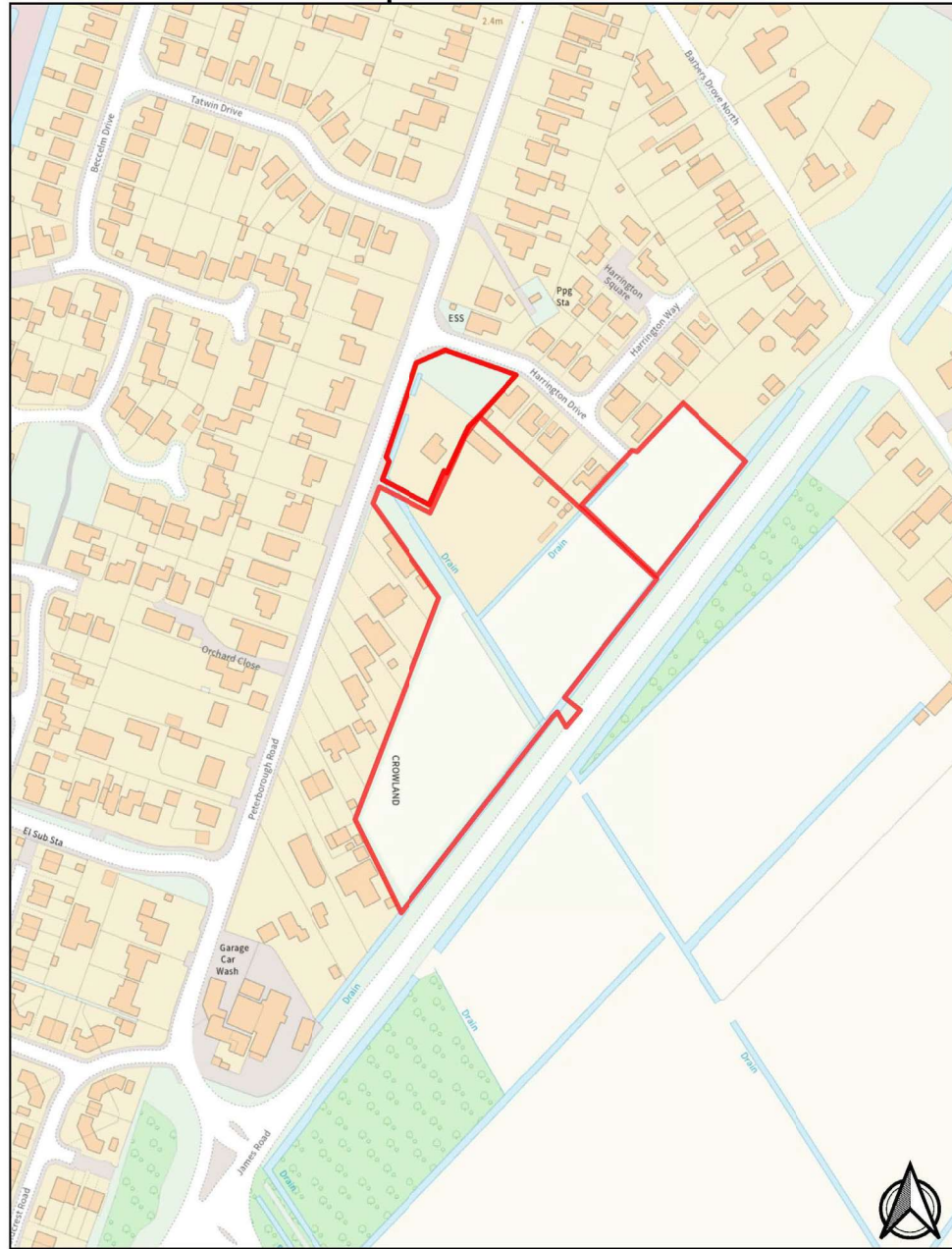


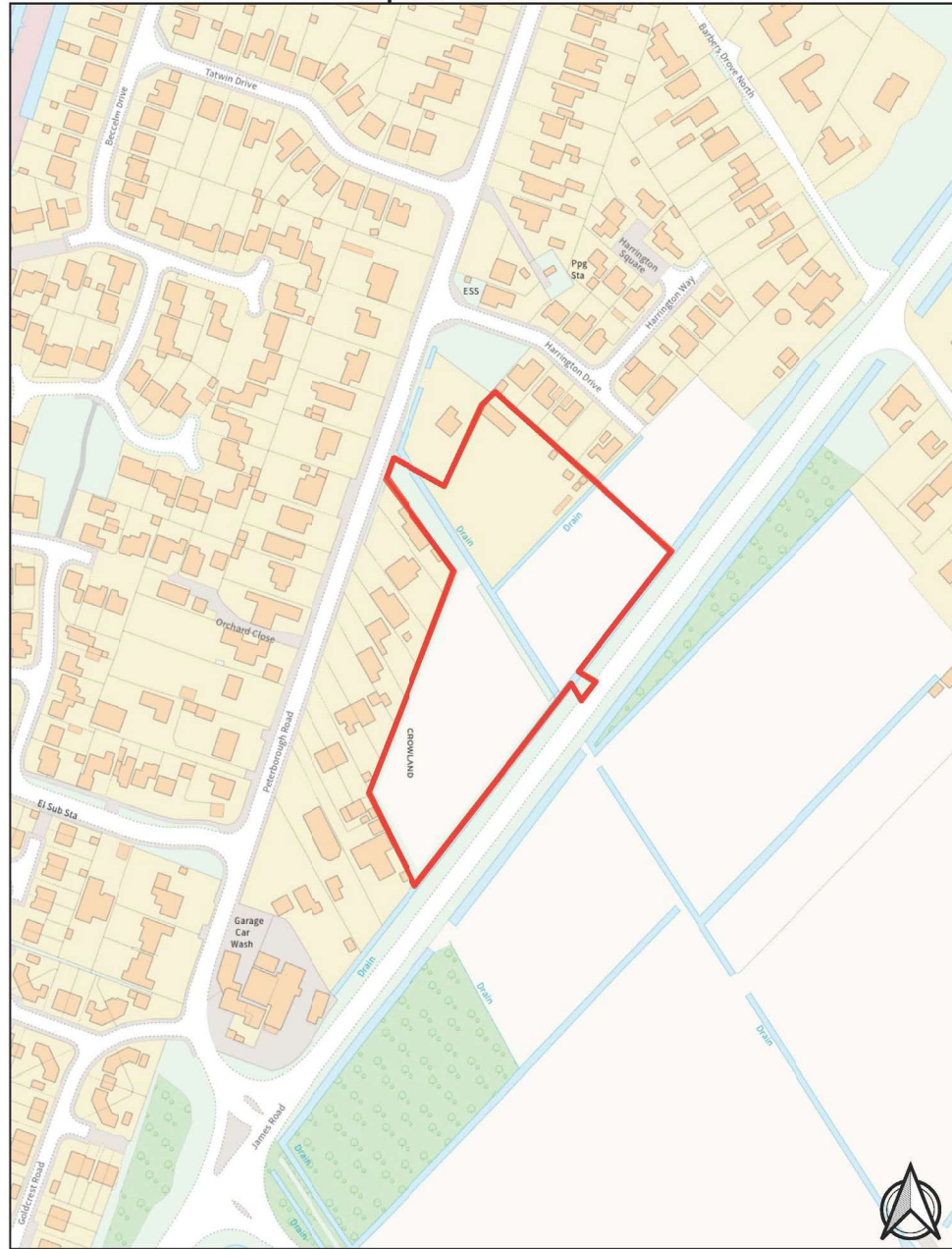
MapThat Scale Print Title



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MAP SCALE 1:2000  
CREATED DATE: 06/03/2023  
PHOTOGRAPHIC COPY  
LIABLE TO DISTORTION  
IN SCALE

MapThat Scale Print Title



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MAP SCALE 1:2000  
CREATED DATE: 15/02/2023  
PHOTOGRAPHIC COPY  
LIABLE TO DISTORTION  
IN SCALE



DEVELOPMENT BOUNDARY



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REV	DATE	DESCRIPTION

**ASHWOOD**  
HOMES

1 Godison Road, Lincs Gateway Business Park,  
Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT AT  
LAND SOUTH WEST OF HARRINGTON DRIVE  
CROWLAND

DRAWING TITLE:  
LOCATION PLAN

SCALE: 1:2500 @ A4	DATE: 21.09.2021
DRAWN: AR	REV: -
DRAWING No: 132 - LP - 01	





**Note : Legend**

**Topographical Survey**  
 The description and heights of trees should be used as a guide only.  
 All known ground survey data have been identified from above ground structures of durable building to those will be representative only.  
 Some features or location may not have been surveyed due to obstructions or not necessarily visible at the time of the survey.

**General**  
 This drawing shows the existing topography of land to the north of James Road and the existing surrounding highways on the 17th April 2021.

---

**SURVEY GRID AND LEVEL DATUM**  
 Ordnance Survey (OS) national grid coordinates have been used to carry out survey.  
 All levels relate to the Ordnance Survey (OS) level datum using OSNED OSNED (OS).

Revision	Date	Date
A	Topographical Survey	14/04/21

**Disclaimer:**  
 This plan should only be used for its original purpose. MFM accepts no responsibility for the plan if supplied to any party other than the original client.  
 All dimensions and/or level information shown should be checked on site prior to design and construction.  
 This drawing is not to be used in whole or part other than for the intended purpose and project as defined on this drawing. Refer to the contract for full terms and conditions.

**All dimensions in metres**

**MFM** Land Surveys & Engineering Services Ltd  
 371 Shearwell Road, Harland St James, PE14 6EP  
 Tel: 01464 430203 - www.mfm-land-surveys.co.uk

**Client:**  
 Seagate Homes  
 Holbeach Manor  
 Fleet Road  
 Holbeach

**Project Title:**  
 Harrington Drive Crowland

**Drawing Title:**  
 Topographical Survey to the north of James Road 3d

Sheet 1 of 2

Scale	Sheet Size	Drawn	Date
1:500	A1	M.M	18.04.2021

**Drawing Number:** 16170281-SEA-HARR-3D-TOPO  
**Revision:** A





This drawing is the property of Andrew Balcer Arboricultural Consultant. Copyright is reserved by him and the drawing is issued on the condition that it is not copied, reproduced, altered nor disclosed to any unauthorised person without his or her consent or in part without the consent of Andrew Balcer.

NOTES: Based on sunny drawing  
 1:1000 SEA-HARROLD TOPO New A  
 The original of this drawing was produced in colour - if monochrome copy should not be relied upon

**KEY**

- GRADE A TREES
- GRADE B TREES
- GRADE C TREES
- GRADE U TREES
- ROOT PROTECTION AREA
- CANOPY OUTLINE - INDIVIDUAL TREE
- CANOPY OUTLINE - GROUPS
- CANOPY OUTLINE - FUTURE POTENTIAL
- INDICATIVE SHADE AREA
- ARBORICULTURAL FEATURES OF VALUE

**Arboricultural Constraints**

**Root Protection Area**  
 The Root Protection Area (RPA) is highlighted as a magenta circle or polygon around each tree or group of trees. This is the area where the tree will be retained. Ideally no excavation should take place. The soil root should not be cut, compacted, or removed. No materials should be placed. Trees must be retained unless otherwise stated.

However, trees may be subject to some disturbance and some adjustments in construction methods should be considered. Advice should be sought. This will depend on a number of factors including tree species and site conditions along with the type of construction methods available to be retained.

**Shade of Light/Less**  
 The shade areas has not been shown for clarity but is based on a single specimen of 40' or less with the method suggested by BS5822. Shading when the shade area can be accessible where internal light, ventilation or proposed use of building materials may be substantially affected by a lack of sunlight received. Some shading may not be necessary. It is advised when solar gain can make rooms temperature uncomfortable.

**Above Ground Constraints**  
 The height of the lower crown above ground is shown in the survey. Lifting (or passing) the crown to a set height above ground or onto a taller branch, or any operations over the canopy or other access for ground and machinery should be an acceptable arboricultural practice. Crown spread may in itself be a constraint when it overlaps the RPA. Advice. Distance may be made on the survey.

**Trees on Neighbouring Land**  
 Trees on neighbouring ground must be taken into consideration. These are shown on the plan.

**Future Growth**  
 Where future growth is possible, this has been indicated as a broken perimeter. The potential future height has been indicated on the shade pattern above.

**Susceptibility to Retention**  
 In general, Grade 'A' and 'B' trees should be retained, especially if they offer a visual amenity to the wider community. If they are classified as 'Tree Group 'C' trees where they can continue to offer a presence and if they are retained this they should not generally prevent an otherwise satisfactory layout being achieved. Some of the trees may offer any current or future public visual amenity.

**Site/sky Protection**  
 This information was not available at the time of writing.

**Design Objectives**  
 Design a layout that takes account of the root protection areas of retained trees, with an aim to have a good level beyond the root protection areas of the RPA to make the practical execution of development feasible. (subject to other constraints)

Design a layout that takes the shading and above ground constraints into account. Shady areas beyond the crown spread of trees should be used for car parking. Gates must ensure direct sunlight over a reasonable proportion of the area (DPA) is supported by the availability.

Service routes must be located outside of the RPAs of retained trees.

Requirement of new protection scheme before development (including demolition) starts on site.

Make provision for replacement planting within the landscape proposals.


