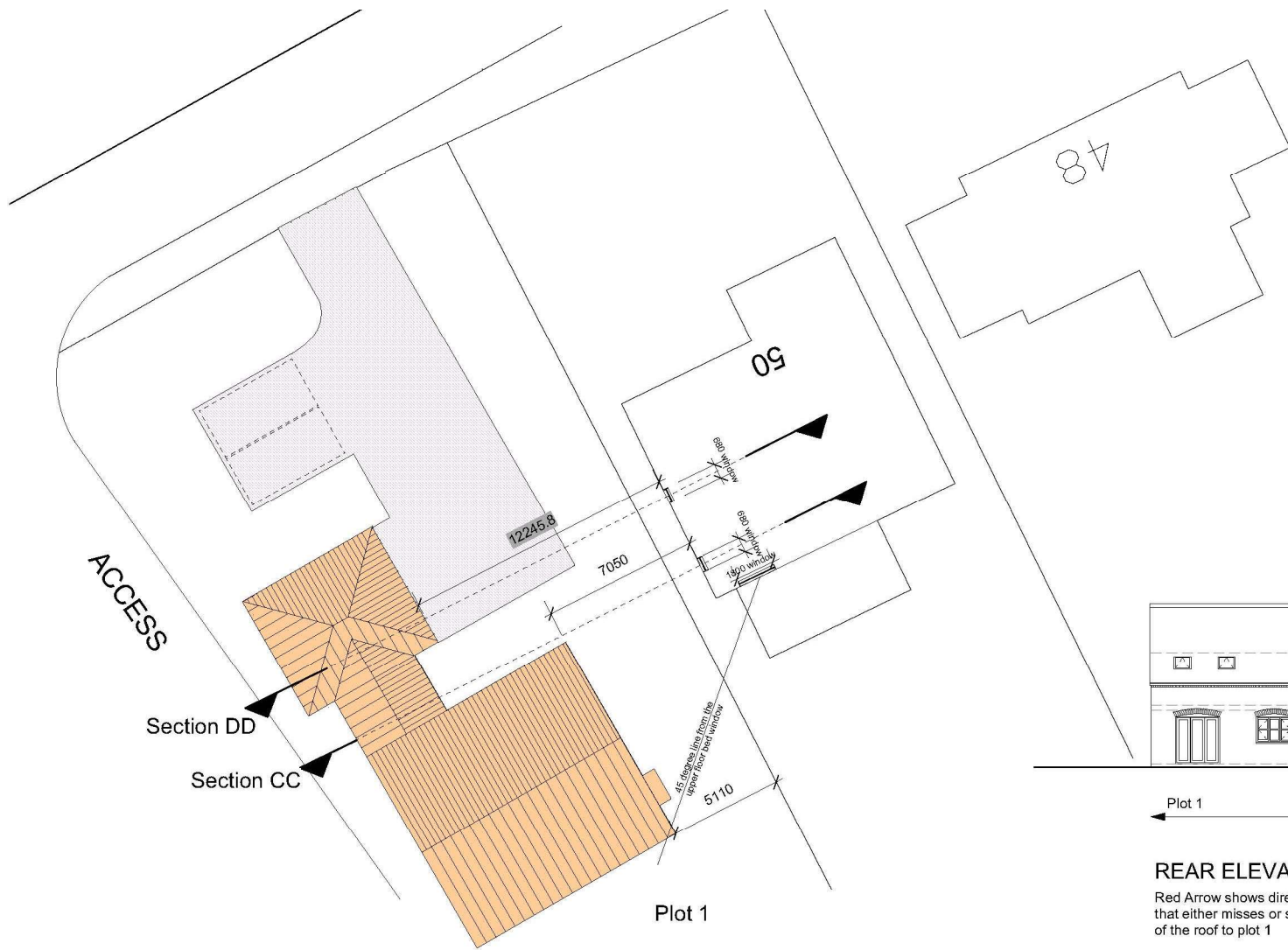


SITE SECTION AA

Scale 1:200 @ A3

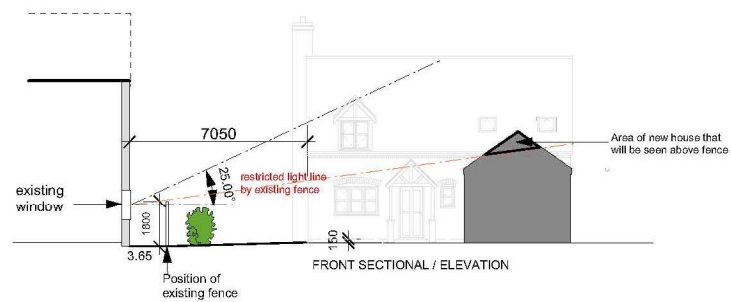
Project THE BURRELLS PINCHBECK			Aspect Architectural Design
Title SITE SECTION AA SITE SECTION BB			
Scale 1:200 @ A4	Date JUN 21	Job No 243	Architectural Designer 29A Church Street Northborough Peterborough PE6 9BN Telephone 07907030047 © Copyright
Category D	ENR Element (--)	Sequential No 15	

Rev A: April 22 - Site levels added
 Rev B: Aug 22 - Plot 13 changed to The Eaton
 Rev C: April 22 - Dimensions added

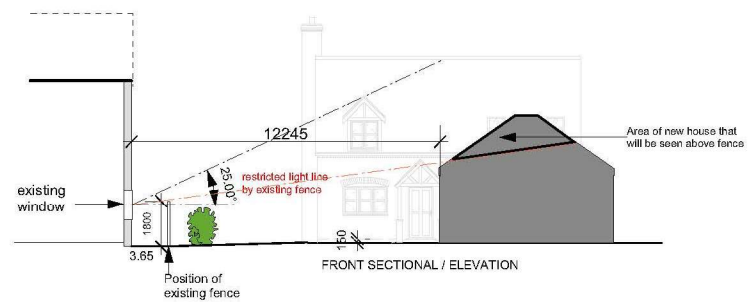


REAR ELEVATION

Red Arrow shows direction of 45 degree outlook that either misses or skims a small part of the roof to plot 1



Section CC

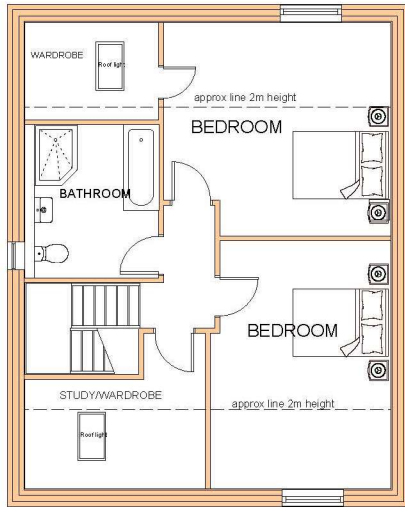


Section DD

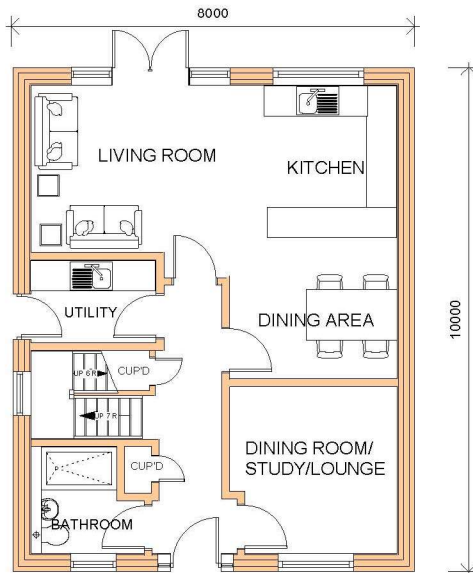
Project THE BURRELLS PINCHBECK			Aspect Architectural Design
Title BLOCK PLAN PLOT 1 SITE SECTION CC SITE SECTION DD			
Scale 1:200	Date SET 21	Job No 243	Architectural Designer 25A Church Street Northborough Peterborough PE6 9BQ Telephone 0797020047 © Copyright
Category D	CDS Element (-)	Sequential No 16	

Rev A: March 22 - Footpath revised to suit site layout
Rev B: May 22 - 25 degree line changed/taken from the midpoint of the ground floor window

Scale 1:200 @ A3



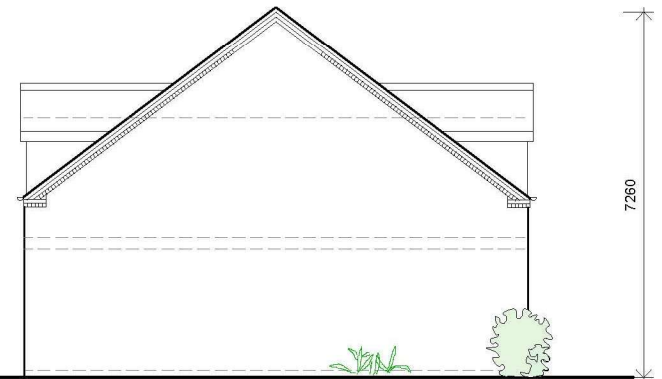
FIRST FLOOR PLAN



GROUND FLOOR PLAN



FRONT ELEVATION



SIDE ELEVATION

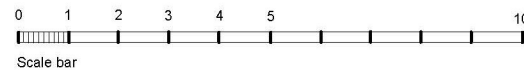


REAR ELEVATION



SIDE ELEVATION

04A - THE CHESTER



Project THE BURRELLS PINCHBECK			Aspect Architectural Design
Title PLOTS 5,6,7,8, 25,26 THE CHESTER FLOOR PLANS & ELEVATIONS			
Scale 1:100	Date MAR 21	Job No 243	Architectural Designer 29A Church Street Northborough Peterborough PE5 9BN Telephone 07907030847
Category D	CISRS Elem end (--)	Sequential No 04	Revisions A

1:100 at A3



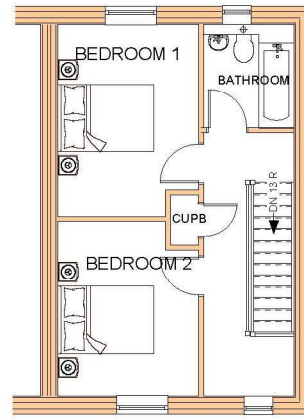
FRONT ELEVATION

REAR ELEVATION

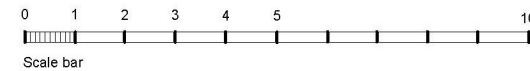
GABLE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



Project THE BURRELLS PINCHBECK		Aspect Architectural Design	
Title PLOTS 9,10, 12 THE WILLOUGHBY FLOOR PLANS & ELEVATIONS		Architectural Designer 29A Church Street Northborough, Peterborough PE6 2BN Telephone 07907030047 © Copyright	
Scale 1:100	Date FEB 21	Job No 243	
Category D	Client Element (--)	Sequential No 05	Revisions

1:100 at A3

House type 05A- THE WILLOUGHBY - 2 bed option

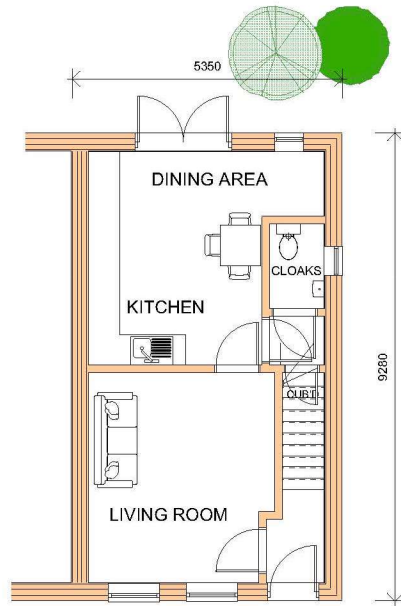
2 bed 4 person unit, internal floorspace 74.2sq.m.