Rev	Description	Date

**Information Only**

Arboricultural Consultant  
 The Tree House, 1a Field End  
 Station Road, Lopham  
 Diss Norfolk  
 LE19 7YX      t: 01752 820807  
 e: info@balcerarboriculture.co.uk

Client  
**Ashwood Homes**

Project  
**110 Harrington Drive and  
 Peterborough Road, Crowland**

Drawing Title  
**TREE CONSTRAINTS PLAN**

Drawn	Checked	Reviewed	Date
AMB			11/08/2021
Job No.	Scale	Sheet Size	Revision
4415	1:500	A1	
Drawing Number			
4415 Harrington.Ashwood.TCP			



- KEY**
- Site boundary
  - Extent of further land in applicant ownership
  - 1800mm Facing Block wall (link to match adjacent property)
  - Filter Drains
  - Refuse Collection Area: (800mm x 800mm Space Per Dwelling)
  - LED light to down isolate lighting
  - Affordable Housing
  - Shared
  - Shared Ownership
  - First Home

**Cycle Storage**

Houses with garages - Cycles to be stored in garage.

Houses with out garages - To be provided with secure screwed well mounted padlock hoop with petiole garden area.

**Plot Schedule**

Plot No	House Type
1	Refined
2	Man
3	A752
4	A752
5	A752
6	A675
7	A675
8	A675
9	A675
10	A602
11	A602
12	A602
13	A602
14	A602
15	Man
16	Man
17	Cycle
18	Cycle
19	Cycle
20	Cycle
21	Man
22	Man
23	Lock
24	Man
25	Cycle
26	Cycle
27	Cycle
28	Man
29	Cycle
30	Cycle
31	Man
32	Cycle
33	Cycle
34	Man
35	Man
36	Man
37	Man
38	Man
39	Man
40	Man
41	Man
42	Shared

**House Type Schedule - OpenMarket**

House Type	Bedr	Baths	Bedr	No of
Man	752	2	2b 4p	9
Cycle	763	2	2b 4p	9
Man	802	2	2b 4p	2
Lock	1079	2	2b 4p	1
Man	1080	2	2b 4p	4
Refined	1099	2	2b 4p	1
Shared	1180	2	2b 4p	1
Man	1178	2	2b 7p	1
Man	1194	2	2b 7p	1
<b>Total</b>				<b>59</b>

**House Type Schedule - First Home**

House Type	Bedr	Baths	Bedr	No of
A602	802	2	2b 4p	3
<b>Total</b>				<b>3</b>

**House Type Schedule - Shared Ownership**

House Type	Bedr	Baths	Bedr	No of
Cycle	763	2	2b 4p	1
<b>Total</b>				<b>1</b>

**House Type Schedule - Affordable**

House Type	Bedr	Baths	Bedr	No of
A675	675	2	2b 3p	4
A752	752	2	2b 4p	3
A602	802	2	2b 4p	2
<b>Total</b>				<b>9</b>

**GRAND TOTAL**

	<b>42</b>
--	-----------

1. 08.09.2022 Plot 21 and 22 reserved, plot 21 released  
 2. 02.12.2022 Plot 12 and 13 reserved, landscape traffic ordered  
 3. 07.06.2022 Cycle storage shown to groups and added to plan  
 4. 07.06.2022 Cycle storage installed, traffic signs added to Harrington Road, 20' parking removed  
 5. 13.09.2022 House type schedule updated to reflect plan  
 6. 13.09.2022 Plot 10 reserved and released, plot 10 number and name Plot 20 - 20 reserved with Cycle Plot number applied  
 7. 02.12.2022 Affordable housing to 20m, parking adjusted to provide shared area of Plot 21 and 22, trees to be planted  
 8. 13.09.2022 Plot 26 number refers to 27 plot  
 9. 13.09.2022 Plot 24 reserved, number of plot released  
 10. 13.09.2022 Plot 25 reserved  
 Rev: Date Description

1 Goodfellow Road Linco Gateway Business Park, Spalding, Lincs, PE12 8PY T: 01430 488390

**PROJECT:**  
Proposed Residential Development at Land South of Harrington Drive, Crowland

**DRAWING:**  
Site Layout

**SCALE:** 1:3000/11 **DRAWN:** MIT  
**DATE:** FEB.2022 **REVISION:** 1

**DRAWING No.:** 132-SL-01

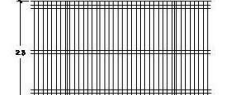




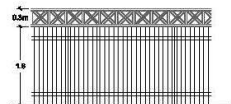
**KEY**



**BOUNDARY TYPE - CBP**  
1.8m High Close Boarded Fence



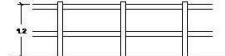
**BOUNDARY TYPE - CBP**  
2.5m High Close Boarded Fence - 100% Surface Density



**BOUNDARY TYPE - CBP**  
1.8m High Close Boarded Fence with 0.3m Privacy Trellis



**BOUNDARY TYPE - BW**  
1.8m High Brick Wall



**BOUNDARY TYPE - PR**  
1.2m High Post & Rail Fence



**BOUNDARY TYPE - MR**  
1.2m High Metal Fence

1	08/08/2021	PLC21 and 42 having completed
2	12/02/2022	1.8m high close boarded fence added to plan and key
3	02/07/2022	1.8m high close boarded fence added to plan and key
4	02/07/2022	1.8m high close boarded fence added to plan and key
5	13/02/2023	Updated to add 1.8m high close boarded fence
6	02/02/2023	Added 1.8m high close boarded fence to plan and key
7	13/02/2023	Updated to add 1.8m high close boarded fence
8	02/02/2023	Added 1.8m high close boarded fence to plan and key
9	13/02/2023	Updated to add 1.8m high close boarded fence
10	02/02/2023	Added 1.8m high close boarded fence to plan and key
11	13/02/2023	Updated to add 1.8m high close boarded fence
12	02/02/2023	Added 1.8m high close boarded fence to plan and key
13	13/02/2023	Updated to add 1.8m high close boarded fence
14	02/02/2023	Added 1.8m high close boarded fence to plan and key
15	13/02/2023	Updated to add 1.8m high close boarded fence
16	02/02/2023	Added 1.8m high close boarded fence to plan and key
17	13/02/2023	Updated to add 1.8m high close boarded fence
18	02/02/2023	Added 1.8m high close boarded fence to plan and key
19	13/02/2023	Updated to add 1.8m high close boarded fence
20	02/02/2023	Added 1.8m high close boarded fence to plan and key



1 Goodfellow Road Linco Gateway Business Park, Spalding, Lincoln, PE12 8PY T: 01454 488280

**PROJECT:**  
Proposed Residential Development at Land South of Harrington Drive, Crowland

**DRAWING:**  
Boundary Treatment Plan

**SCALE:** 1:500 @ A1 **DRAWN:** MIT

**DATE:** OCT.2.2021 **REVISION:** I

**DRAWING No.:** 132-BT-01





LEGEND	
	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 68MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: LEICESTER MULTI CREAM
	BRICK TYPE B: IVANHOE WESTMINSTER
	BRICK TYPE C: OAKMOOR CREAM
	ROOF TILE A: CONDRON CONCRETE PANTILE - TERRACOTTA
	ROOF TILE B: CONDRON CONCRETE SLATE - BLACK
	ROOF TILE C: WIENERBERGER NEW CASSIUS - ANTIQUE SLATE



BRICK TYPE A:  
LEICESTER MULTI CREAM



ROOF TILE A:  
CONDRON CONCRETE PANTILE -  
TERRACOTTA



BRICK TYPE B:  
OAKMOOR CREAM



ROOF TILE B:  
CONDRON CONCRETE SLATE -  
BLACK



BRICK TYPE C:  
IVANHOE WESTMINSTER



ROOF TILE C:  
WIENERBERGER NEW CASSIUS  
ANTIQUÉ SLATE

Rev.	Date	Description
0	08.03.2022	Updated plans 22 and 42
1	24.07.2022	Updated plans 10, 11 and 24
2	15.02.2022	Revised to suit latest site layout
3	02.03.2022	Amendments to plans, pending approval to plans
4	11.01.2022	Plans for approval, number of jobs reduced
5	22.02.2021	Minor site changes



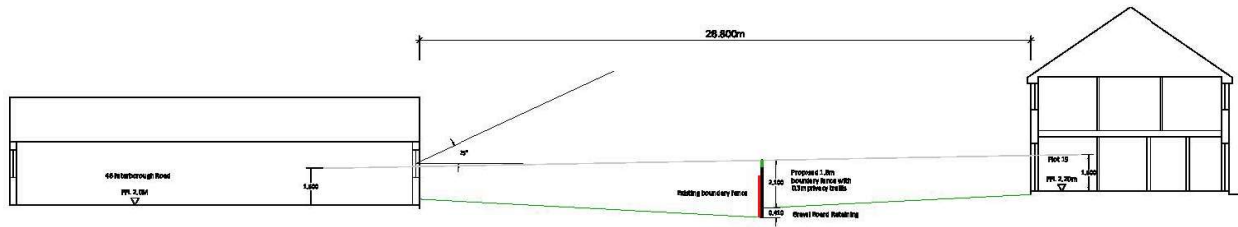
1 Goodison Road, Lincs Gateway Business Park,  
Spalding, Lincs, PE12 8PY T: 01406 480380

PROJECT:  
Proposed Residential  
Development at Land South of  
Harrington Drive, Crowland

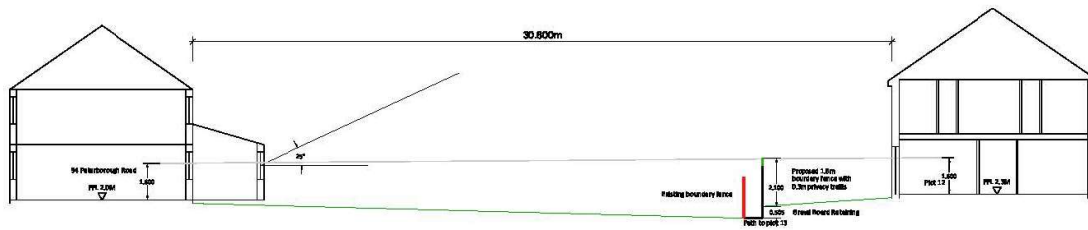
DRAWING:  
Materials Schedule Layout

SCALE: 1:500@A1 DRAWN: MII  
DATE: FEB.2022 REVISION: G

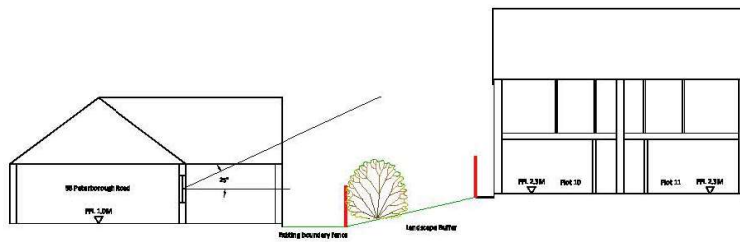
DRAWING No: 132-MSL-01



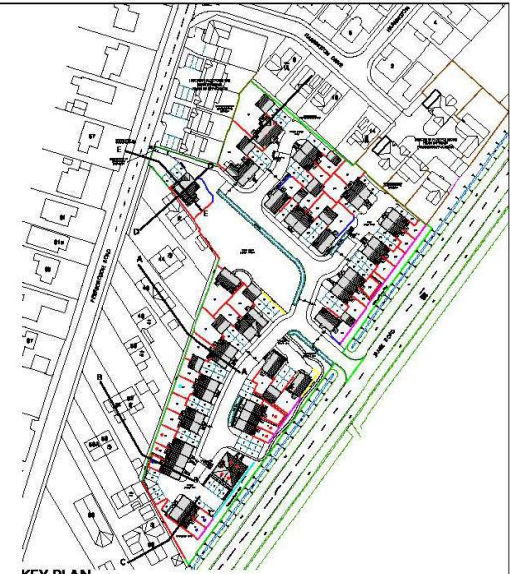
SECTION AA



SECTION BB



SECTION CC



KEY PLAN  
Scale 1:1000

Rev.	Date	Description
A	22.05.2022	Revised A4 and B4 amended
B	05.07.2022	Revised A4 and B4 amended



1 Goodfellow Road, Linco Gateway, Business Park, Spalding, Lincoln, PE12 8PY. T: 01430 400300

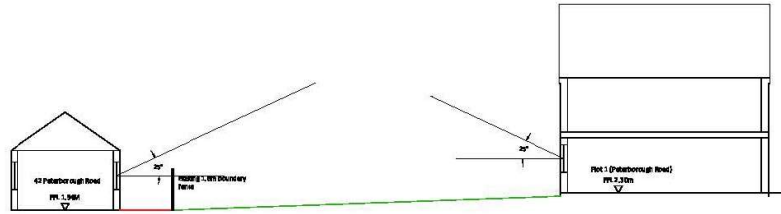
PROJECT: Proposed Residential Development at Land South of Harrington Drive, Crowland

DRAWING: Site Sections

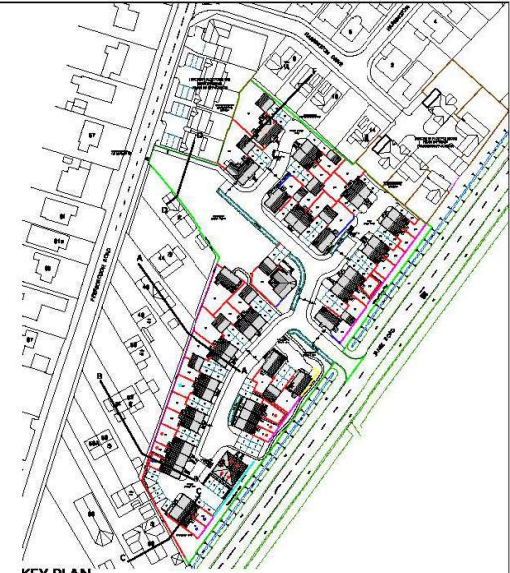
SCALE: 1:3000 A1 DRAWN: GB

DATE: MAY.2022 REVISION: B

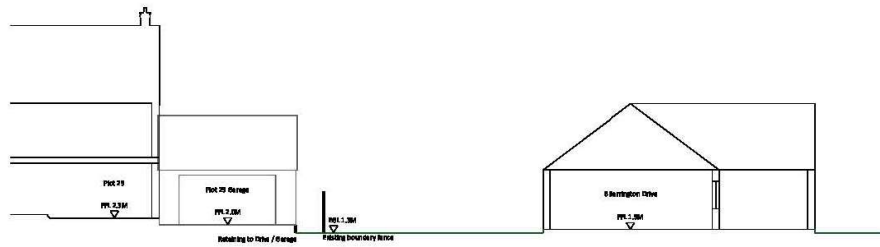
DRAWING No: 132-SS-01



SECTION D-D



KEY PLAN  
Scale 1:1000



SECTION F-F

No.	Date	Description
1	08.08.2021	Section Development, Section not worked
2	05.07.2022	Section F-F added
3		



1 Goodfellow Road, Linco Gateway, Rushmore Park, Spalding, Lincoln, PE12 8PY T: 01454 488280

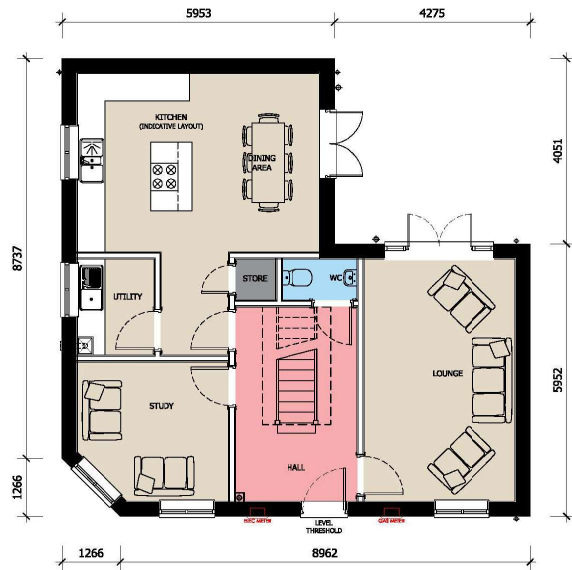
PROJECT:  
Proposed Residential  
Development at Land South of  
Harrington Drive, Crowland

DRAWING:  
Site Sections Sheet 2

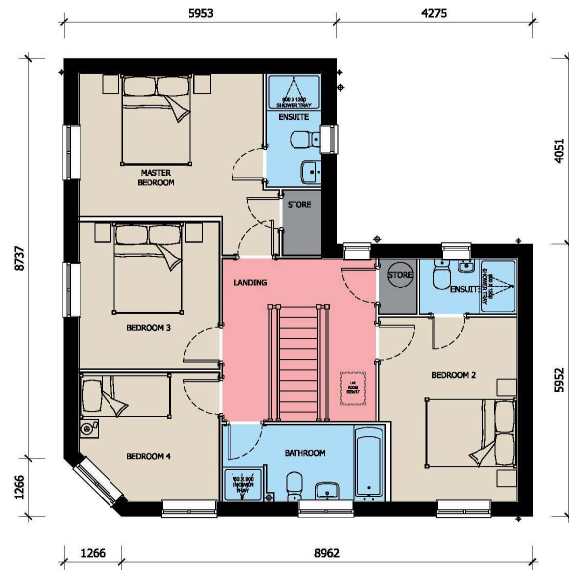
SCALE: 1:3000/1 DRAWN: GB  
DATE: JUNE 2022 REVISION: B

DRAWING No: 132-SS-02





GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



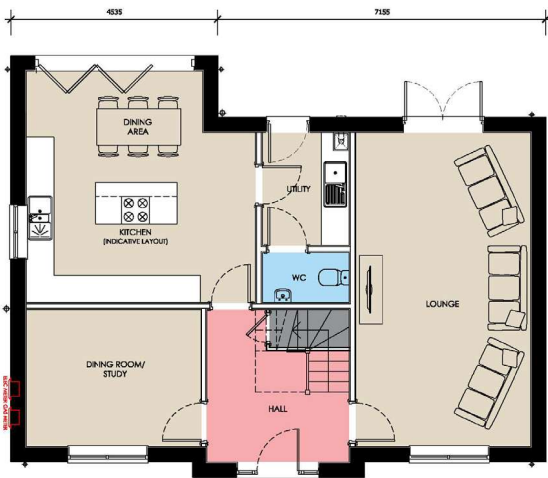
SIDE ELEVATION



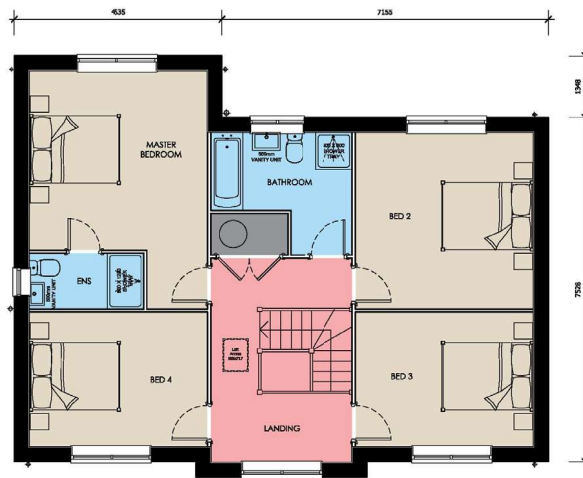
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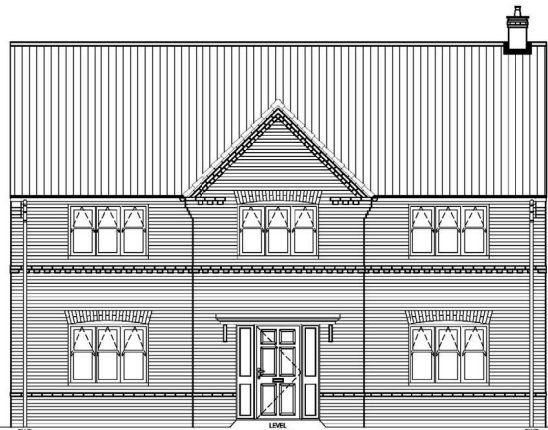
 1 Goodison Road, Lincs Gateway Business Park, Bawdrip, Lincs, PE12 6FY T: 01466 490990	HOUSE TYPE: STAMFORD (1560 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: STAMFORD-001



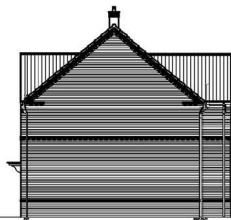
GROUND FLOOR



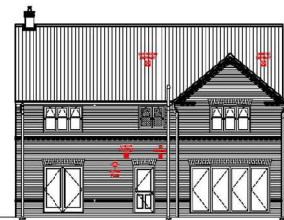
FIRST FLOOR



FRONT ELEVATION



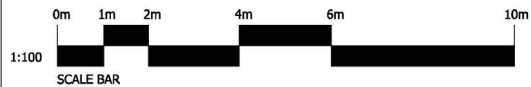
SIDE ELEVATION




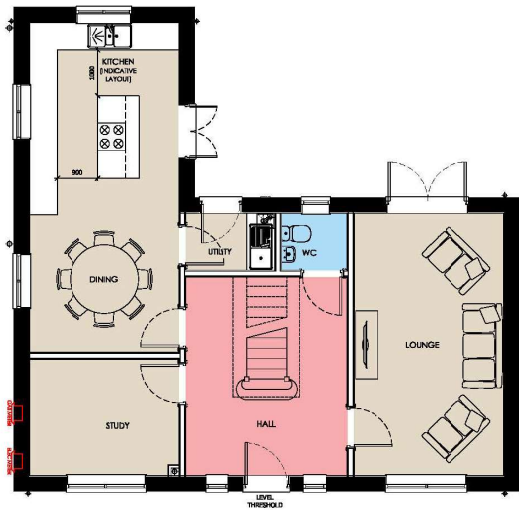
REAR ELEVATION



SIDE ELEVATION



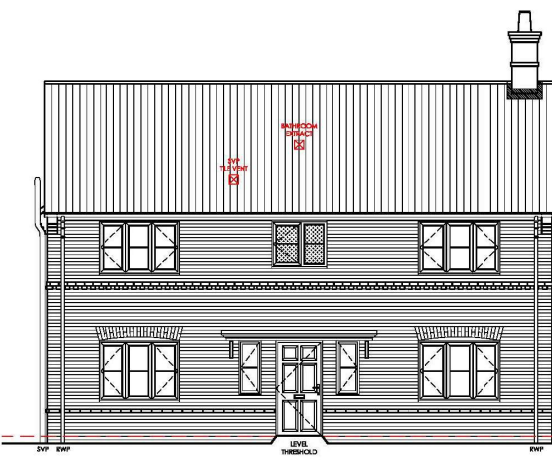
 <p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs., PE12 6FY T: 01420 490580</p>	HOUSE TYPE: OUSE (1787 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: OUSE-001



GROUND FLOOR



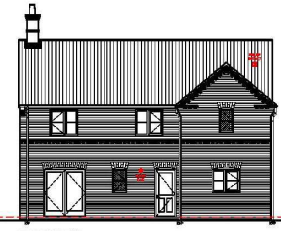
FIRST FLOOR



FRONT ELEVATION



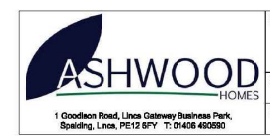
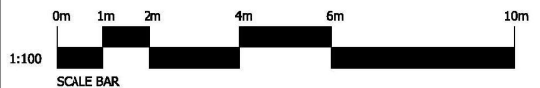
SIDE ELEVATION



REAR ELEVATION

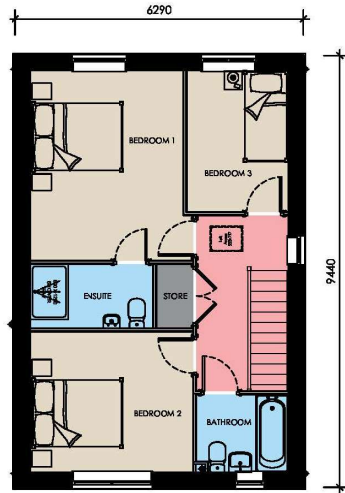
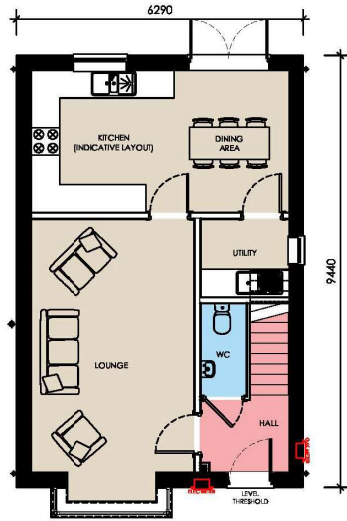


SIDE ELEVATION



HOUSE TYPE:	HUMBER (1578 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	HUMBER-001



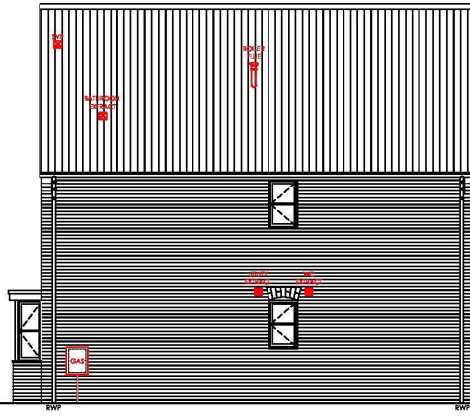


FIRST FLOOR

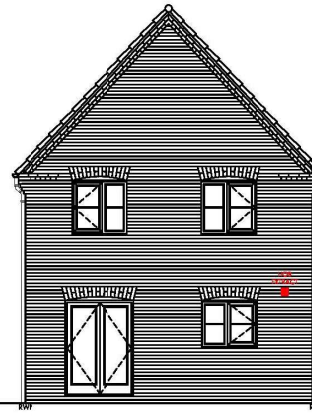
GROUND FLOOR



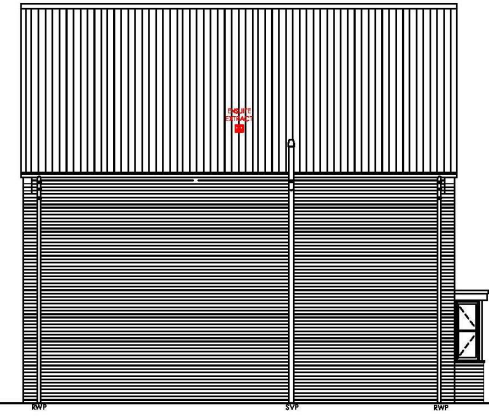
FRONT ELEVATION



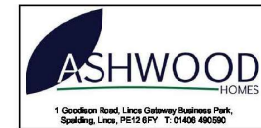
SIDE ELEVATION



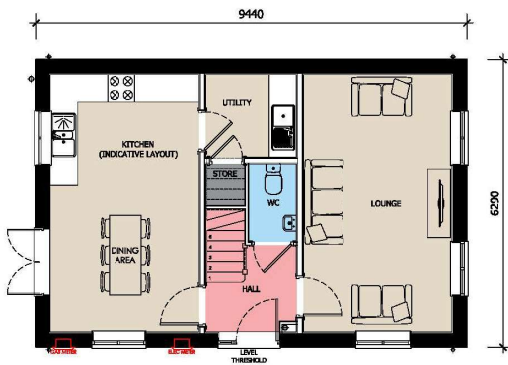
REAR ELEVATION



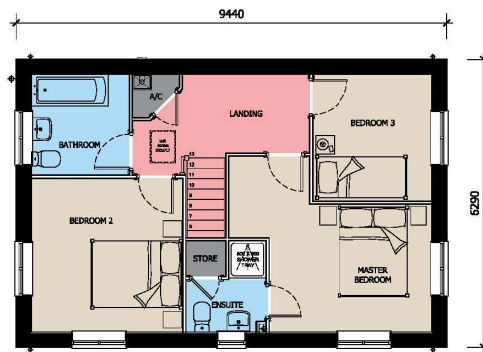
SIDE ELEVATION



HOUSE TYPE:	RUTLAND (1099 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	RUTLAND-001