FRONT ELEVATION

REAR ELEVATION

GABLE ELEVATION



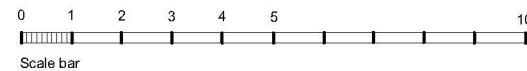
GROUND FLOOR PLAN



FIRST FLOOR PLAN

House type 05B - THE WILLOUGHBY - 3 bed option

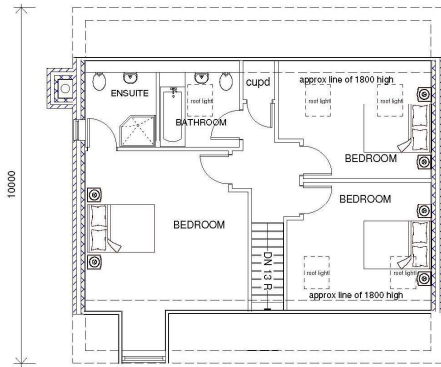
3 bed 4 person unit: total internal floor area: 74.2sqm



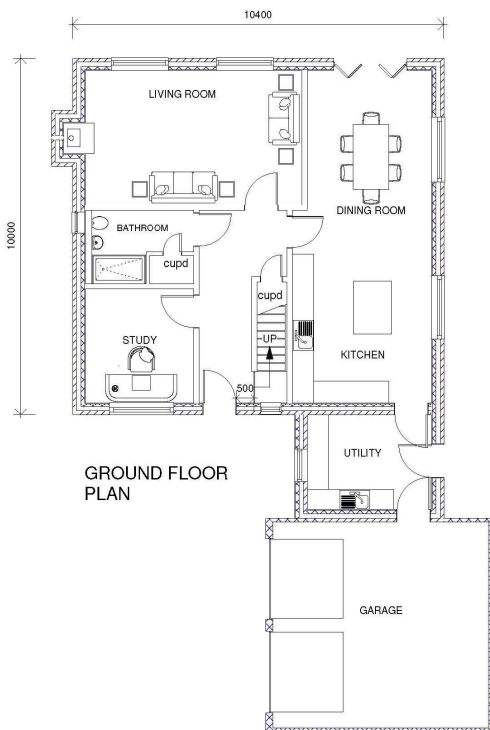
1:100 at A3

Project THE BURRELLS PINCHBECK		Aspect Architectural Design	
Title PLOT 11 THE WILLOUGHBY FLOOR PLANS & ELEVATIONS		Architectural Designer 29A Church Street Northborough Peterborough PE6 9DN Telephone 01907050047 © Copyright	
Scale 1:100	Date FEB 21	Job No 243	
Category D	CS/5 Element (--)	Sequential No 05B	Revisions

Rev B: Aug 22 - Floor plan altered to 3 bed 4 person



FIRST FLOOR PLAN

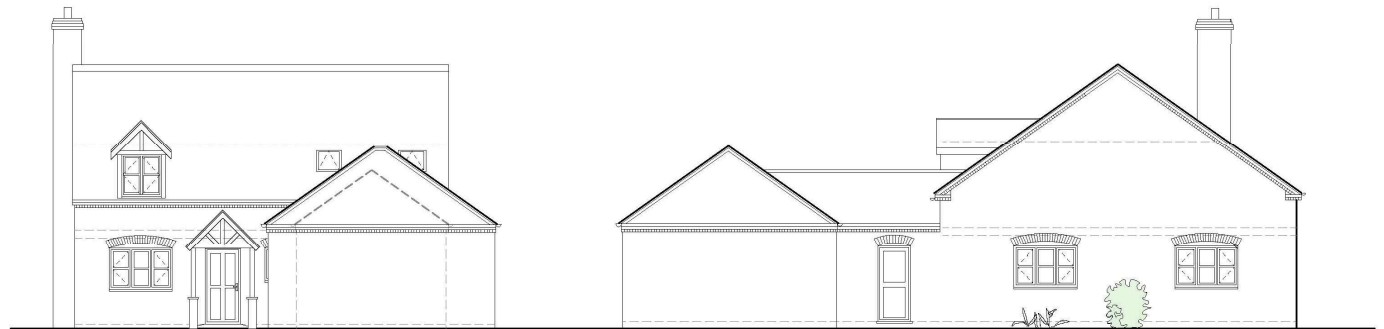


GROUND FLOOR PLAN



SIDE ELEVATION

REAR ELEVATION



FRONT ELEVATION

SIDE ELEVATION

06A -The James



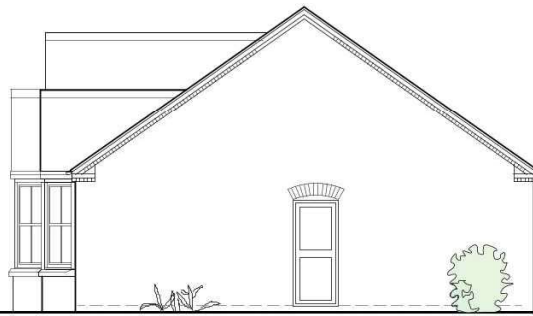
Project THE BURRELLS PINCHBECK		Aspect Architectural Design	
Title PLOTS 1, 2, & 24 THE JAMES FLOOR PLANS & ELEVATIONS		Architectural Designer 29 A Church Street Northborough Peterborough PE6 9BN Telephone 01753703047 © Designline	
Scale 1:100	Date MAR 21	Job No 243	
Category D	CS&B Element (--)	Sequential No 06	Revision A

1:100 at A2

03.05.22 - Rev A
Plot Nos. changed



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

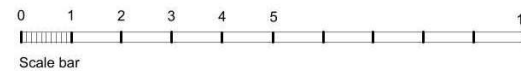


GROUND FLOOR PLAN



SIDE ELEVATION

07A - THE EATON



Project THE BURRELLS PINCHBECK			Aspect Architectural Design
Title PLOTS 13, 14, 15, 20, & 23 THE EATON FLOOR PLAN & ELEVATION			
Scale 1:100	Date MAR 21	Job No 243	29A Church Street Northborough Peterborough PE6 9BN Telephone 07907030047 © Copyright
Category D	CISB Element (--)	Sequential No 07	

1:100 at A3



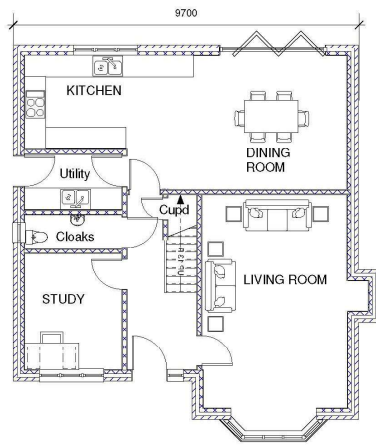
FRONT ELEVATION



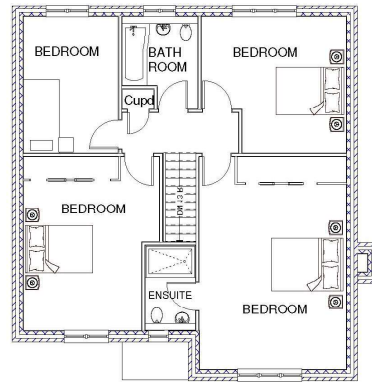
SIDE ELEVATION



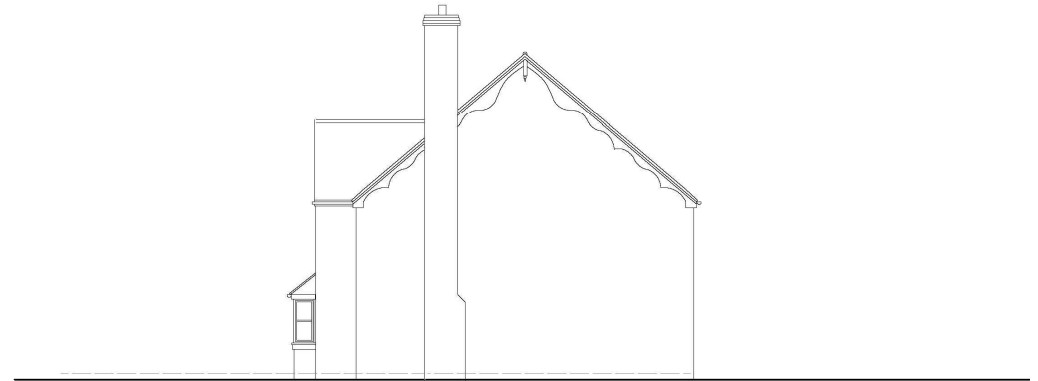
REAR ELEVATION



GROUND FLOOR PLAN

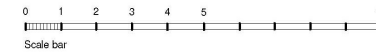


FIRST FLOOR PLAN



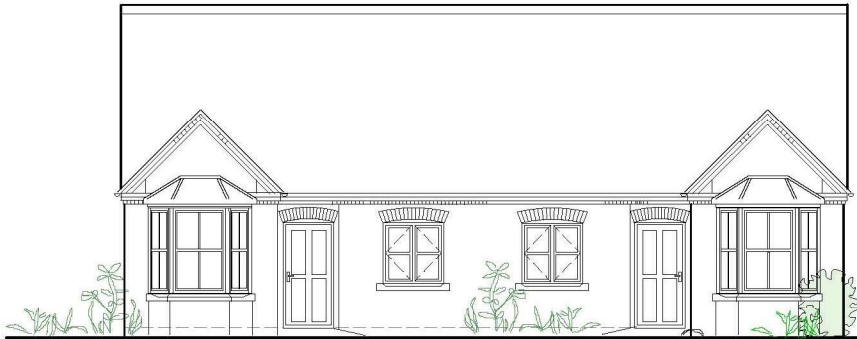
SIDE ELEVATION

08A - The Yorke

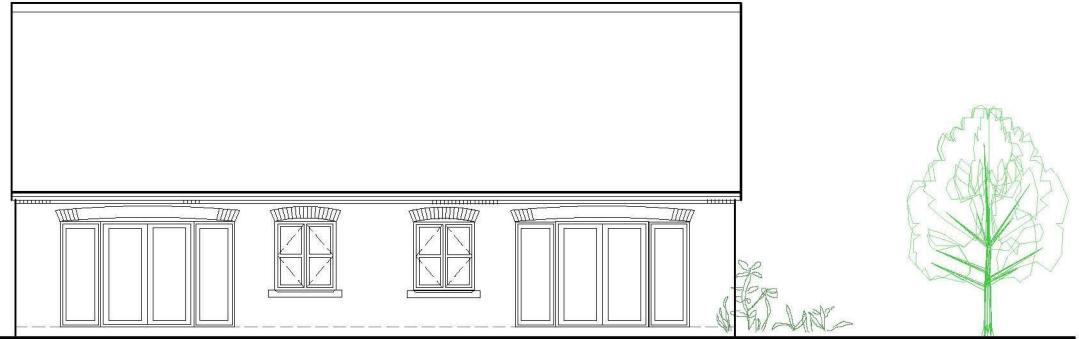


Project THE BURRELLS PINCHBECK		Aspect Architectural Design	
Title PLOTS 4, & 35 THE YORKE FLOOR PLANS & ELEVATIONS		Archibusland Designer 25A Church Street Northborough Peterborough PE6 6BN Telephone 01930330047	
Scale 1:100	Date Mar 21	Drawn by 243	Revised by A
Category D	Other Issues (-)	Revisions No 08	Revision A

1:100 at A2



FRONT ELEVATION



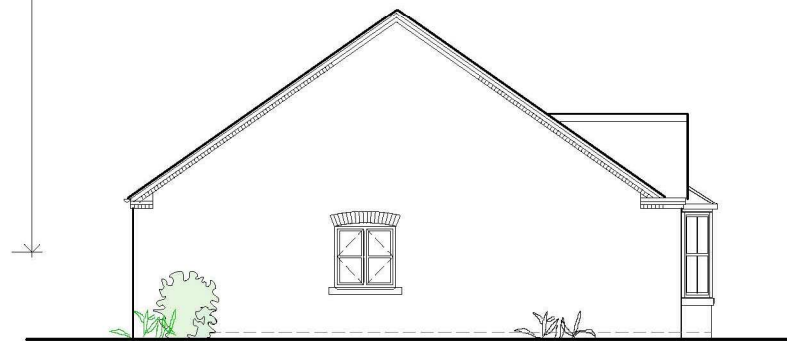
REAR ELEVATION



GROUND FLOOR PLAN



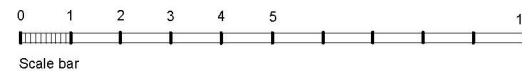
SIDE ELEVATION

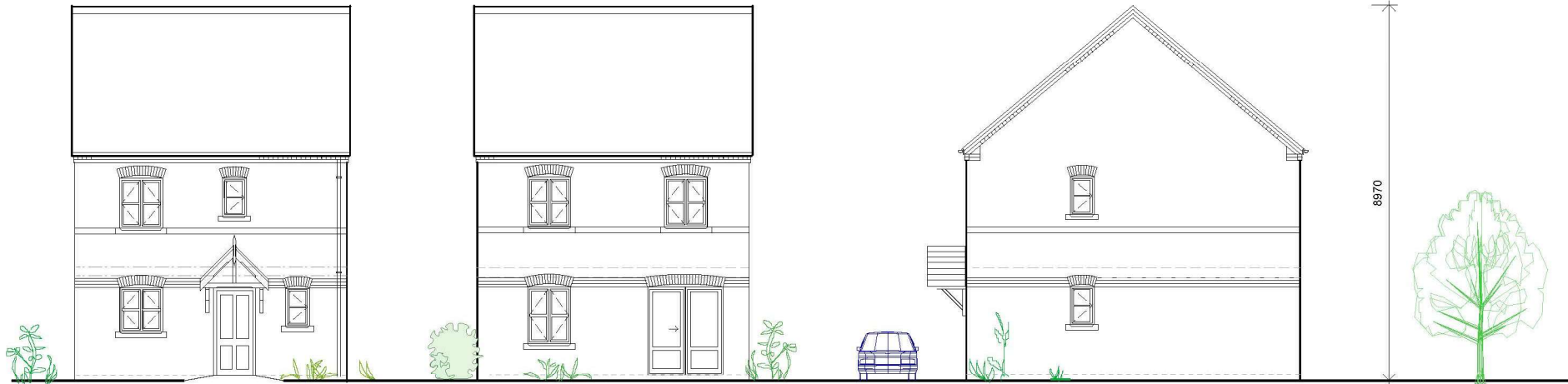


SIDE ELEVATION

Project THE BURRELLS PINCHBECK		Aspect Architectural Design	
Title PLOTS 16, 17, 18,19, 21, 22 THE FULTON FLOOR PLANS & ELEVATIONS		Architectural Designer 23 A Church Street Northborough Peterborough PE6 9BN Telephone 07507030047	
Scale 1:100	Date MAR 21	Job No 243	© Copyright
Category D	CSI/Element (--)	Separator/No 09	Revision A