GROUND FLOOR



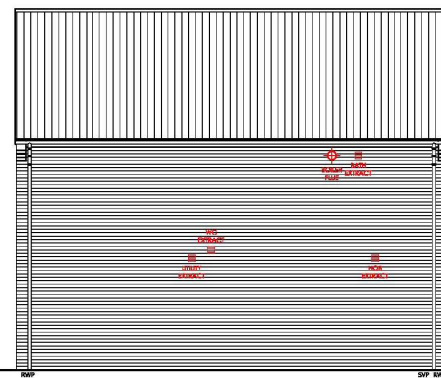
FIRST FLOOR



FRONT ELEVATION



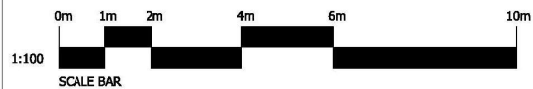
SIDE ELEVATION



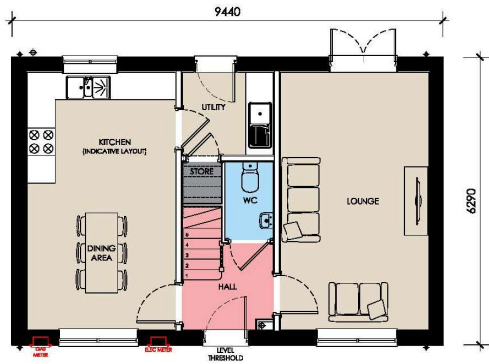
REAR ELEVATION



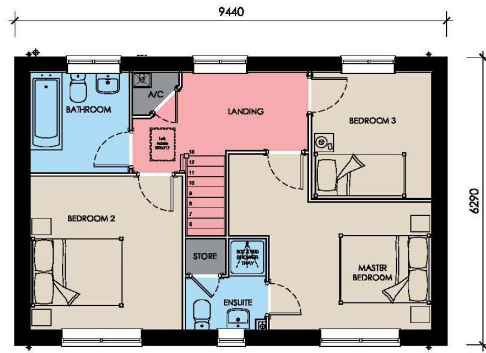
SIDE ELEVATION



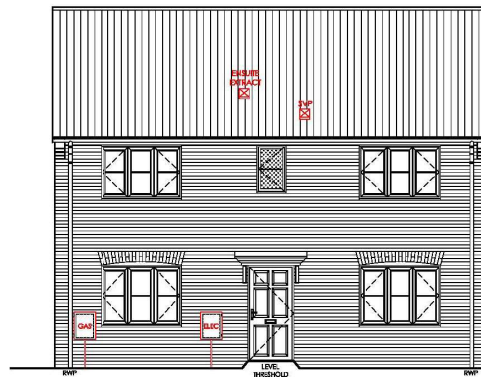
HOUSE TYPE:	MERE (1080 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	MERE-001



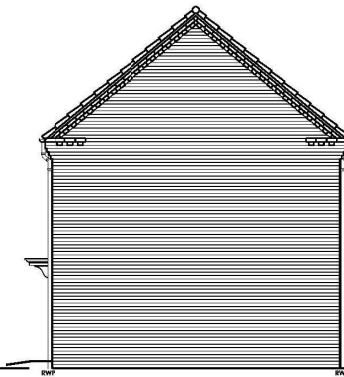
GROUND FLOOR



FIRST FLOOR



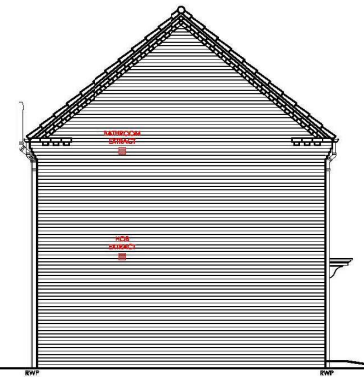
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

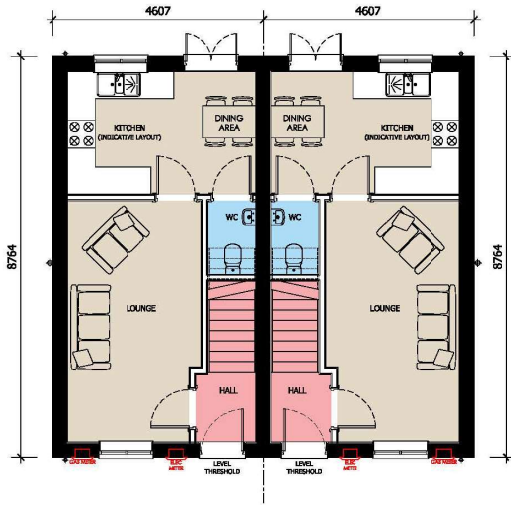


SIDE ELEVATION

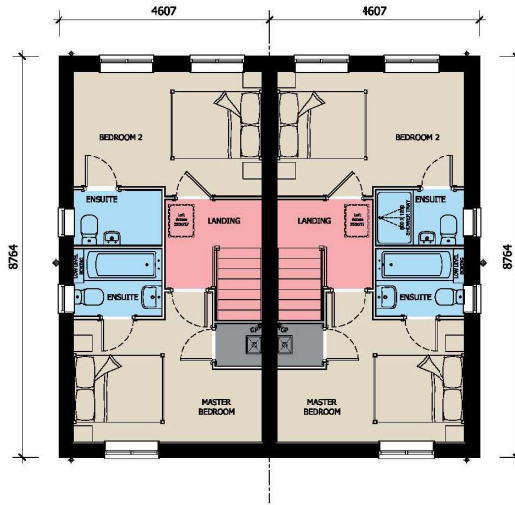


<p>ASHWOOD HOMES</p> <p>1 Coodisson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 450590</p>	HOUSE TYPE:	LOCK (1079 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	LOCK-001





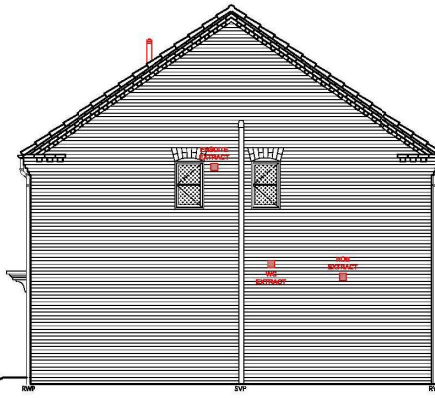
GROUND FLOOR



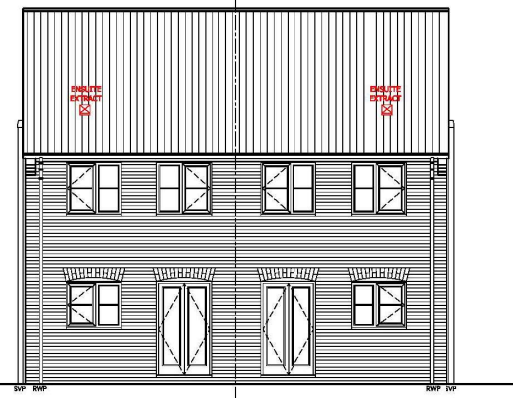
FIRST FLOOR



FRONT ELEVATION



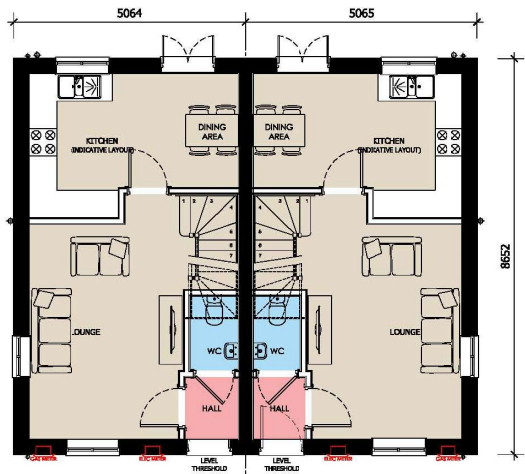
SIDE ELEVATION



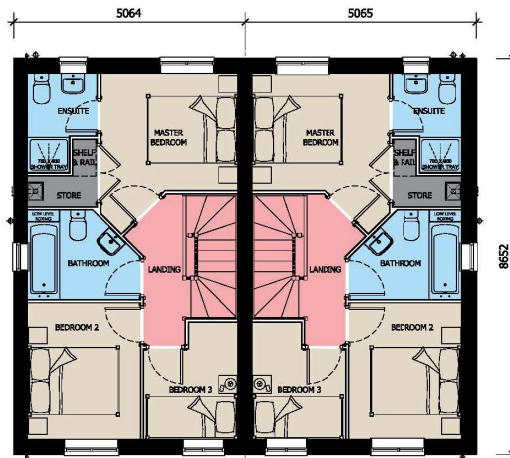
REAR ELEVATION



HOUSE TYPE:	DEE (732 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	DEE-001



GROUND FLOOR



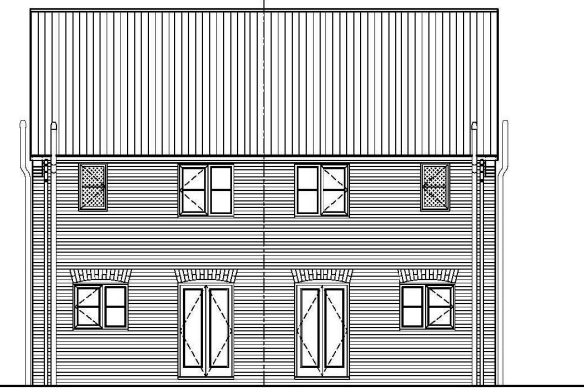
FIRST FLOOR



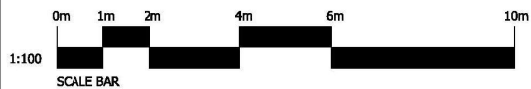
FRONT ELEVATION



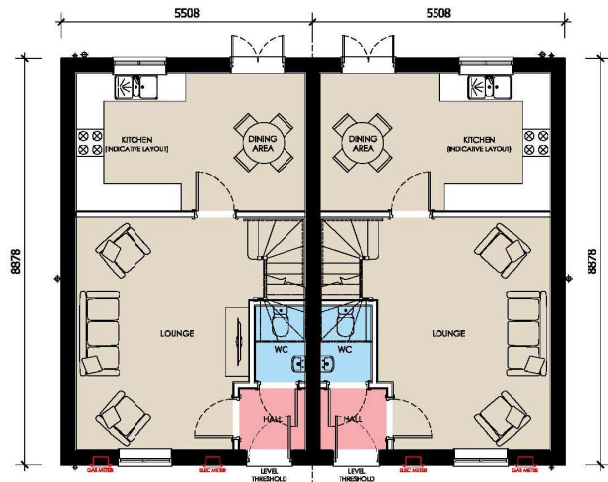
SIDE ELEVATION



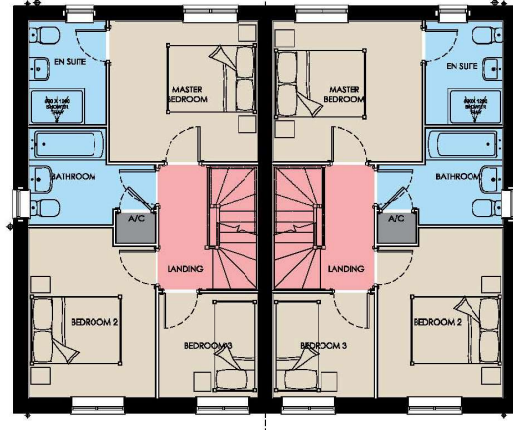
REAR ELEVATION



 <p>1 Cloodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 450590</p>	HOUSE TYPE:	CLYDE (783 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	CLYDE-001