09 - THE FULTON

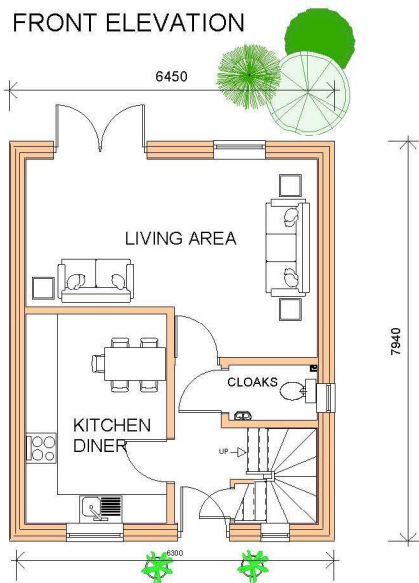




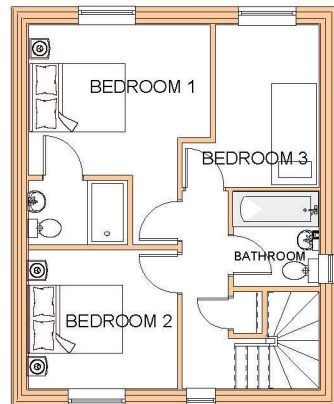
FRONT ELEVATION

REAR ELEVATION

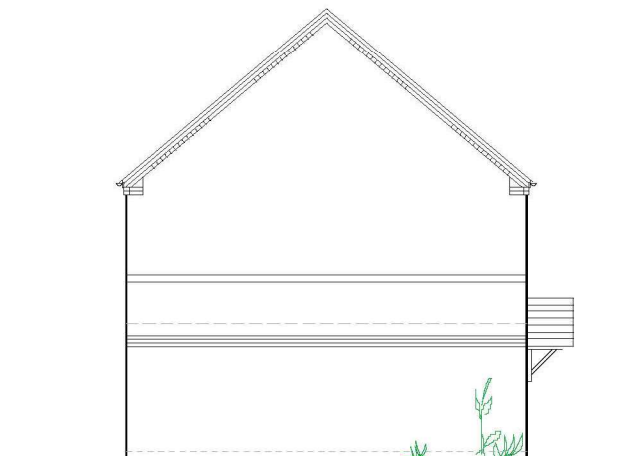
GABLE ELEVATION



GROUND FLOOR PLAN

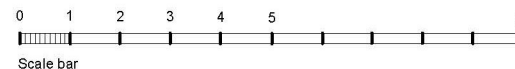


FIRST FLOOR PLAN



GABLE ELEVATION

10A - THE ASHTON

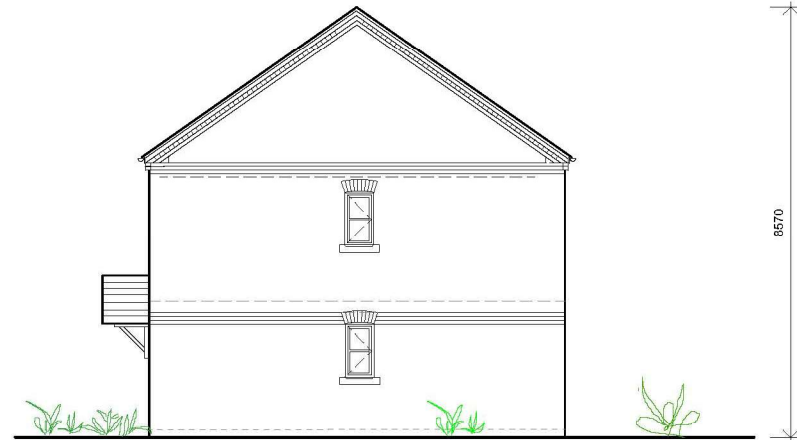


Project THE BURRELLS PINCHBECK			Aspect Architectural Design
Title PLOTS 27, 34 THE ASHTON FLOOR PLANS & ELEVATIONS			
Scale 1:100	Date MAR 21	Job No 243	Architectural Designer 29A Church Street Northborough Peterborough PE5 9BN Telephone 07907033047
Category D	Client Element (--)	Sequential No 10	Revisions A

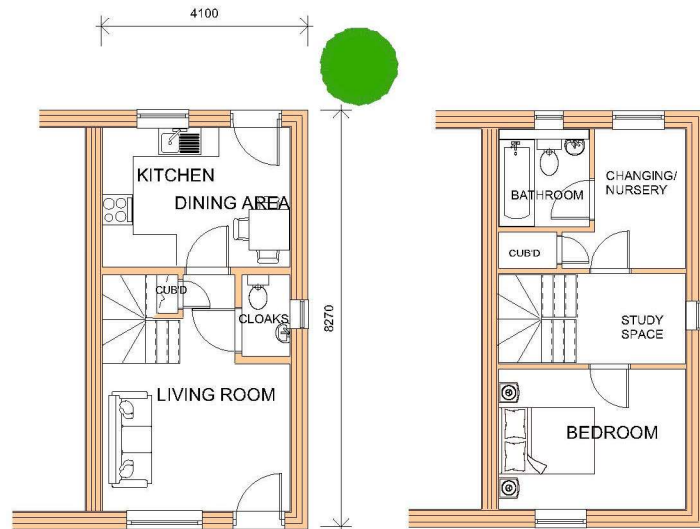


FRONT ELEVATION

REAR ELEVATION



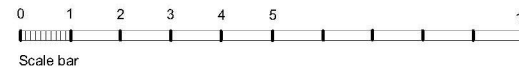
GABLE ELEVATION



GROUND FLOOR PLAN

FIRST FLOOR PLAN

Total internal floor area: 56.6sqm

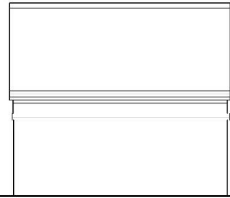


Project THE BURRELLS PINCHBECK		Aspect Architectural Design	
Title PLOTS 29, 30 THE STANTON 1 bed option FLOOR PLANS & ELEVATIONS		Architectural Designer 29A Church Street Northborough Peterborough PE6 9BN Telephone 07907010047 © Copyright	
Scale 1:100	Date MAR 21	Job No 243	
Category D	Client Referral (--)	Sequential No 11A	Revisions

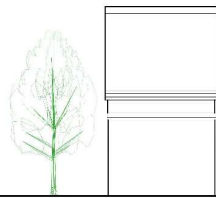
Rev A: Mar 22 - First floor plan altered to 1 bed

1:100 at A3

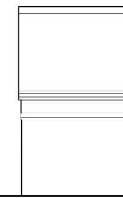
HOUSE TYPE 11A - THE STANTON 1 bed option



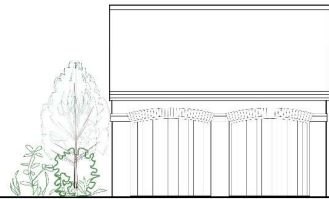
REAR ELEVATION



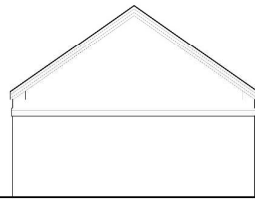
REAR ELEVATION



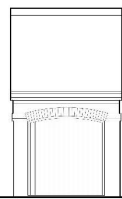
REAR ELEVATION



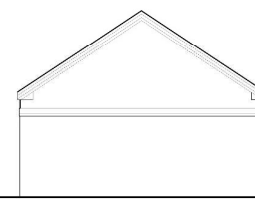
FRONT ELEVATION



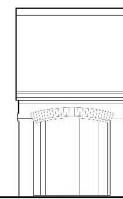
GABLE ELEVATIONS



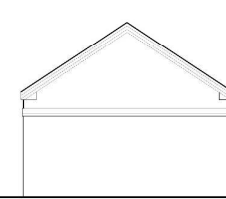
FRONT ELEVATION



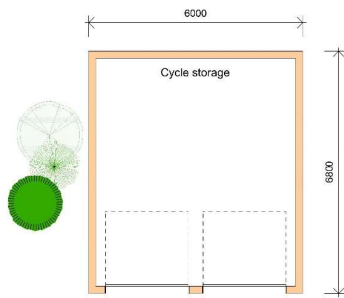
GABLE ELEVATIONS



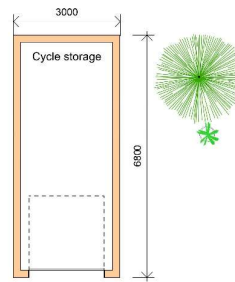
FRONT ELEVATION



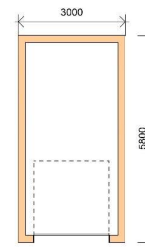
GABLE ELEVATIONS



DOUBLE GARAGE FLOOR PLAN
WHERE SHOWN ON SITE PLAN



SINGLE GARAGE FLOOR PLAN
WHERE SHOWN ON SITE PLAN



SINGLE GARAGE FLOOR PLAN
PLOT 5



1:100 at A2

Project THE BURRELLS PINCHBECK		Aspect Architectural Design	
Title DOUBLE GARAGE & SINGLE GARAGE PLANS & ELEVATIONS		Architectural Designer 25A Church Street Northborough Herefordshire PL16 9BN Telephone 01969 60017 © Copyright	
Scale 1:100	Date MAR 21	Job No 243	
Category D	Client Reference (-)	Sequential No 12	Revision B

Rev A: April 22 - Garage dimensions increased to provide space for cycle storage
Rev B: August 22 - Single garage added with space for cycle storage omitted



- 35 houses
- All perimeter hedges to be retained (not shown here)



View south from Milestone Lane

Plot 1

Plot 2

← Milestone Lane →



Plot 3

Plot 4



Plot 25

Plot 29











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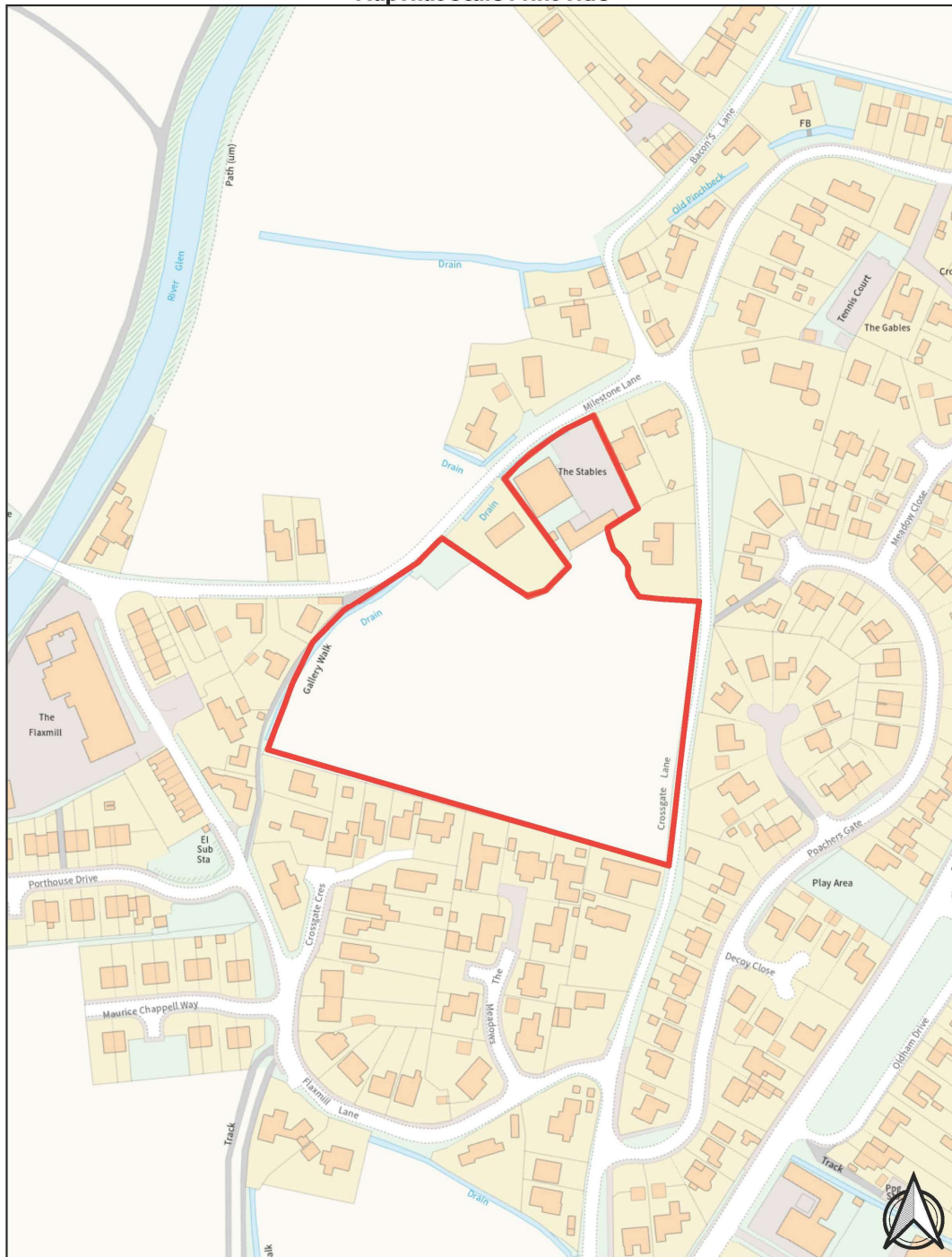




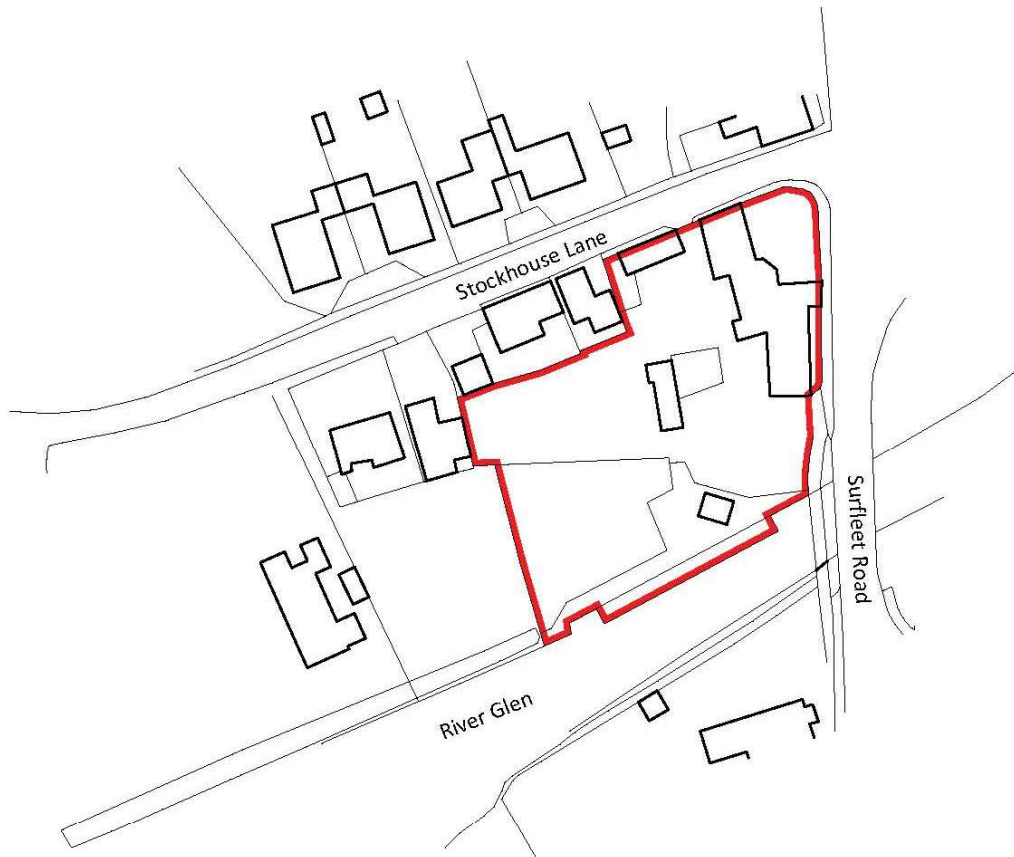












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Client

Mr GJR & Mrs KF Swindells

Project

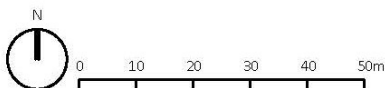
The Mermaid Inn
Surfleet

Drawing

Location Plan

Scale @ A4		Date
1: 1250		17/08/21
Drawn By		Checked By
WW		LMS
Job Number	Status	Purpose of Issue
1447-1	PL	Planning

Drawing No.	Rev
1447-1_PL_LP01	-





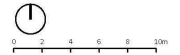
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A	Storage building to be retained	03.10.22
---	---------------------------------	----------

Rev	Description	Date
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Project
 The Mermaid Inn
 Surfleet

Drawing
 Existing Site Plan

Scale @ A2 1: 250	Date 17/08/21
-----------------------------	-------------------------

Drawn By WW	Checked By PSS
-----------------------	--------------------------

Job Number	Status	Purpose of Issue
1447-1	PL	Planning

Drawing No. 1447-1_PL_SPO2	Rev A
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- Brick wall
1.2m or 1.8m high as shown
- - - Close boarded fence
1.8m high
- Black metal railings
1.2m high
- Post & rail fence
1.2m high
- Indicative soft landscaping
- Private bin store
See drawing 1447_1_PL_GA05 for details

F	Plot 9 porch removed	12.12.22
E	Refuse collection point moved	03.10.22
D	Site wide revisions	29.09.21
C	P7 driveway revised	18.11.21
B	Dimensions to boundary shown Private bin storage points shown	19.10.21
A	Note added RE: Existing dropped kerb access	15.09.21

Rev	Description	Date

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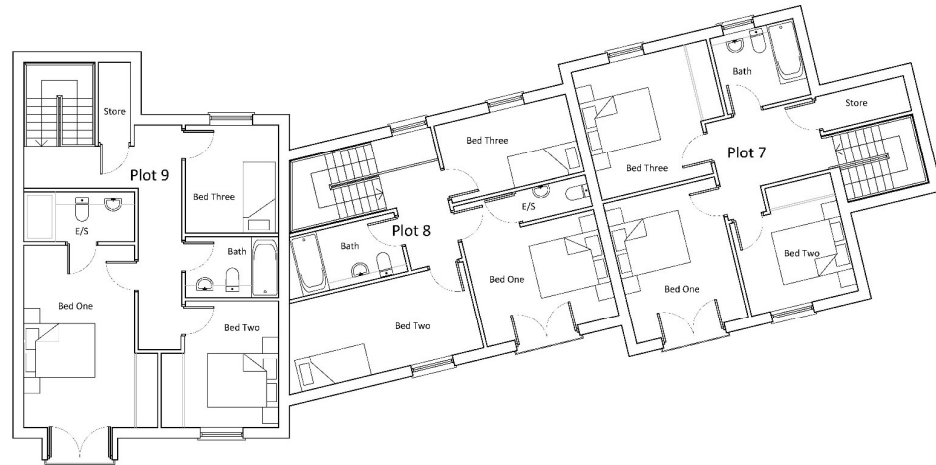
Client
 Mr GJR & Mrs KF Swindells

Project
 The Mermaid Inn
 Surfleet

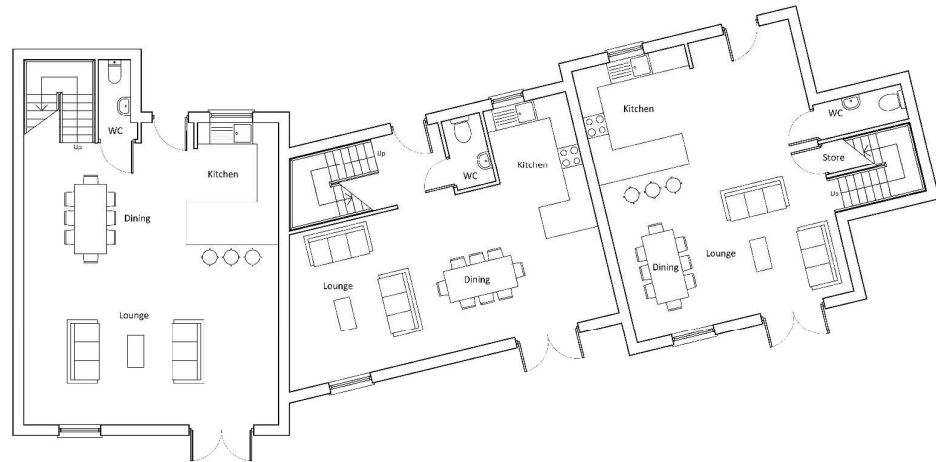
Drawing
 Proposed Site Plan

Scale @ A2 1: 250	Date 17/08/21
Drawn By WW	Checked By PSS
Job Number 1447-1	Status PL
Job Number 1447-1	Purpose of Issue Planning

Drawing No. 1447-1_PL_SP01 **Rev** F



PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

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Rev	Description	Date
A	Minor window position revisions	12.12.22

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Client
 Mr GJR & Mrs KF Swindells

Project
 The Mermaid Inn
 Surfleet

Drawing
 Proposed Townhouse Floor Plans

Scale @ A2 | **Date**
 1: 100 | 26/09/22

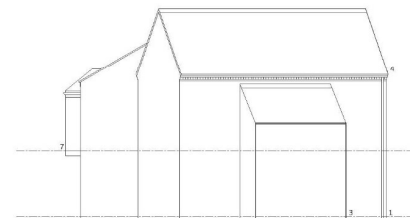
Drawn By | **Checked By**
 PSS | PSS

Job Number | **Status** | **Purpose of Issue**
 1447-1 | PL | Planning

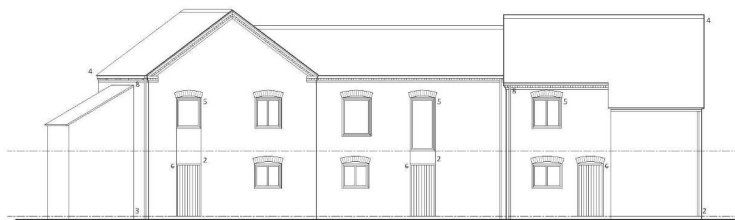
Drawing No. | **Rev**
 1447-1_PL_PL06 | A



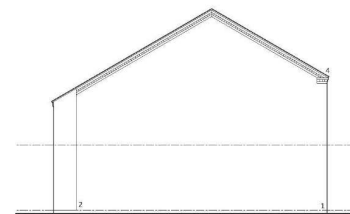
PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION

Material Schedule

1. Red facing brickwork
2. Vertical timber boarding
3. Horizontal timber boarding
4. Natural Slate roofing
5. Hardwood Timber frame windows
6. Hardwood Timber doors
7. Lead to dormer cheeks
8. Black UPVC gutters and RWPs
9. Toughened glass Juliet balcony

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Rev	Description	Date
A	Window positions revised RDC detailing added	12.12.22

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Client
 Mr GR & Mrs KF Swindells

Project
 The Mermaid Inn

Surflevel:

Drawing
 Proposed Townhouse Elevations

Scale @ A1 **Date**
 1:100 26/09/22

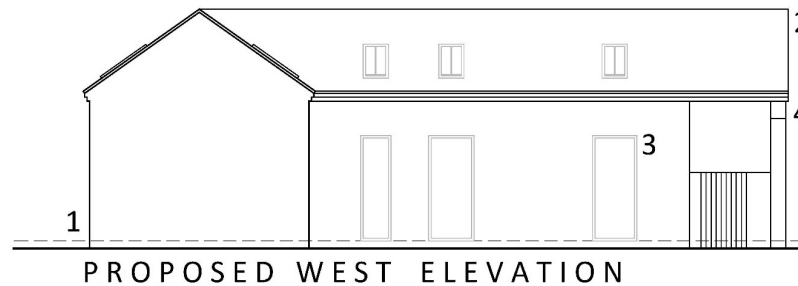
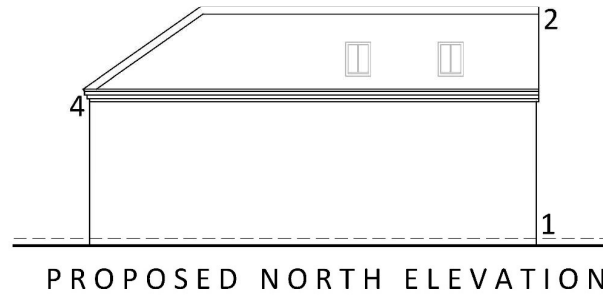
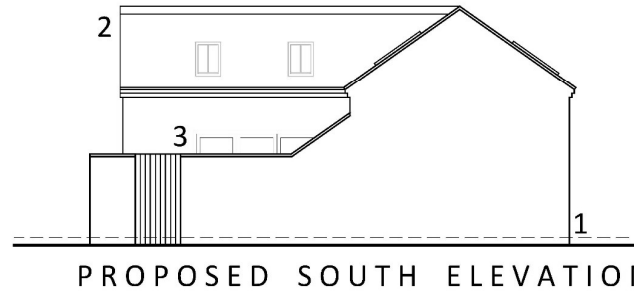
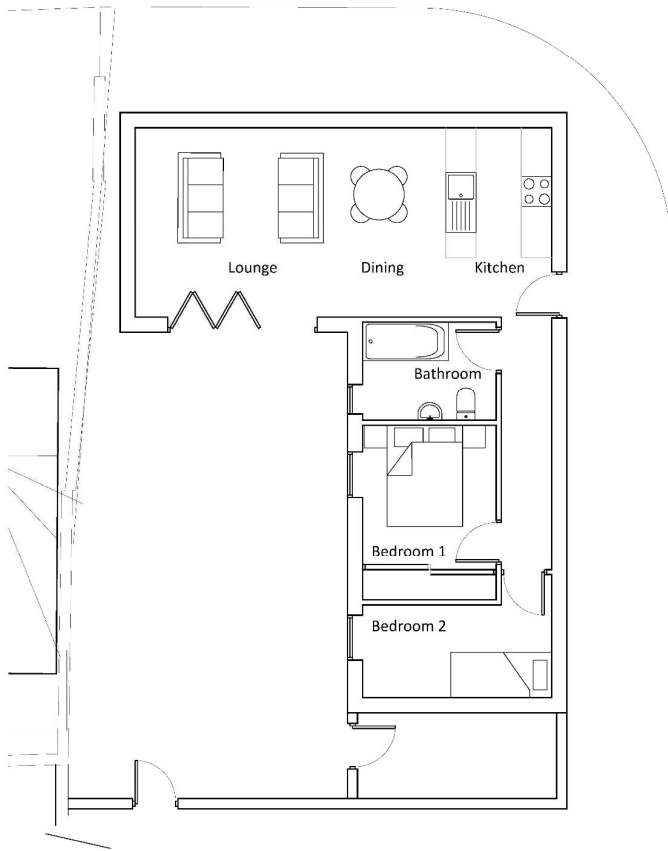
Drawn By **Checked By**
 P55/WW LMS

Job Number **Status** **Purpose of Issue**
 1447-1 Pl. Planning

Drawing No. **Rev**
 1447-1_PL_ELD4 A

Material Schedule

1. Red facing brickwork
2. Natural Slate Roofing
3. Aluminium PPC windows and doors
4. Black guttering and RWPs
5. Hardwood timber door



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Client
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Project
The Mermaid Inn
Surfleet

Drawing
Mews Dwelling (Plot 6)

Scale @ A3 1: 100	Date 26/09/22
-----------------------------	-------------------------

Drawn By PSS	Checked By -
------------------------	------------------------

Job Number 1447-1	Status PL	Purpose of Issue Planning
-----------------------------	---------------------	-------------------------------------

Drawing No. 1447-1_PL_GA06	Rev -
--------------------------------------	-----------------



Red facing brickwork

Timber cladding



Timber cladding alongside red facing brickwork

Black UPVC rainwater goods



Slate roof



Dentil course detailing

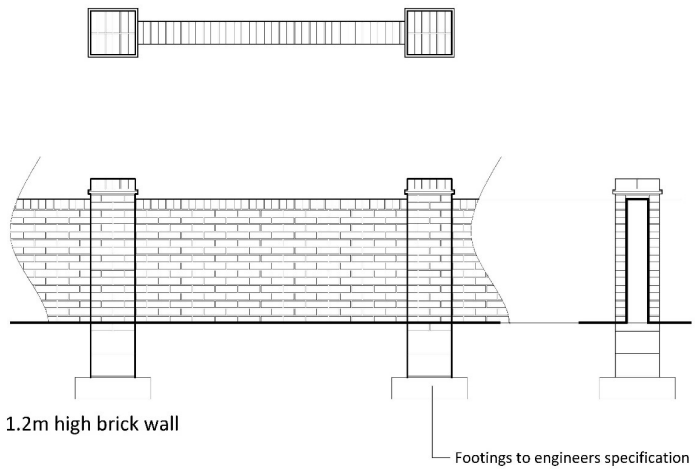


Red brick arch above windows and doors

White wooden casement windows

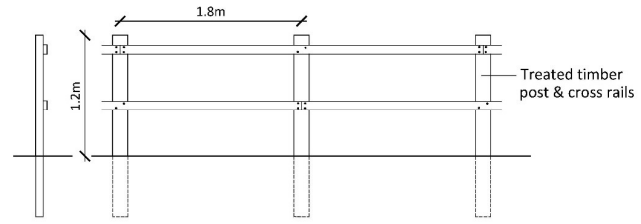


<p>Client Mr GJR & Mrs KF Swindells</p>	<p>Project The Mermaid Inn, Surfleet</p>	<p>Drawing Example Images</p>	<p>Job Number 1447-1</p>	<p>Drawing Number 1447-1_PL_PL08</p>	<p>Date - 12/12/22 Drawn By - WW Checked By - LMS</p>	<p>Tel: 01529 421646 Email: admin@rdc-landplan.co.uk Web: www.rdc-landplan.co.uk</p>	<p>rdc Robert Doughty Consultancy</p>
--	---	--	-------------------------------------	---	--	--	--

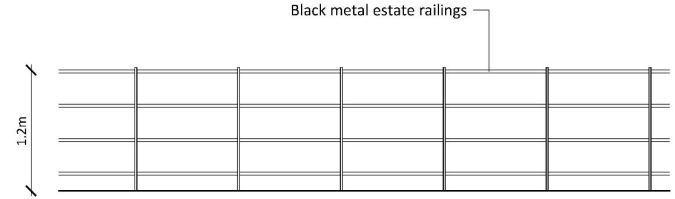


1.2m high brick wall

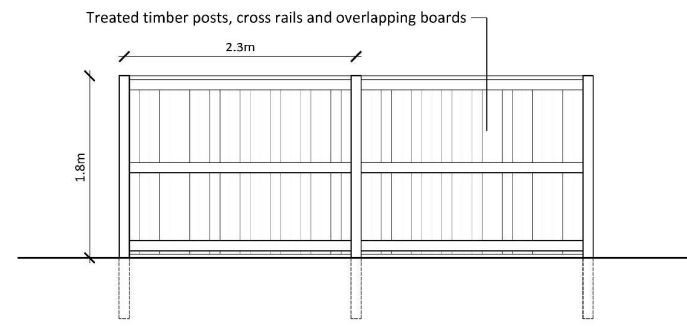
Footings to engineers specification



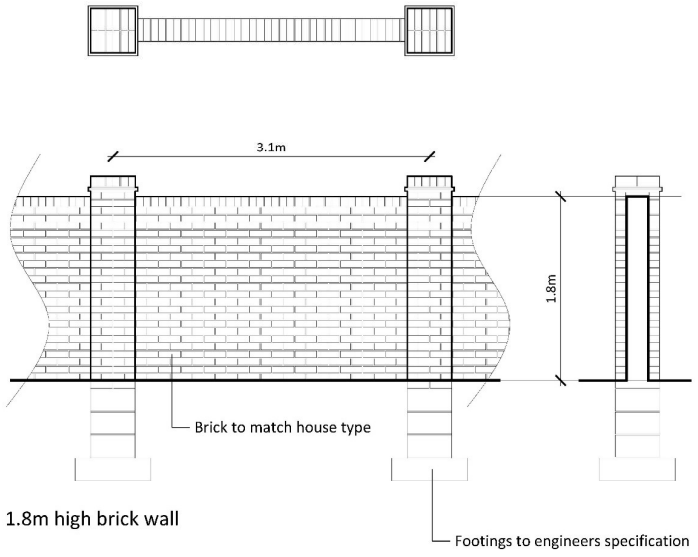
1.2m high post & rail fence



1.2m high metal railings



1.8m high close boarded fence



1.8m high brick wall

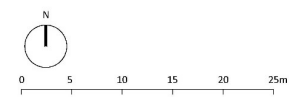
Footings to engineers specification

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Project
The Mermaid Inn
Surfleet

Drawing
Boundary Treatments

Scale @ A3 1: 50	Date 16/08/21
----------------------------	-------------------------

Drawn By WW	Checked By LMS
-----------------------	--------------------------

Job Number 1447-1	Status PL	Purpose of Issue Planning
-----------------------------	---------------------	-------------------------------------

Drawing No. 1447-1_PL_DD01	Rev -
--------------------------------------	-----------------



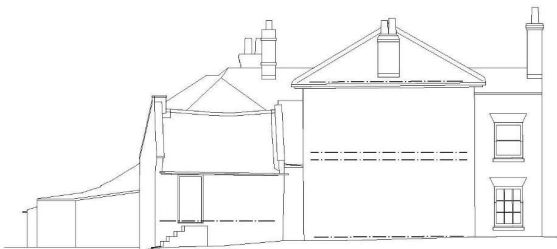
EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION