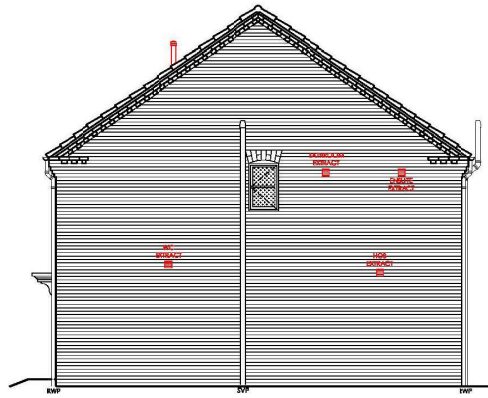
GROUND FLOOR



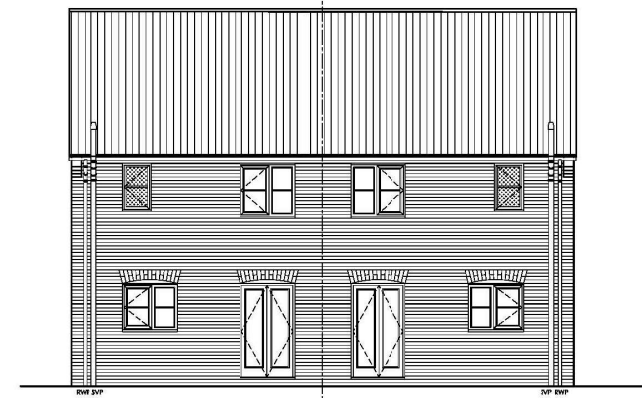
FIRST FLOOR



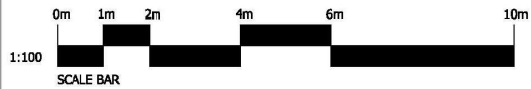
FRONT ELEVATION




SIDE ELEVATION



REAR ELEVATION

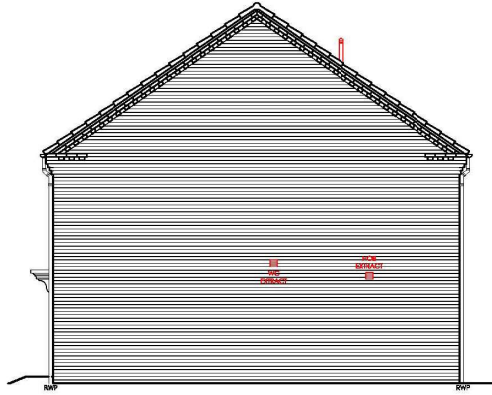


 <p>1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6PY T: 01406 460660</p>	HOUSE TYPE: <b>AIRE (902 FT<sup>2</sup>)</b>
	DRAWING TITLE: <b>DESIGN SHEET</b>
	DRAWING NUMBER: <b>AIRE-001</b>

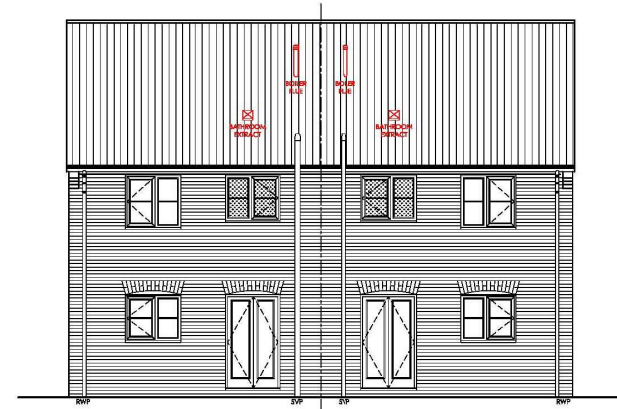




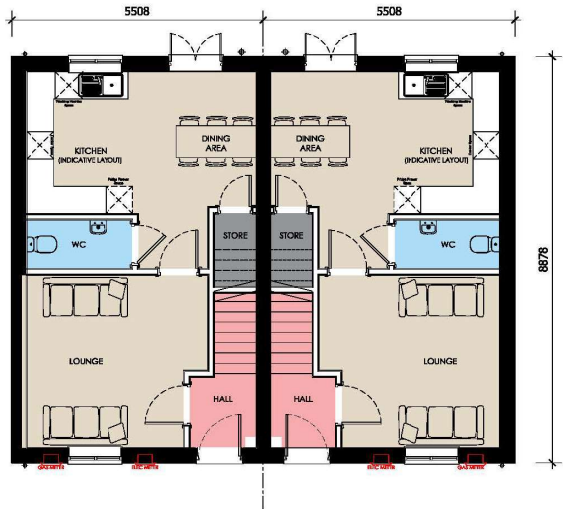
FRONT ELEVATION



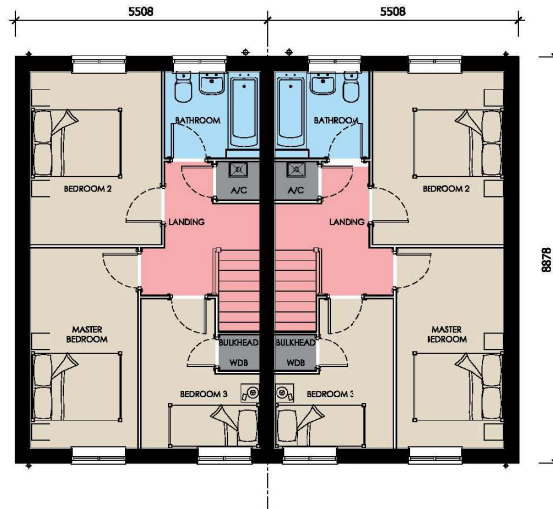
SIDE ELEVATION



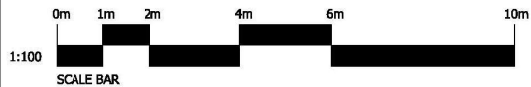
REAR ELEVATION



GROUND FLOOR



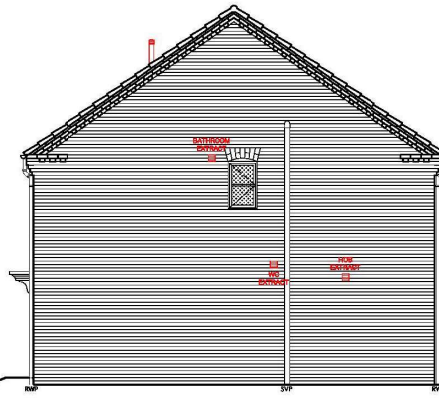
FIRST FLOOR



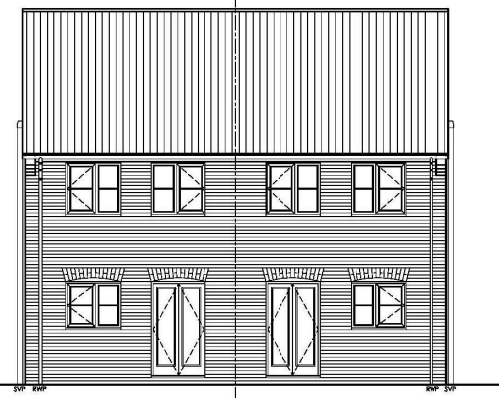
 <p>1 Cloodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490990</p>	HOUSE TYPE: A902(R) (902 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: A902(R)-001



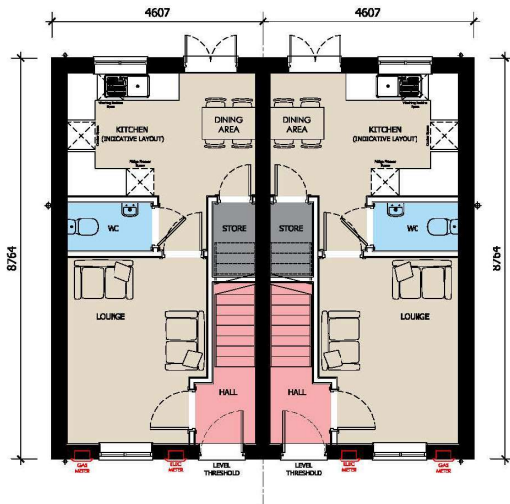
FRONT ELEVATION



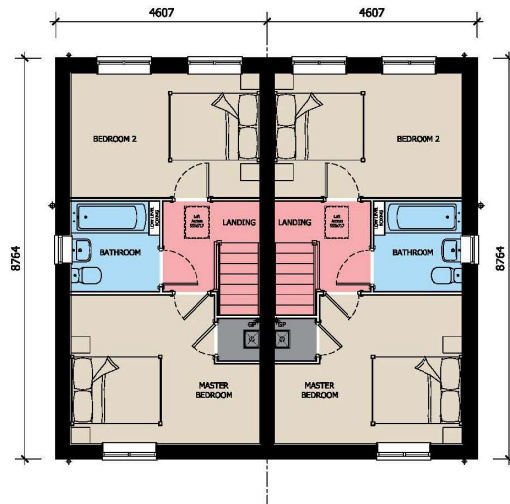
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR



FIRST FLOOR



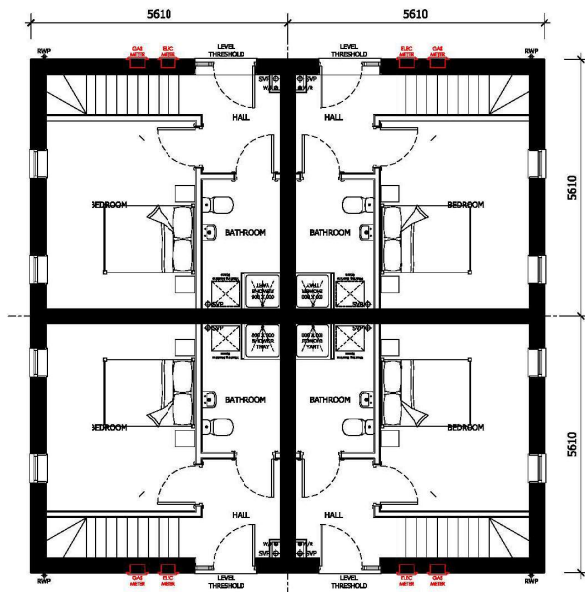
 <p>1 Coodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490990</p>	HOUSE TYPE: A732(R) (732 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: A732(R)-001



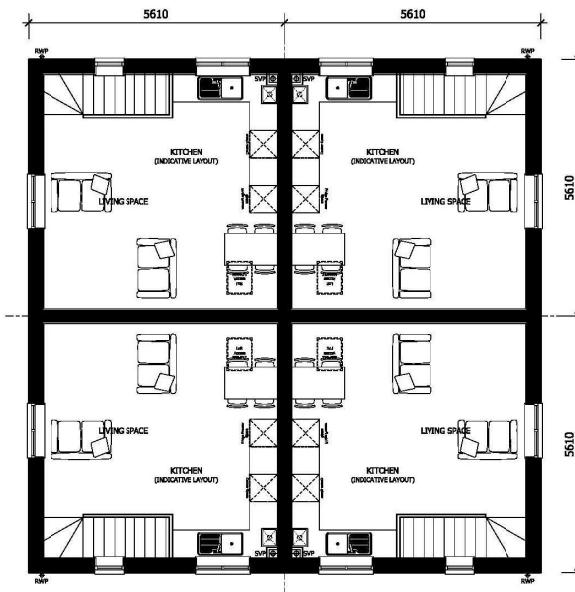
FRONT ELEVATION



SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



HOUSE TYPE:	A575(R) (575 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	A575(R)-001





