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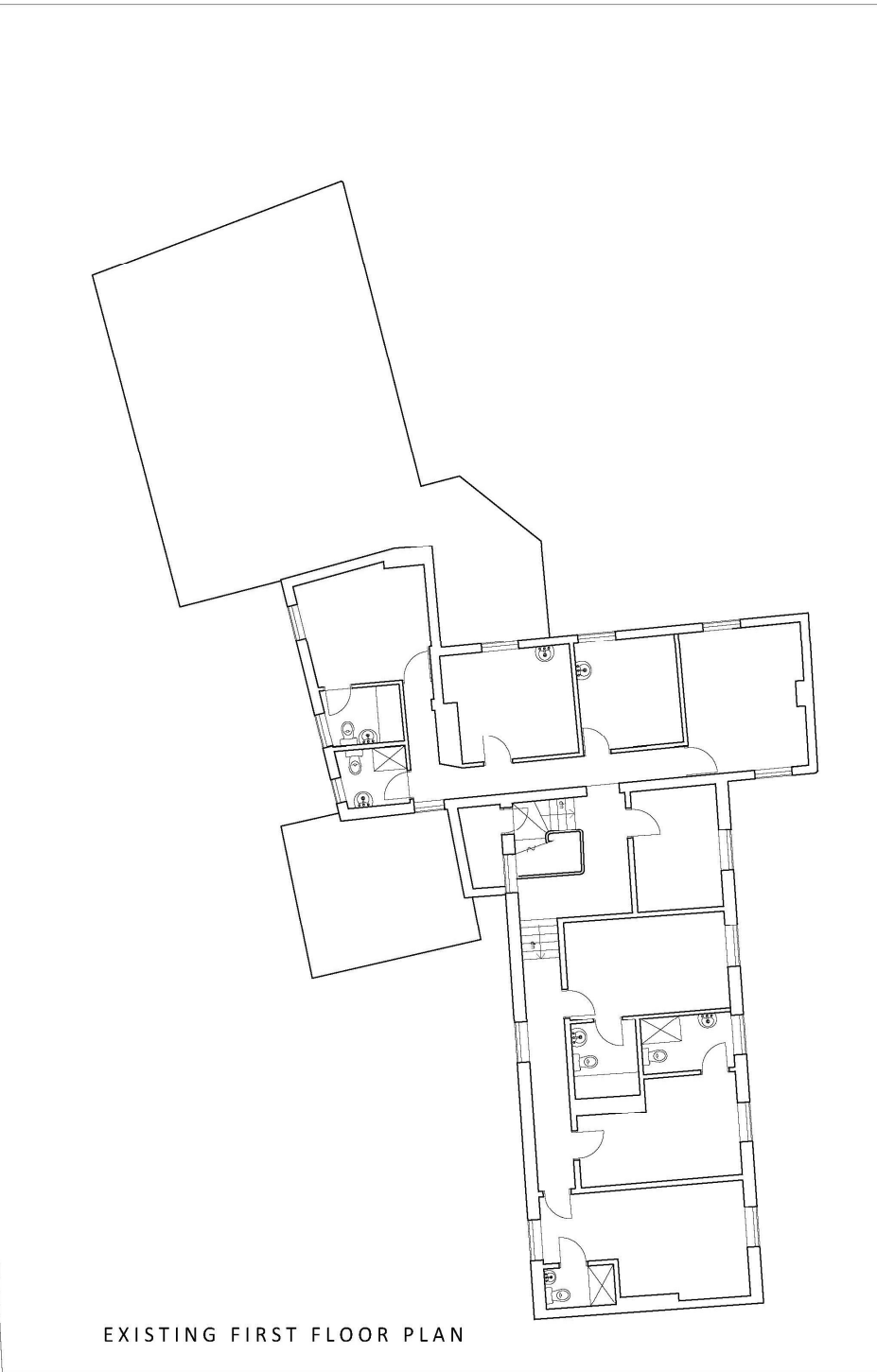
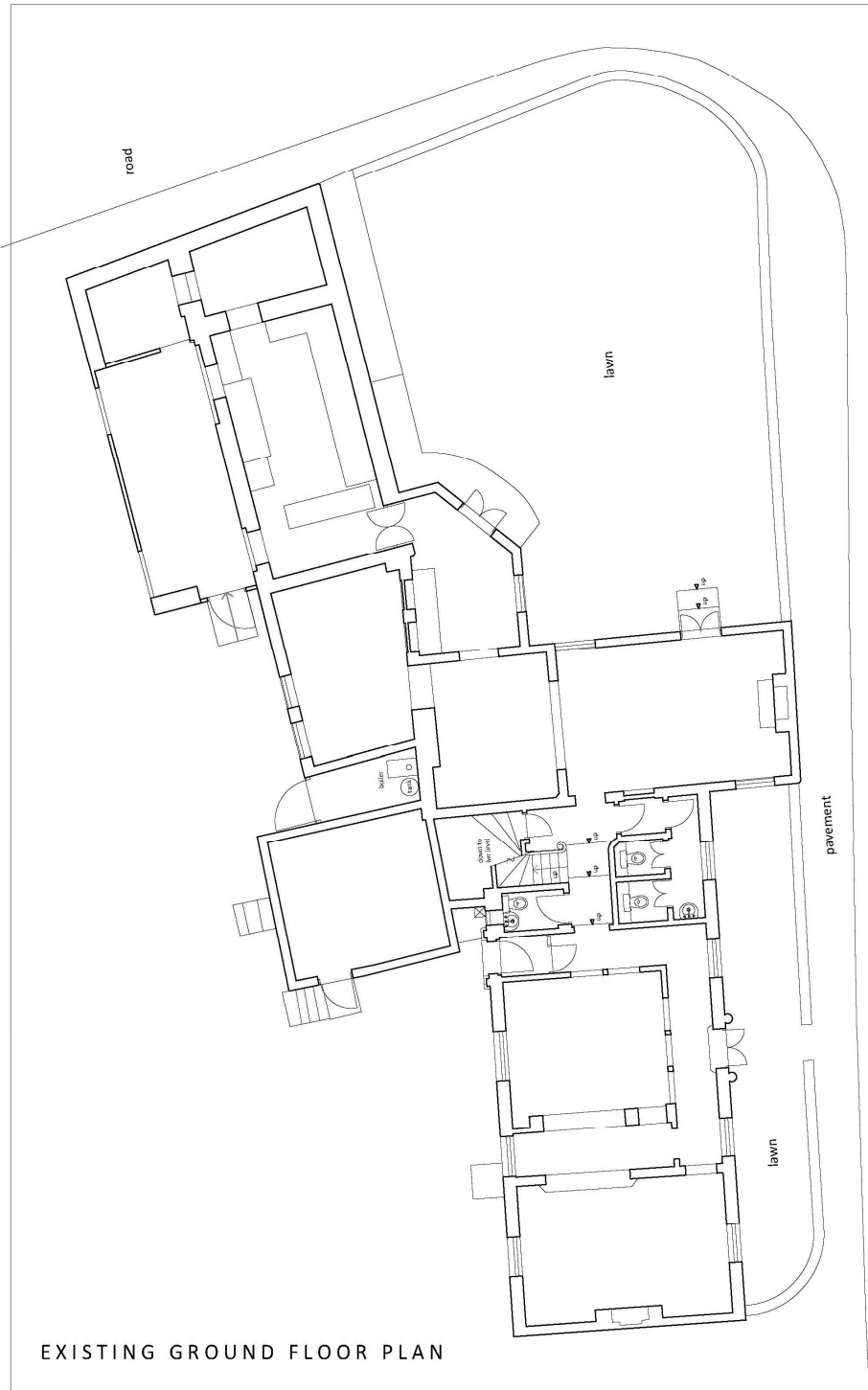
Project
 The Mermaid Inn
 Surfleet

Drawing
 Existing Elevations of Public House

Scale @ A1 1:100	Date 02/08/21
Drawn By PSS	Checked By PSS
Job Number 1447-1	Status P
Job Number 1447-1	Purpose of Issue Planning

Drawing No.
1447-1_PL_ELO1

Rev
-



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0 1 2 3 4 5m

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Project
 The Mermaid Inn
 Surfleet

Drawing
 Existing Ground and First Floor Plans

Scale @ A2	Date
1: 100	18/08/21

Drawn By	Checked By
PSS	PSS

Job Number	Status	Purpose of Issue
1447-1	PL	Planning

Drawing No.	Rev
1447-1_PL_PL01	-

EXISTING GROUND FLOOR PLAN

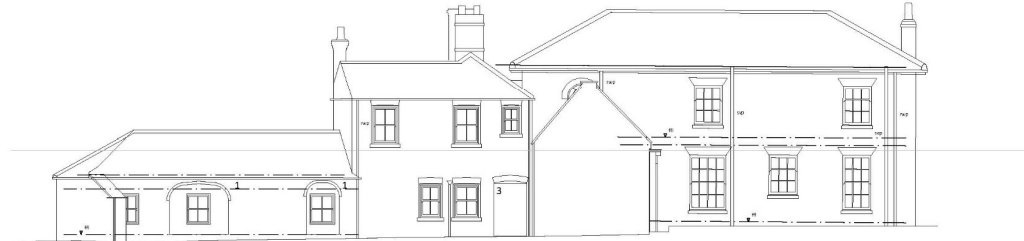
EXISTING FIRST FLOOR PLAN



PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

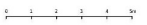


PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION

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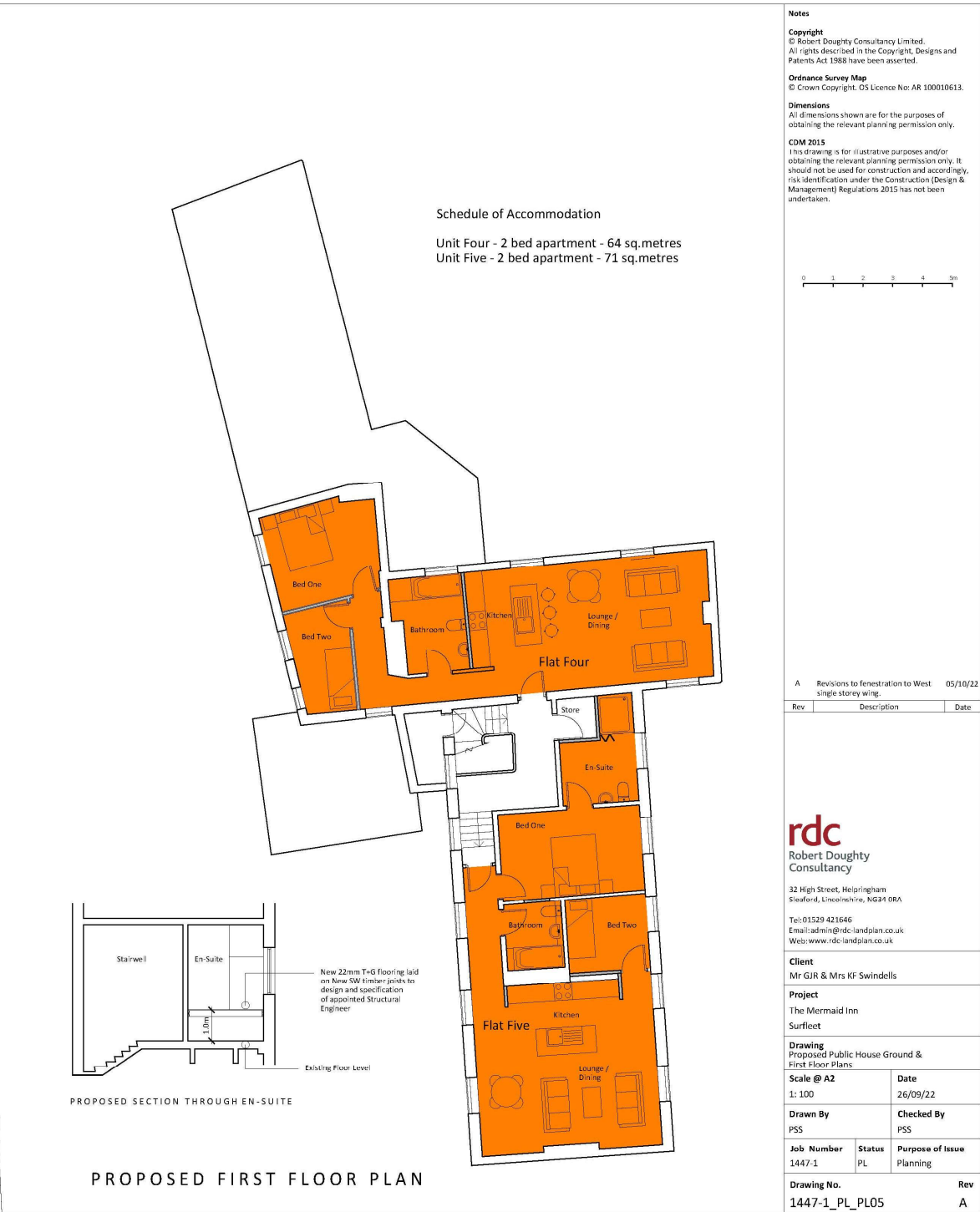


Rev	Description	Date
A	Revisions to free elevation to West single storey wing	05/12/22

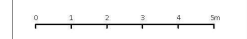
rdc
 Robert Doughty
 Consultancy
 32 High Street, Holspinkham
 Stamford, Lincolnshire, NG34 0BA
 Tel: 01539 421666
 Email: rdc@rdc-consultancy.co.uk
 Web: www.rdc-consultancy.co.uk

Client Mr GR & Mrs KF Swindells		
Project The Mermaid Inn Surrey		
Drawing Proposed Public House Elevations		
Scale @ A1 1:100	Date 26/09/22	
Drawn By PSS	Checked By PSS	
Job Number 1447-1	Status P.	Purpose of Issue Planning
Drawing No. 1447-1_SK_EL03	Rev A	

- Material Schedule**
- Historic arches retained and new brickwork, infill with horizontal slicing each timber windows installed within reveals of openings
 - Existing M & E fittings and fixtures removed and disturbed brickwork made good
 - Former timber ledged and braced door removed and new brickwork to match existing



Notes
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Dimensions
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CDM 2015
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A Revisions to fenestration to West single storey wing. 05/10/22

Rev	Description	Date

rdc
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Client
 Mr GJR & Mrs KF Swindells

Project
 The Mermaid Inn
 Surfleet

Drawing
 Proposed Public House Ground & First Floor Plans

Scale @ A2	Date
1: 100	26/09/22

Drawn By	Checked By
PSS	PSS

Job Number	Status	Purpose of Issue
1447-1	PL	Planning

Drawing No.	Rev
1447-1_PL_PL05	A

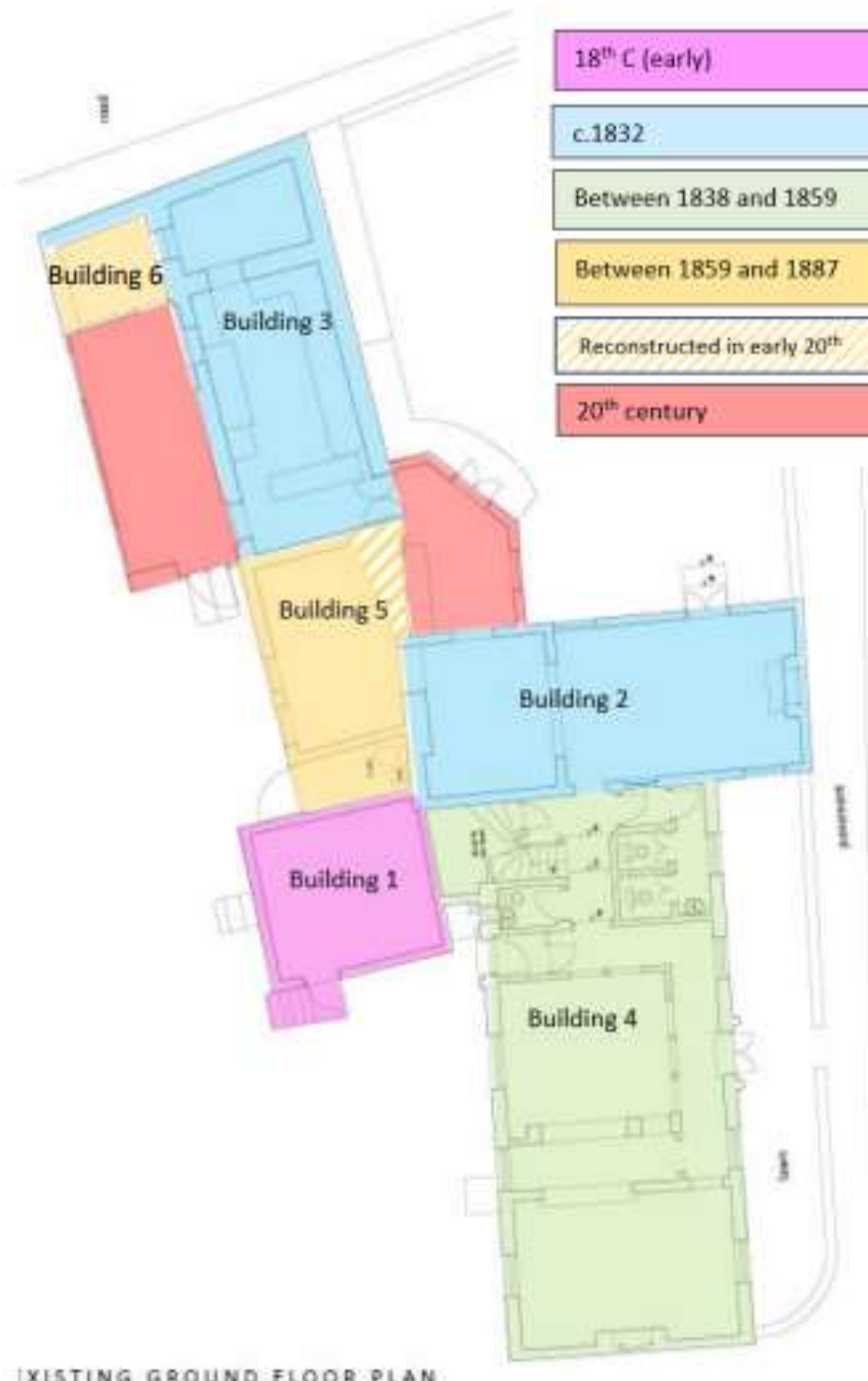
PROPOSED GROUND FLOOR PLAN

PROPOSED FIRST FLOOR PLAN

Site Plan – Existing (noting names of various elements)

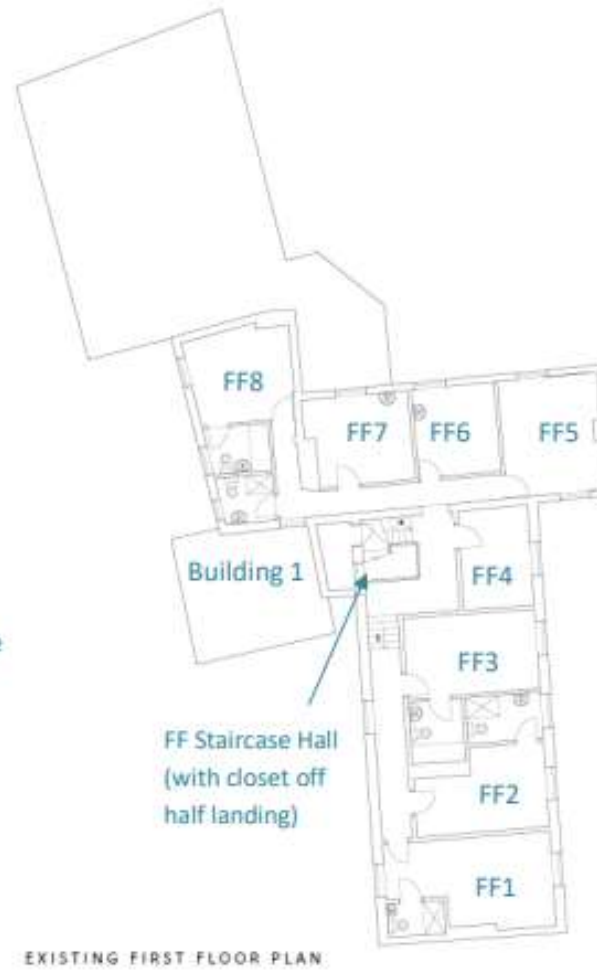
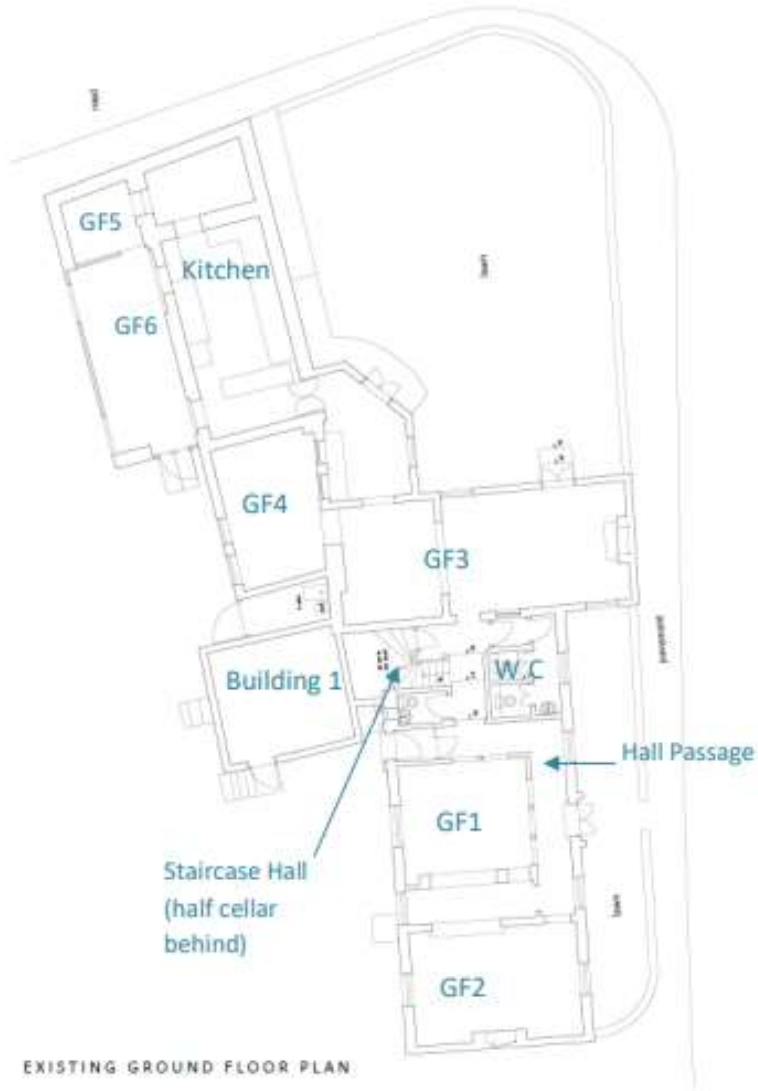


Key Phases of Construction / Analysis of building



EXISTING GROUND FLOOR PLAN

5. Existing Plan (including room names / numbers)







P7 – east elevation. note the parapet front to building 2.



P3 – north elevations.



P4 – east elevation of stable. The modern requirements of a commercial kitchen detract from the exterior.



P5 – west elevations seen from beyond the garage.



P6 – west elevation, building 1 is the earliest surviving building on this site and once detached.



P7 – modern extension to stable block.



P8 – west elevation of building 5.



P9 – south elevation.



P10 – north elevation of Store- contains old brickwork at the lower level.



P11- south elevation of store - concrete block and a corrugated iron roof.



P12 – east elevation of garage



P13 – west elevation of garage and W.C.



P14 – looking from the public footpath from the River Glen. Old walls line the river, although much repaired and altered are the external wall of the brewery and other buildings that once existed.



P15 – the Mermaid Inn and the leaning tower of Surfleet parish church.



P16, the Mermaid Inn forms a pleasant 'stop' at the end of Station Road.



Fig 6, an undated photograph of an early 19th century house and attached cottages located on the frontage of the River Glen. These are the buildings seen clearly on Bryant's 1828 map as quite a large linear structure. This 1828 map identifies the plan of these buildings, and this photograph corroborates that the map is reasonably accurate. The house on the right may have been the dwelling house, noted on sales particulars in 1854, leaving the E-W range of what is now the Mermaid Inn more a separate public house, until it was extended in 1



Above: Mr. Flowers, Surfleet bricklayer repairing chimney of Ivy house (now part of the Mermaid Inn).

Fig 7, Photo – undated, but *circa* 1900 shows the 19th century range of The Mermaid. An article which features this photograph notes the building as ‘Ivy House.’ Trade directories and land tax records show that Alfred Ernest Smith lived here and that the building was used as a dwelling house, although a licence was retained for a public house, but not used between 1860 and 1939. Beyond Ivy House is the N-S range of the Mermaid Inn (what is now the principal architectural range). Beyond, is the side elevation of the early 19th C house seen in Fig 6. Note the different stacks on Ivy House, compared with its later extension on the right. What appears to be a projecting sign is seen on the end of the N-S range. This could well be advertising the brewery given the Mermaid Inn was not in use as a public house. The ridge stack on Ivy House indicates where the end of the building was until it was extended.



Fig 8, above, Mermaid Inn, 1964. Note the glazed panels to the front doors, and also a chimney stack on the rear roof slope (removed after 2009 – see google maps). The roof is slate. Note how the parapet of Building 2 is covered with the overhang of the hipped roof. This parapet indicates that the principal architectural front of Building 2 was its principal architectural or 'polite' elevation originally and that Building 4 was added to it later.

Fig 9, right, demonstrates the parapet is original with no alterations to the brickwork on the east elevation of Building 2 visible.

Source of image: Fig 8. Owner.



7. Photographs – Internal

Note: the Mermaid Inn contains little by way of internal features. Photographs are therefore confined to demonstrating elements of architectural merit. Rooms which have been assigned as having no special interest have not been included in this document.



P15 – interior of Building 1. Contains a mid-19th century fireplace with cast insert, later tiled splays, and the remains of a grate. Two modern paving slabs form a hearth.

Timber clad ceiling late 19th C.



P16 – barrel vault to Building 1.



P17 – double elliptical arch to former stable.



P18 – altered, reduced, and plastered double elliptical arch to stable.



P19 – early 19th century stick baluster staircase. Note the unusual arrangement with a stone under the wreath (used to lift a re-used staircase to the level required?)



P20 – staircase detail - cut string, moulded tread ends.



P21 – above, first floor staircase hall. Arch to building 2. Note the floor level.

P22- right, a half landing four panel door on the stairs.





P23- steps to passage from the staircase hall to rooms FF1, FF2 and FF3.



P24 – below the stairs, note the central column and some reused timbers.



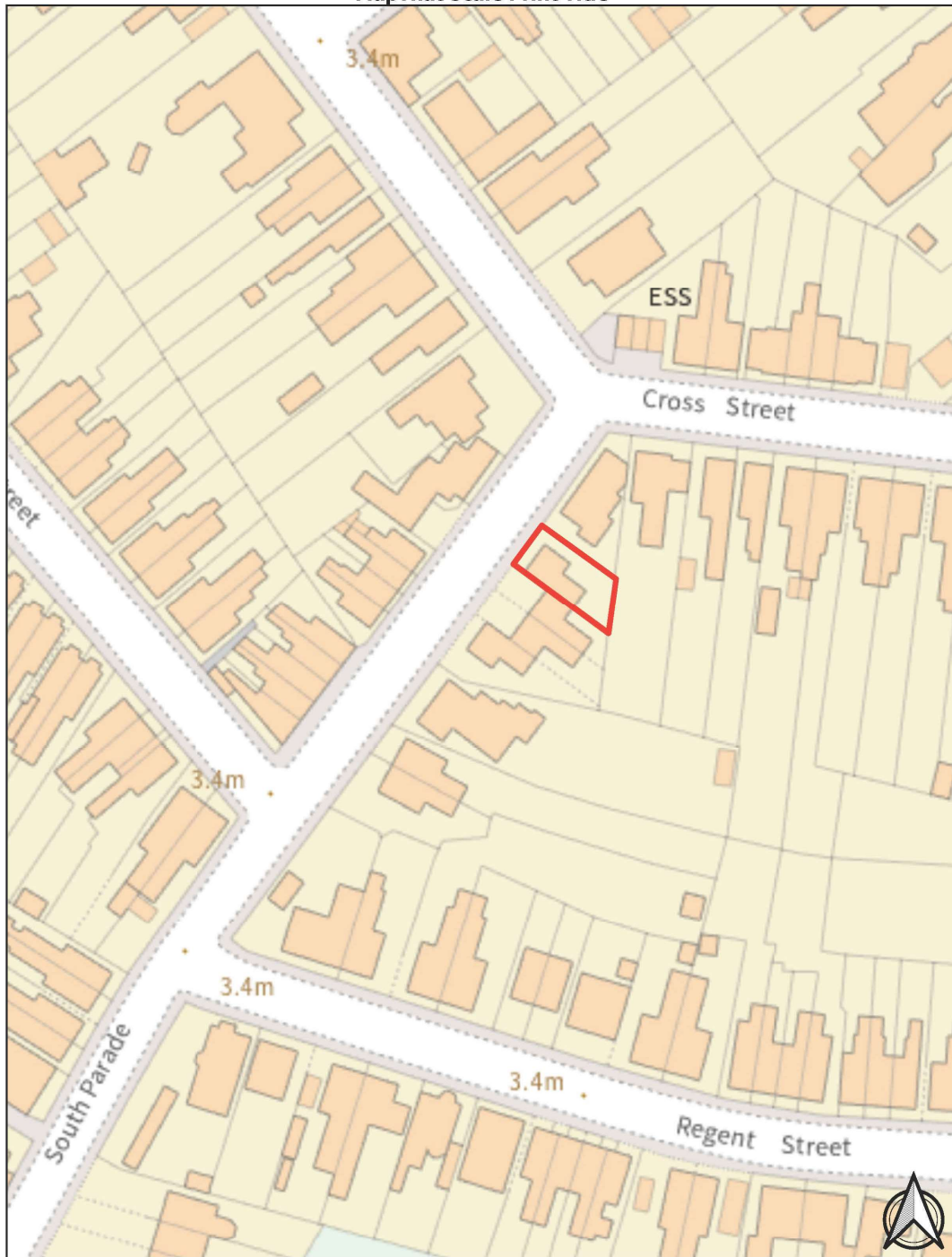
P25 – GF1, principal room of Building 4 contains an original cornice. Structural supports on walls to either side of the bar hold up what remains of the original chimney breast.