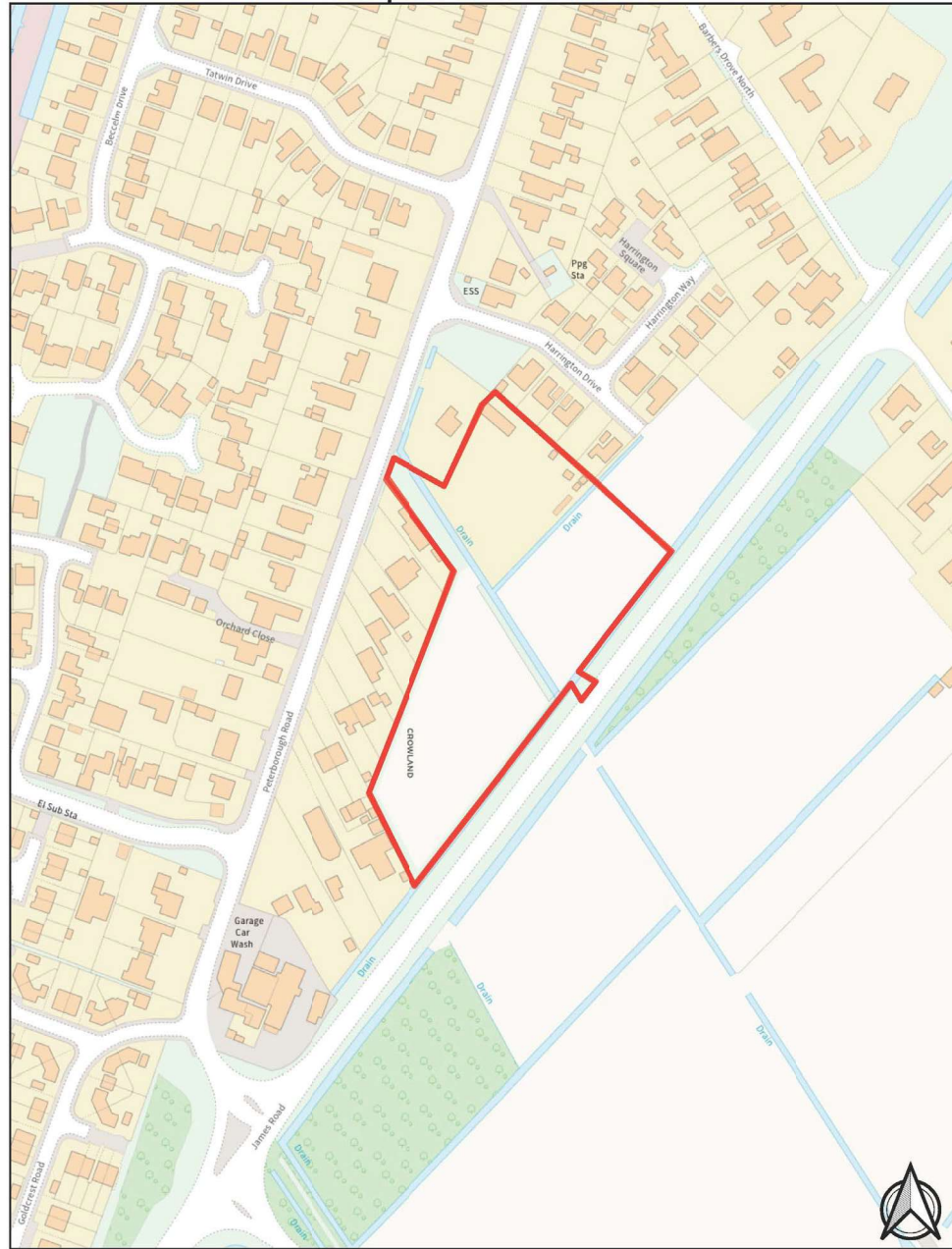








MapThat Scale Print Title

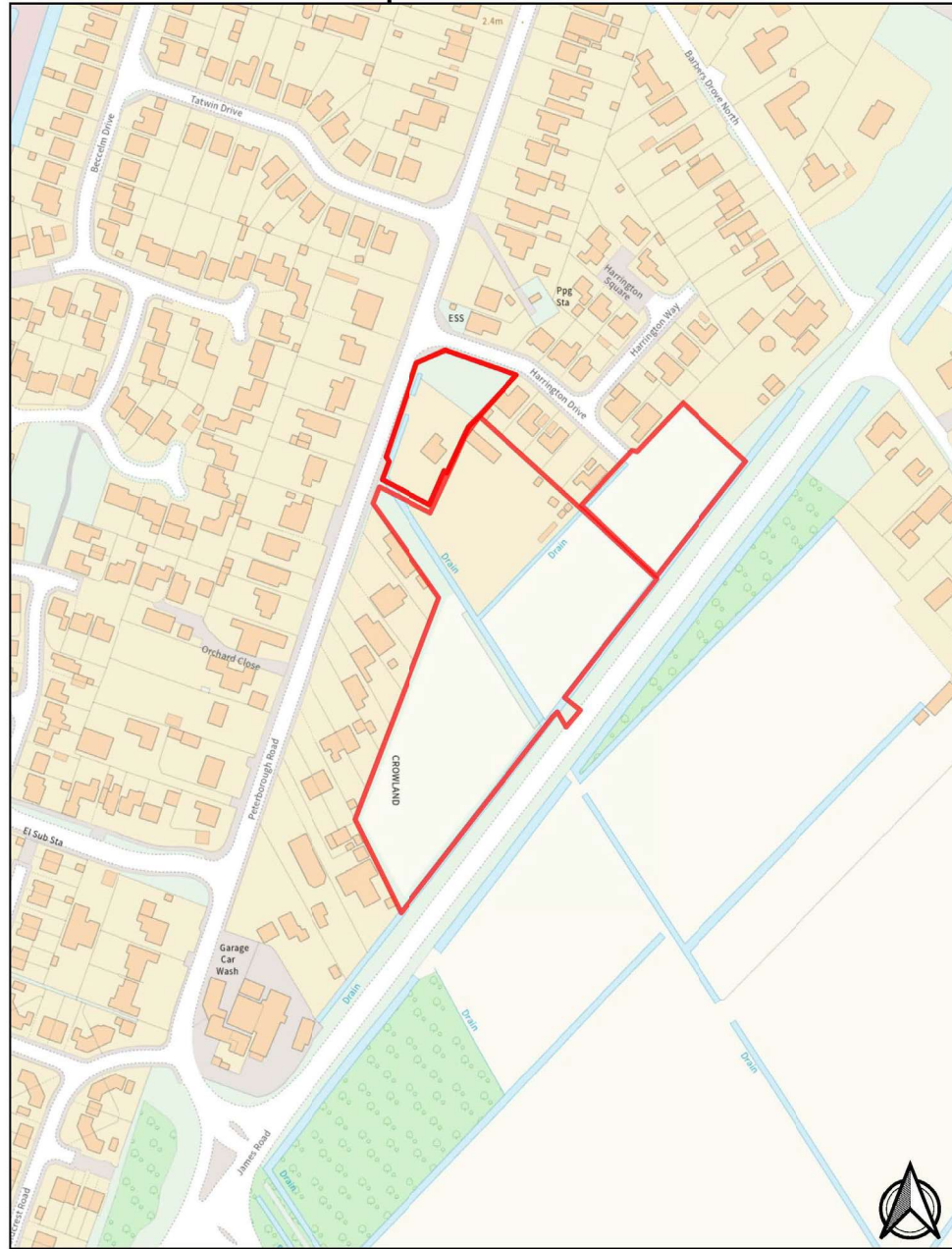


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MAP SCALE 1:2000  
CREATED DATE: 15/02/2023  
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MapThat Scale Print Title



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MAP SCALE 1:2000  
CREATED DATE: 06/03/2023  
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MapThat Scale Print Title



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MAP SCALE 1:1000  
CREATED DATE: 20/02/2023  
PHOTOGRAPHIC COPY  
LIABLE TO DISTORTION  
IN SCALE



**KEY**

— Site Boundary



No.	Date	Description

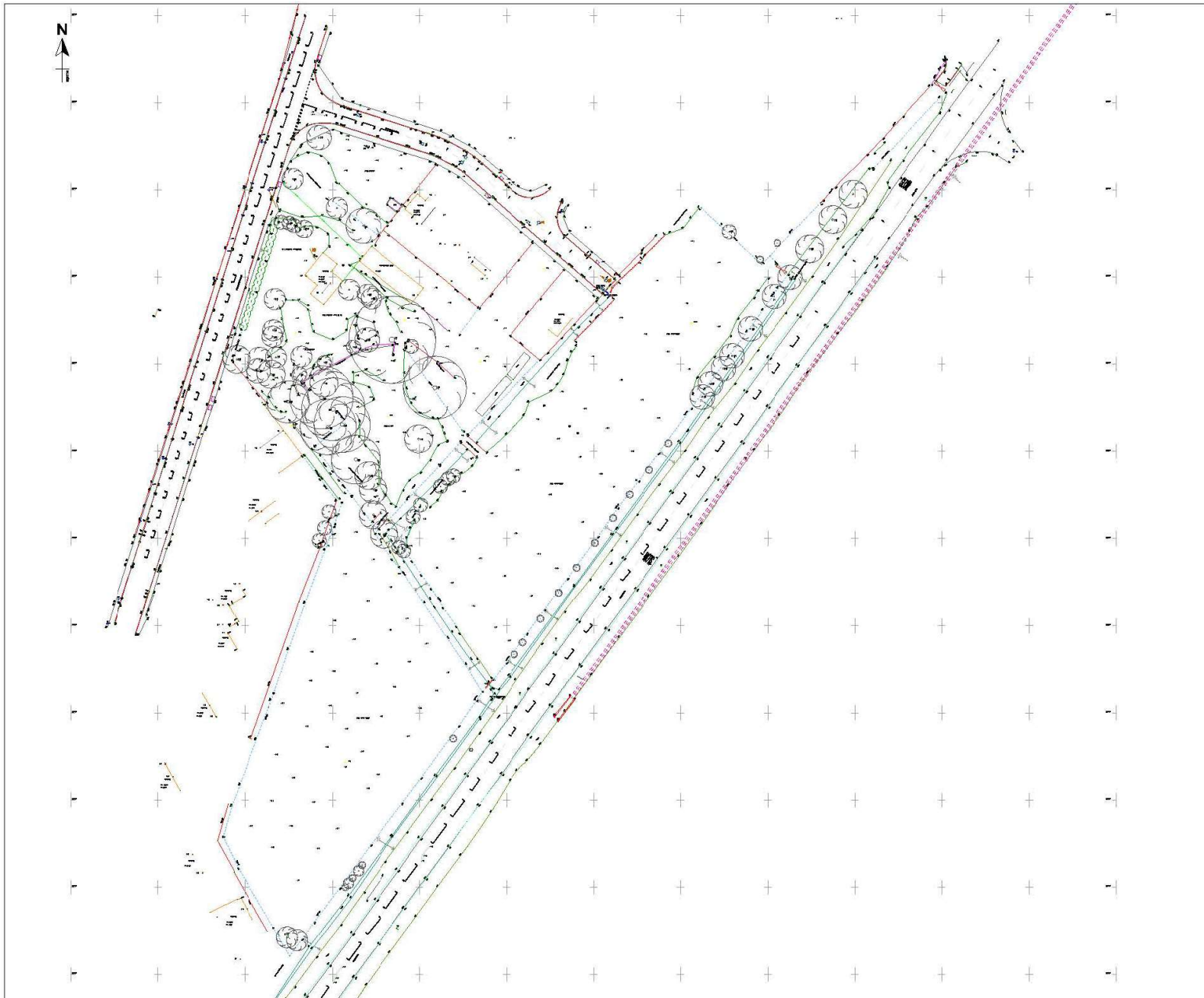


**PROJECT:**  
Proposed Residential Development at Harrington Drive, Crowland

**DRAWING:**  
Site Location Plan - Phase 2

**SCALE:** 1:500@A2      **DRAWN:** GB  
**DATE:** JAN/2022      **REVISION:** /

**DRAWING No:** 132-LP-10



**Note : Legend**

**Topographical Survey**  
 The description and heights of trees should be used as a guide only.  
 All below ground survey details have been identified from above ground structures of double relating to those will be representative only.  
 Some features or location may not have been surveyed due to obstructions or not necessarily visible at the time of the survey.

**General**  
 This drawing shows the existing topography of land to the north of James Road and the existing surrounding highways on the 17th April 2021.

---

**SURVEY GRID AND LEVEL DATUM**  
 Ordnance Survey (OS) national grid coordinates have been used to carry out survey.  
 All levels relate to the Ordnance Survey (OS) level datum using OSNED OSNED (OS).

Revision	Date	Date
A	Topographical Survey	14/04/21

**Disclaimer:**  
 This plan should only be used for its original purpose. MFM accepts no responsibility for the plan if supplied to any party other than the original client.  
 All dimensions and/or level information shown should be checked on site prior to design and construction.  
 This drawing is not to be used in whole or part other than for the intended purpose and project as defined on this drawing. Refer to the contract for full terms and conditions.

**All dimensions in metres**

**MFM** Land Surveys & Engineering Services Ltd  
 371 Shearwell Road, Harland St James, PE14 6EP  
 Tel: 01842 430203 - www.mfmland.com

**Client:**  
 Seagate Homes  
 Holbeach Manor  
 Fleet Road  
 Holbeach

**Project Title:**  
 Harrington Drive Crowland

**Drawing Title:**  
 Topographical Survey to the north of James Road 3d

Sheet 1 of 2

Scale	Sheet Size	Drawn	Date
1:500	A1	M.M	18.04.2021

**Drawing Number:** 16170281-SEA-HARR-3D-TOPO  
**Revision:** A





Plot Schedule	
Plot No	House Type
1	SEVERN
2	SEVERN
3	SEVERN
4	SEVERN
5	STAMFORD

House Type Schedule - Open Market				
House Type	Sqft	Storeys	Beds	No of
Severn	1345	2	4b 8p	4
Stamford	1680	2	4b 7p	1
Total				5

**KEY**

-  Site Boundary
-  Extent of further land in applicant ownership
-  Tactile Crossing - Exact Location TBC
-  Landscaping - Shown Indicatively.

**Cycle Storage**

Houses with garages - Cycles to be stored in garage.

Houses with out garages - To be provided with secure screwed wall mounted padlock hasp within private garden area.



INDICATIVE PLOT POSITIONS  
FROM SEPARATE  
PLANNING APPLICATION  
REFERENCE: H03-1006-21

Rev.	Date	Description
C	15.07.2022	Plot 1 removed, landscaped buffer added to rear of plot 5
B	07.06.2022	Landscaping added to rear of plot 5
A	11.02.2022	Cycle storage added to garages and plot - cycle storage included. Tactile crossing added to Harrington Road. Plot 1 changed to Stamford to UK standards.



1 Goodlean Road, Lincs Gateway, Business Park,  
Spalding, Lincs, PE12 8FY. T: 01430 480300

PROJECT: Proposed Residential  
Development of Land South of  
Harrington Drive, Crowland

DRAWING: Site Plan - Phase 3

SCALE: 1:500@A3 DRAWN: GB

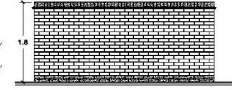
DATE: FEB.2022 REVISION: C

DRAWING No: 132-SL-10

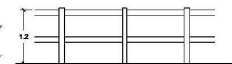
KEY



BOUNDARY TYPE - CBF  
1.8m High Close Boarded Fence



BOUNDARY TYPE - BW  
1.8m High Brick Wall



BOUNDARY TYPE - PR  
1.2m High Post & Rail Fence

R	25.07.2022	Plot 6 removed
A	11.08.2022	Plot 6 changed to boundary to LA comments
REV	12.07.2022	02/25/21/324

**ASHWOOD** HOMES  
1 Goodson Road, Linca Gateway Business Park, Spalding, Lincs, PE12 6YX T: 01430 499390

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT AT LAND SOUTH WEST OF HARRINGTON DRIVE CROWLAND

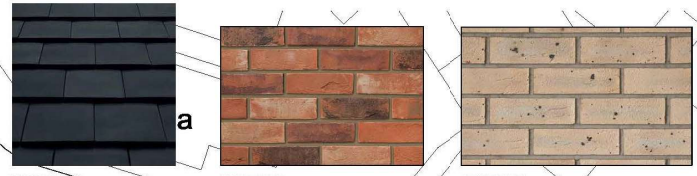
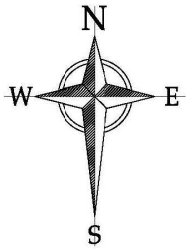
DRAWING TITLE:  
BOUNDARY TREATMENT - PHASE 2

SCALE: 1:200 @ A1	DATE: 7.06.2022
DRAWN: GR	REV: B
DRAWING No: 132 - BT - 10	

INDICATIVE PLOT POSITIONS  
FROM SEPARATE  
PLANNING APPLICATION  
REFERENCE: H02-1006-21







LEGEND	
	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 68MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: IVANHOE WESTMINSTER
	BRICK TYPE B: OAKMOOR CREAM
	ROOF TILE: WIENERBERGER NEW GABBIUS ANTIQUE SLATE