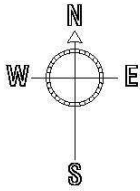
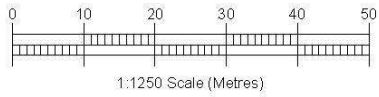


P28 – original door architrave and lining to front door.

P29 – top right, arch topped Victorian door linings to the front door.







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Site Location Plan

Scale 1:1250 @ A4

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- Denotes approximate applicant land ownership boundary
- Denotes approximate areas of site works boundaries

Rev.	Description	By	Date
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Client

East Lindsey District Council

Project

Listed Building
Planning Application

Drawing Title

Site Location Plan
3 South Parade, Spalding
Lincolnshire, PE11 2YJ

Drawing No.

BLBS0815-SLP

Scale

1:1250

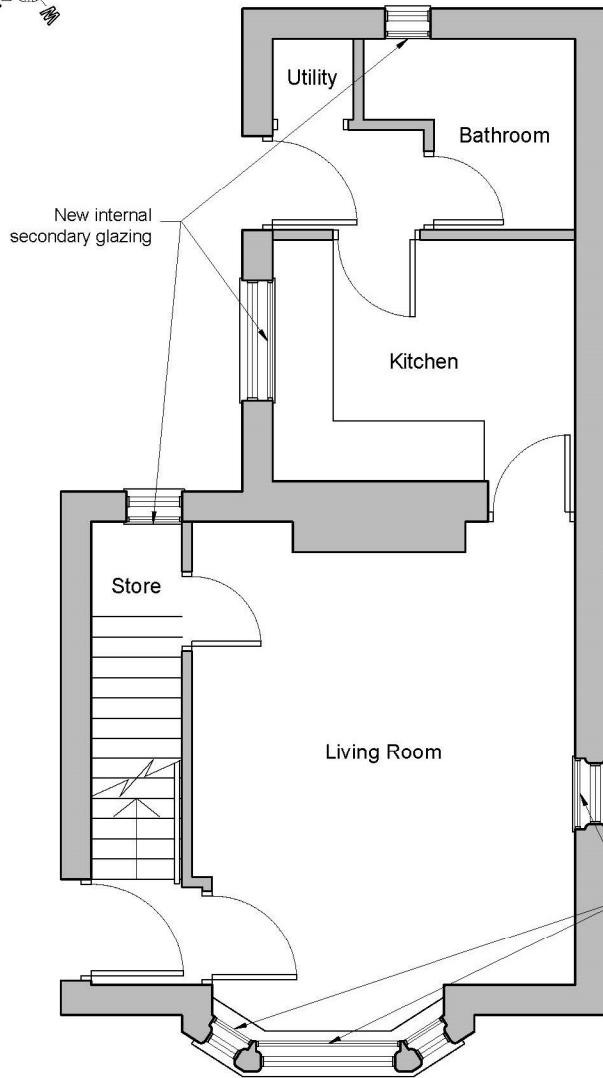
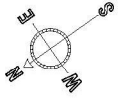
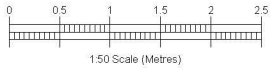
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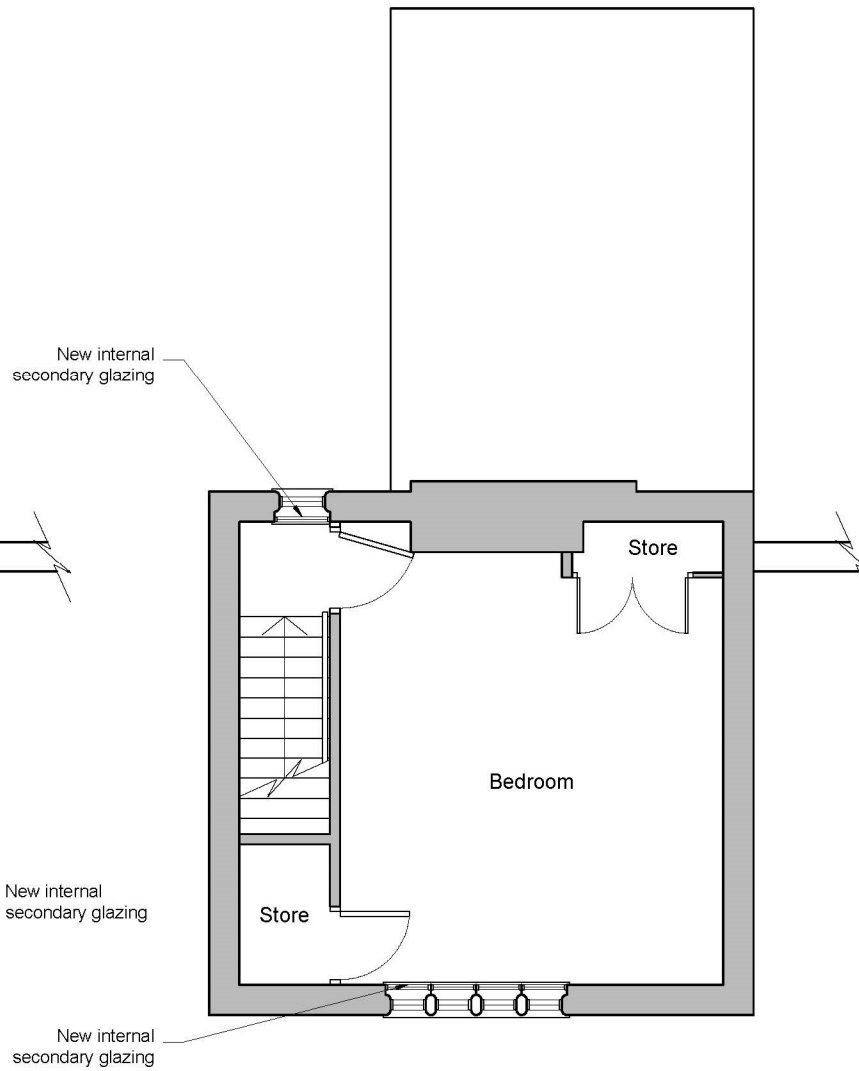
Planning

gleeds

Drawn PJP	Checked OSP
Date Nov.2022	Rev.



Proposed Ground Floor Plan
Scale 1:50 @ A3



Proposed First Floor Plan
Scale 1:50 @ A3

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Rev.	Description	By	Date
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Client

East Lindsey District Council

Project

**Listed Building
Planning Application**

Drawing Title

**Proposed Floor Plans
3 South Parade
Lincolnshire, PE11 2YJ**

Drawing No. **BLBS0815-PR-100**

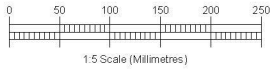
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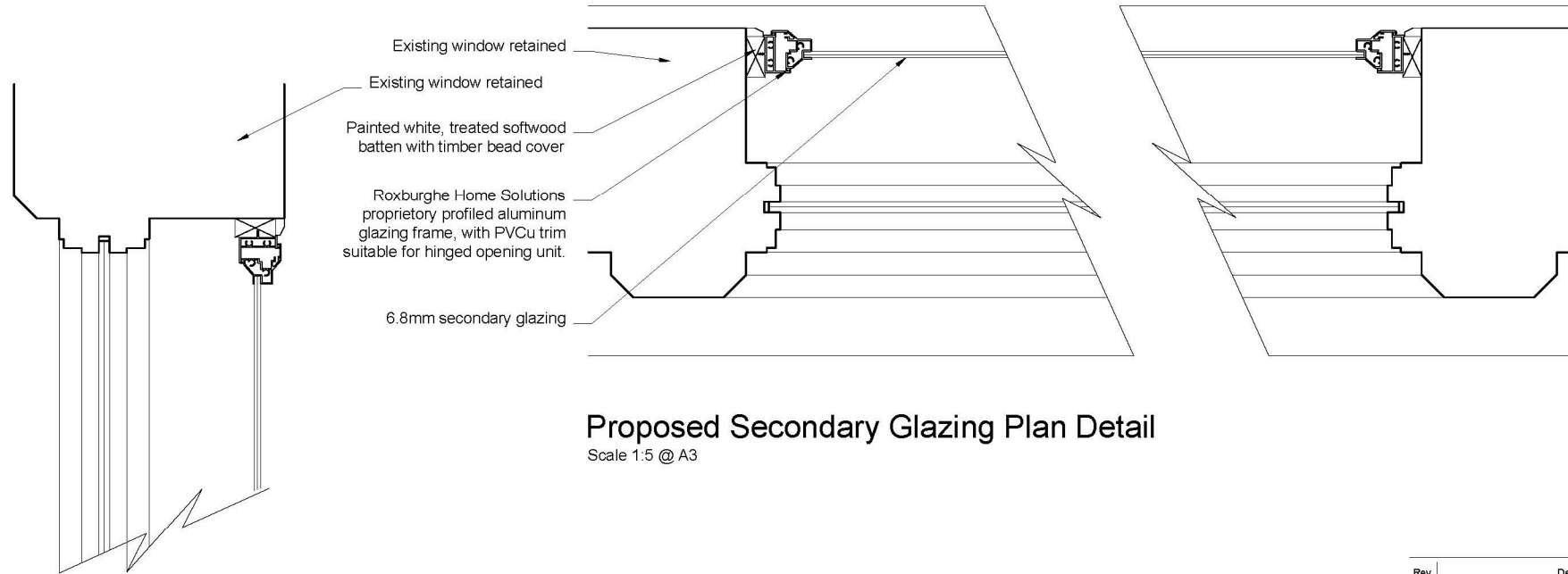
Planning

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PJP	OSP
Date	Rev.
Nov.2022	

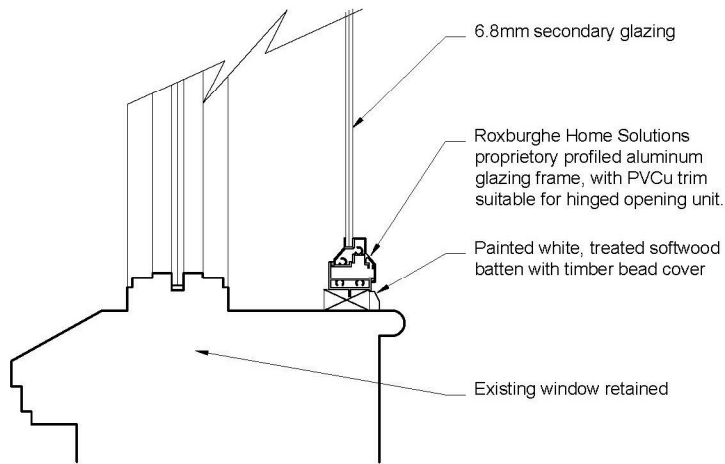


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Proposed Secondary Glazing Plan Detail

Scale 1:5 @ A3



Proposed Secondary Glazing Section Detail

Scale 1:5 @ A3

Rev.	Description	By	Date
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Client

East Lindsey District Council

Project

Listed Building
Planning Application

Drawing Title

Proposed Details
3 South Parade
Lincolnshire, PE11 2YJ

Drawing No. BLBS0815-PR-D01

Scale 1:5 Original Sheet Size A3

Drawing Status

Planning

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