INDICATIVE PLOT POSITIONS  
FROM SEPARATE  
PLANNING APPLICATION  
REFERENCE: H02-1006-21

R	25.07.2020	Plot 6 removed
A	11.08.2020	Plot 6 removed to harmonize to A1 comments.
REV	DATE	DESCRIPTION

**ASHWOOD**  
HOMES

1 Goodson Road, Linco Gateway Business Park,  
Spalding, Lincs, PE22 6TY T: 01430 499100

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT AT  
LAND SOUTH WEST OF HARRINGTON DRIVE  
CROWLAND

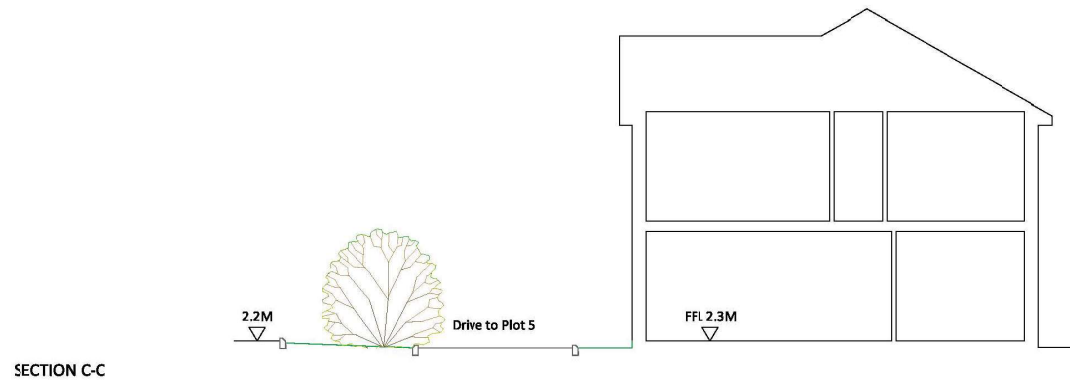
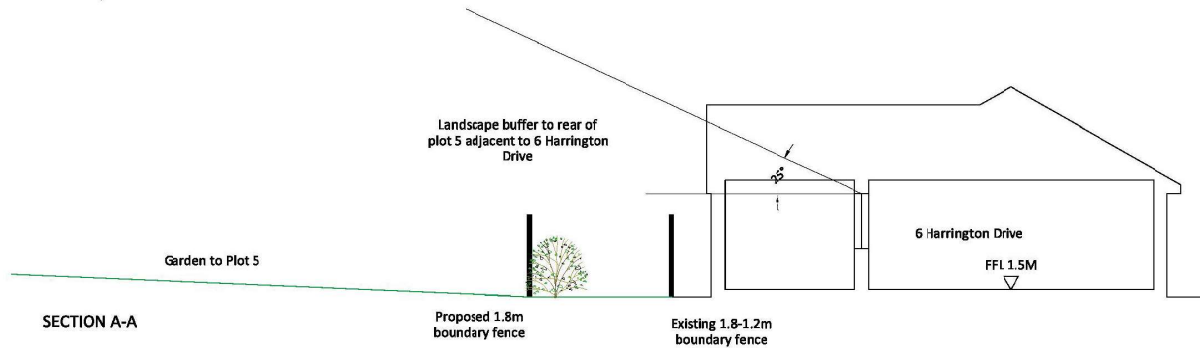
DRAWING TITLE:  
MATERIAL SCHEDULE - PHASE 2

SCALE: 1:200 @ A1 DATE: 7.06.2022

DRAWN: GB REV: B

DRAWING No:  
132 - MSL - 10





B	25.07.22	Sections A-A and C-C amended, Section B-B removed
A	11.06.22	Sections A-A and B-B amended
REV	DATE	DESCRIPTION

**ASHWOOD**  
HOMES

1 Goodson Road, Lisca Gateway Business Park,  
Spalding, Lincs, PE22 6YU T: 01454 499300

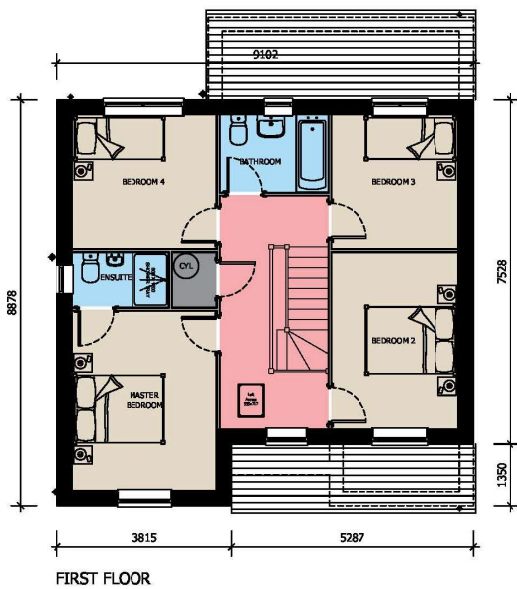
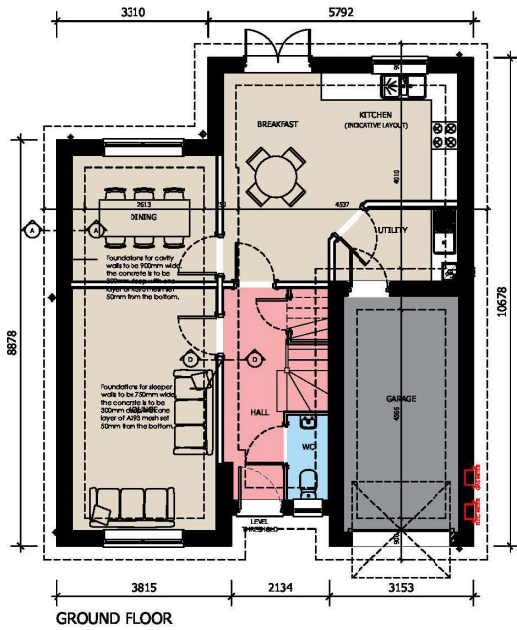
PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT AT  
LAND SOUTH WEST OF HARRINGTON DRIVE  
CROWLAND

DRAWING TITLE:  
SITE SECTIONS - PHASE 2

SCALE: 1:50 @ A1 DATE: 25.07.2022

DRAWN: GBH REV: B

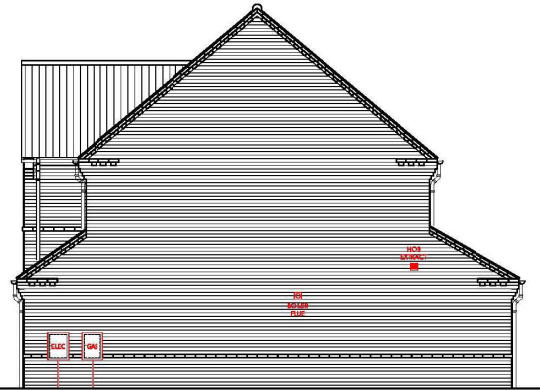
DRAWING No:  
132 - SS - 10



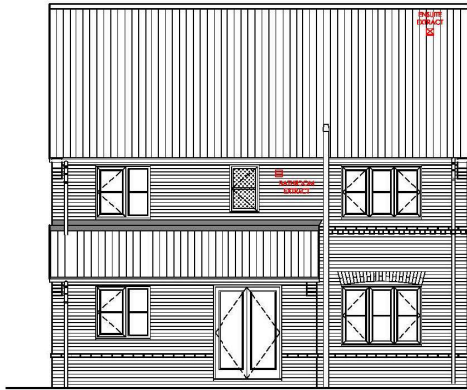
<p>1 Occleston Road, Lince Gateway Business Park, Spalding, Lincs, PE12 6PY T: 01406 490590</p>	HOUSE TYPE: SEVERN (1345 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: SEVERN-001



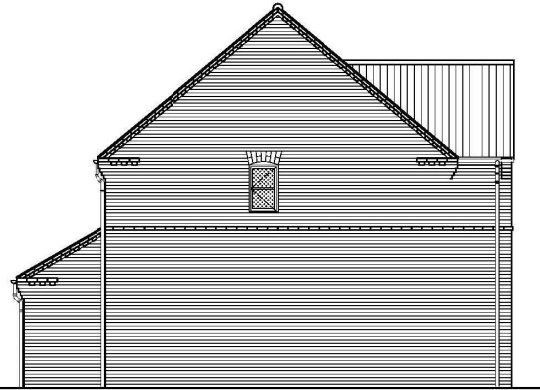
FRONT ELEVATION



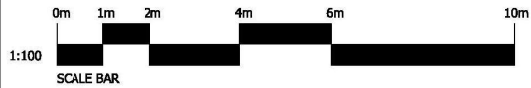
SIDE ELEVATION



REAR ELEVATION

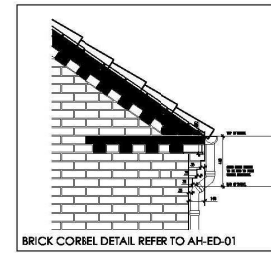
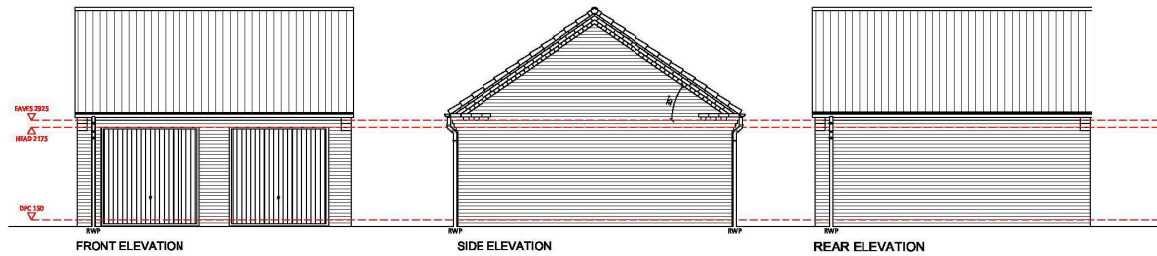


SIDE ELEVATION



 1 Cloodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490990	HOUSE TYPE: SEVERN (1345 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: SEVERN-002

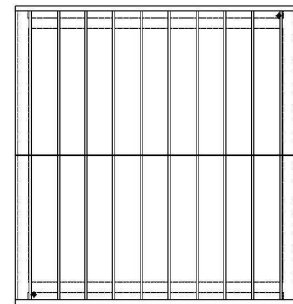
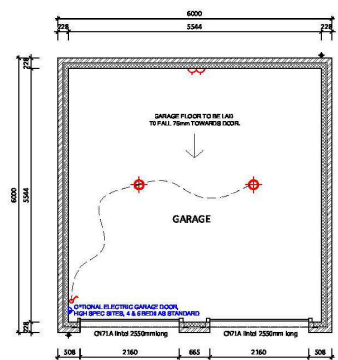
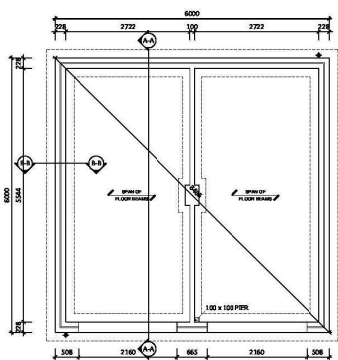




**WALL LEGEND**

EXTERNAL CAVITY

- 100.0mm RACING BRICKWORK
- 50mm CAVITY
- 100mm DUROX SUPALOCK



REV	DATE	DESCRIPTION

**ASHWOOD HOMES**

1 Goodison Road, Limes Gateway Business Park,  
Spalding, Lincs, PE12 0FY T: 01438 450990

PROJECT:  
PROPOSED RESIDENTIAL DEVELOPMENT AT  
LAND SOUTH WEST OF HARRINGTON DRIVE  
CROWLAND

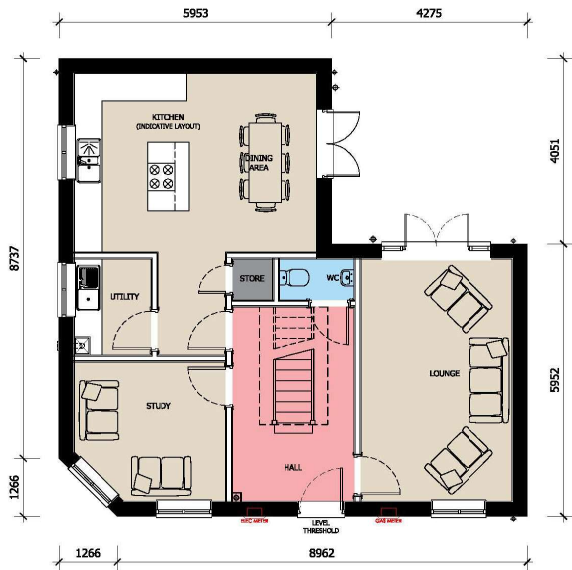
DRAWING TITLE:  
DOUBLE GARAGE

SCALE: 1:50 @ A1 DATE: 21.06.2021

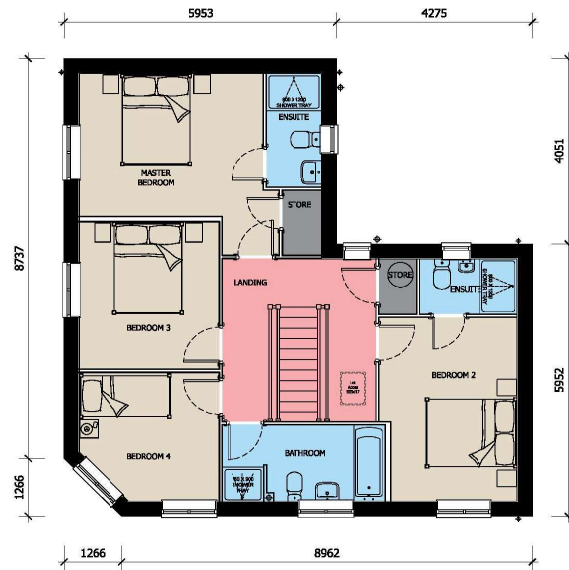
DRAWN: GB REV:

DRAWING No:  
132 - DG - 001

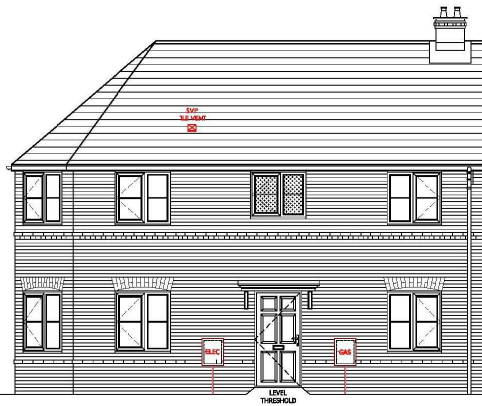
ASSOCIATED PLOTS :



GROUND FLOOR



FIRST FLOOR



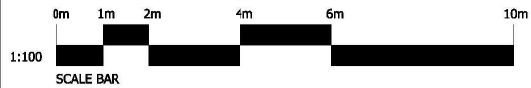
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



 <p>ASHWOOD HOMES</p> <p>1 Goodison Road, Linc Gateway Business Park, Bawdrip, Lincs, PE12 6FY T: 01466 490990</p>	HOUSE TYPE:	STAMFORD (1560 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	STAMFORD-001









































































































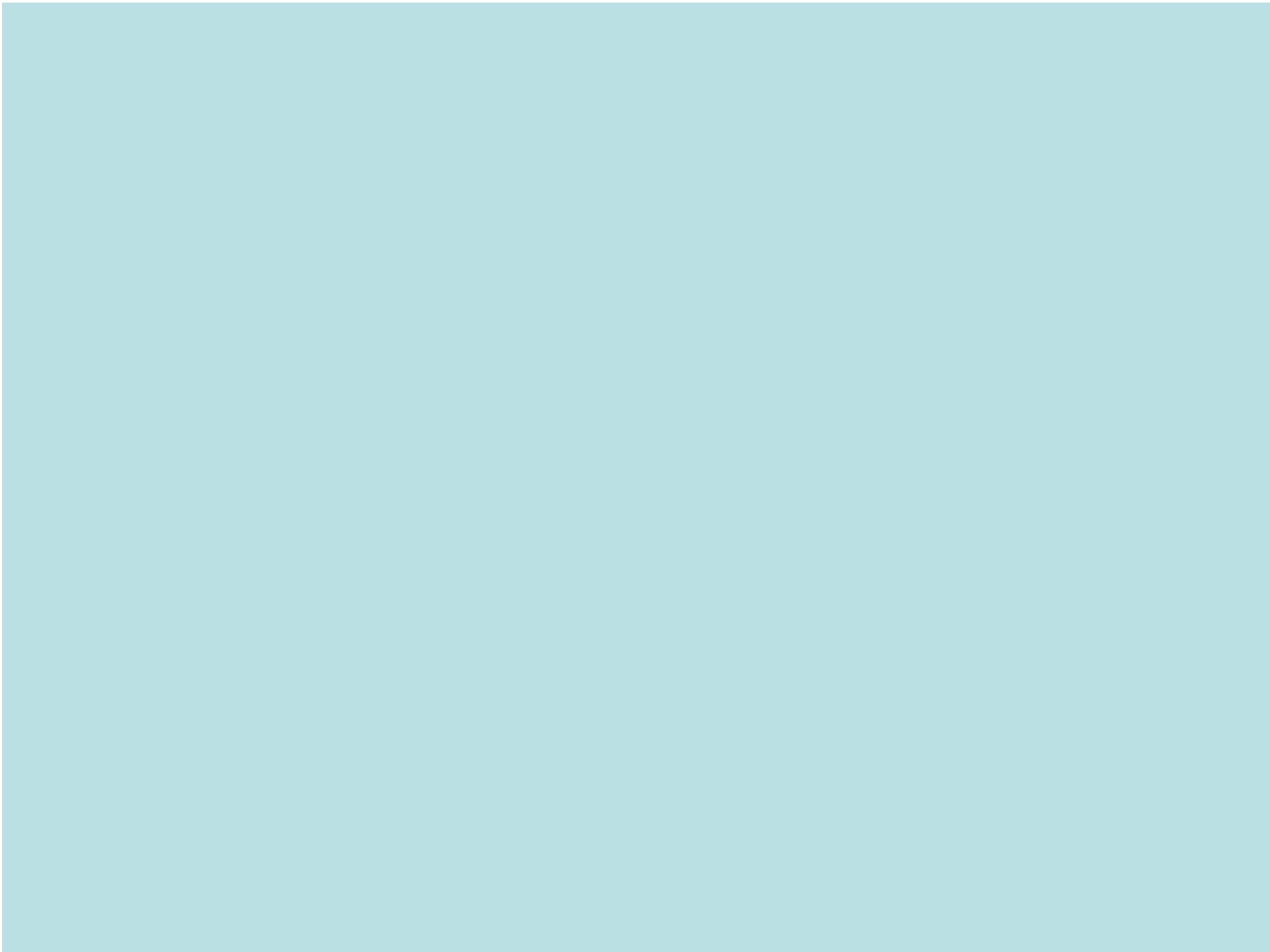


MapThat Scale Print Title



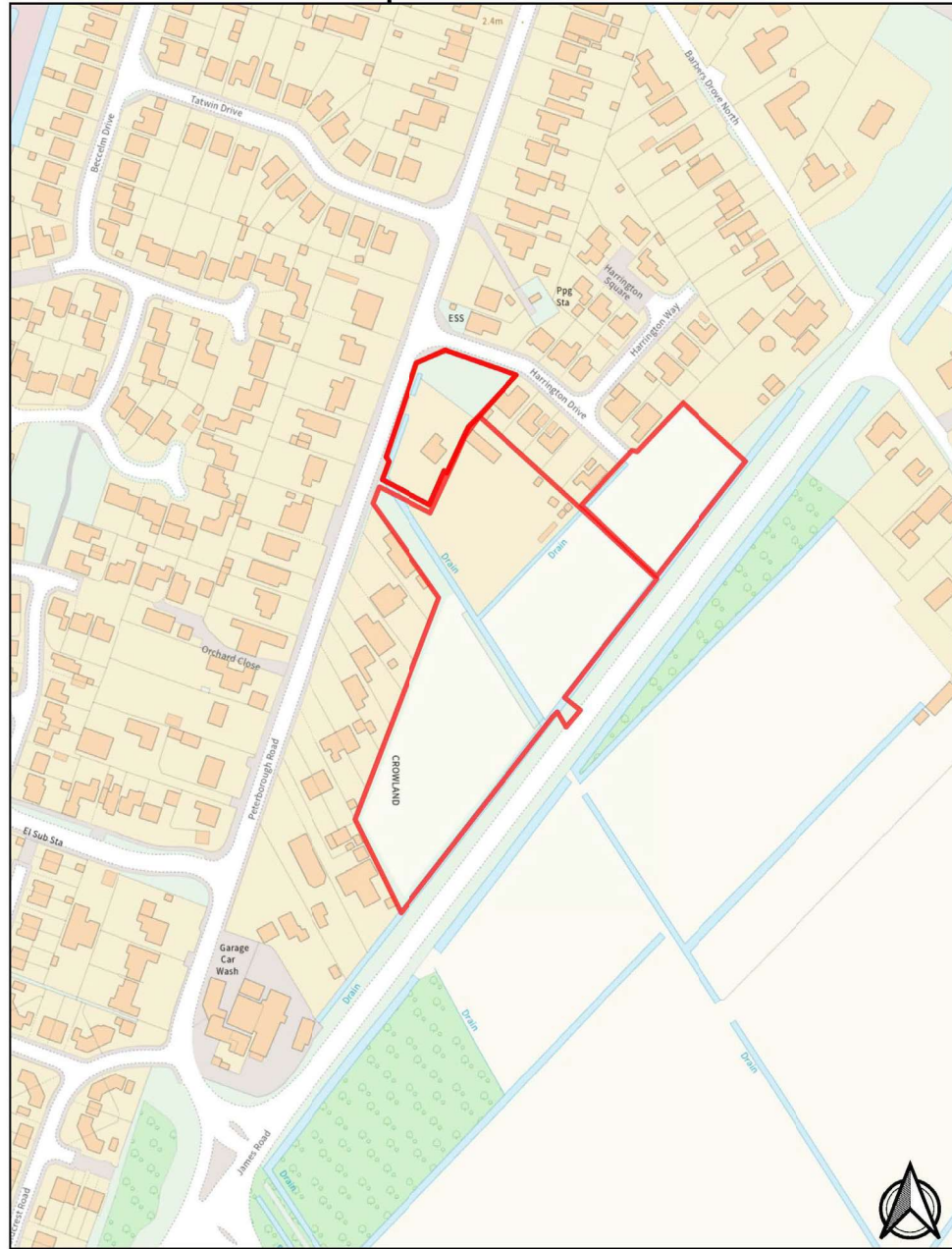
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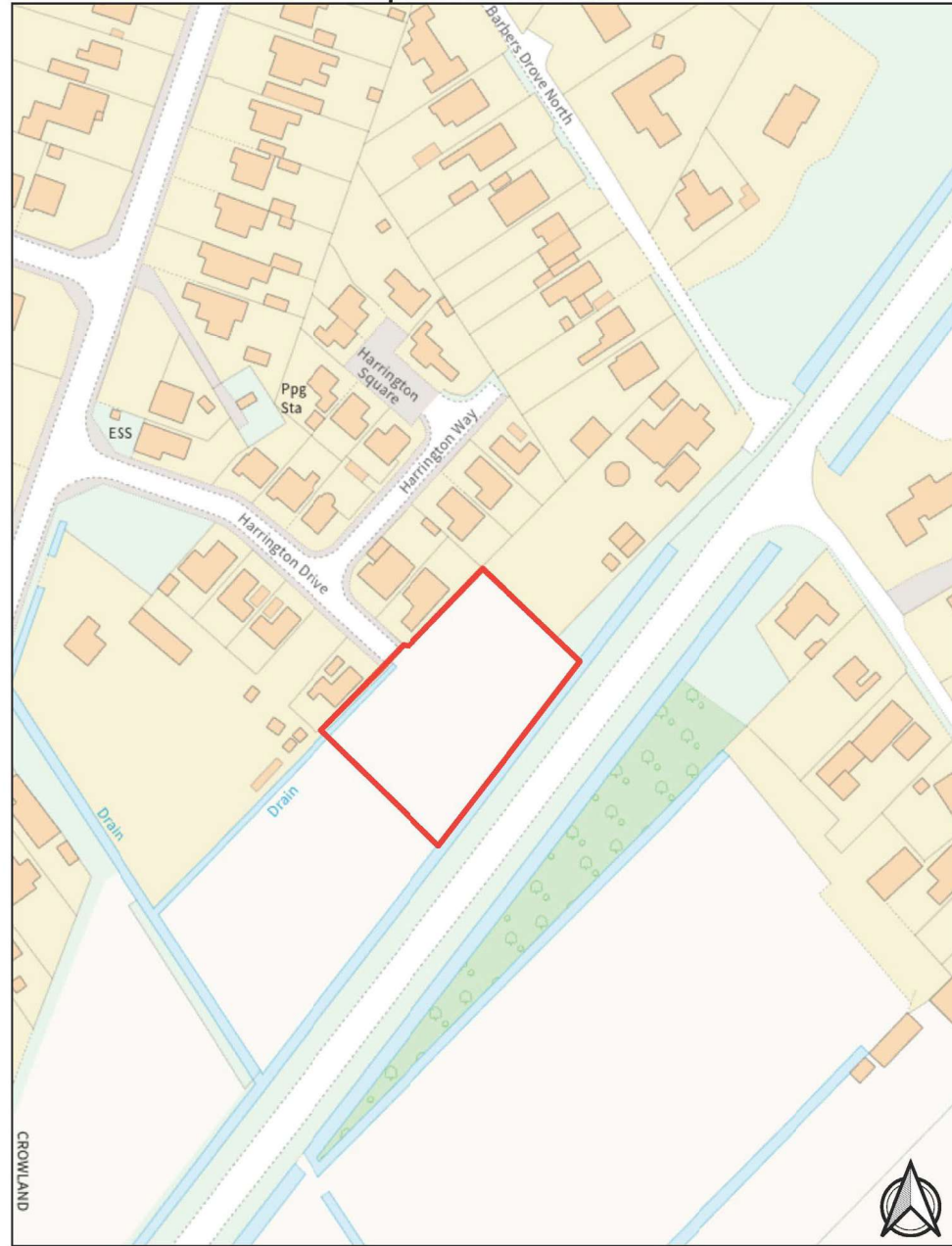
MapThat Scale Print Title



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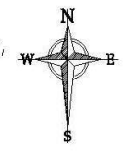
CROWLAND



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MAP SCALE 1:1250  
CREATED DATE: 20/02/2023  
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IN SCALE



**KEY**  
 — Site Boundary

Rev.	Date	Description



**PROJECT:** Proposed Residential Development at Harrington Drive, Crowland

**DRAWING:** Site Location Plan - Phase 3

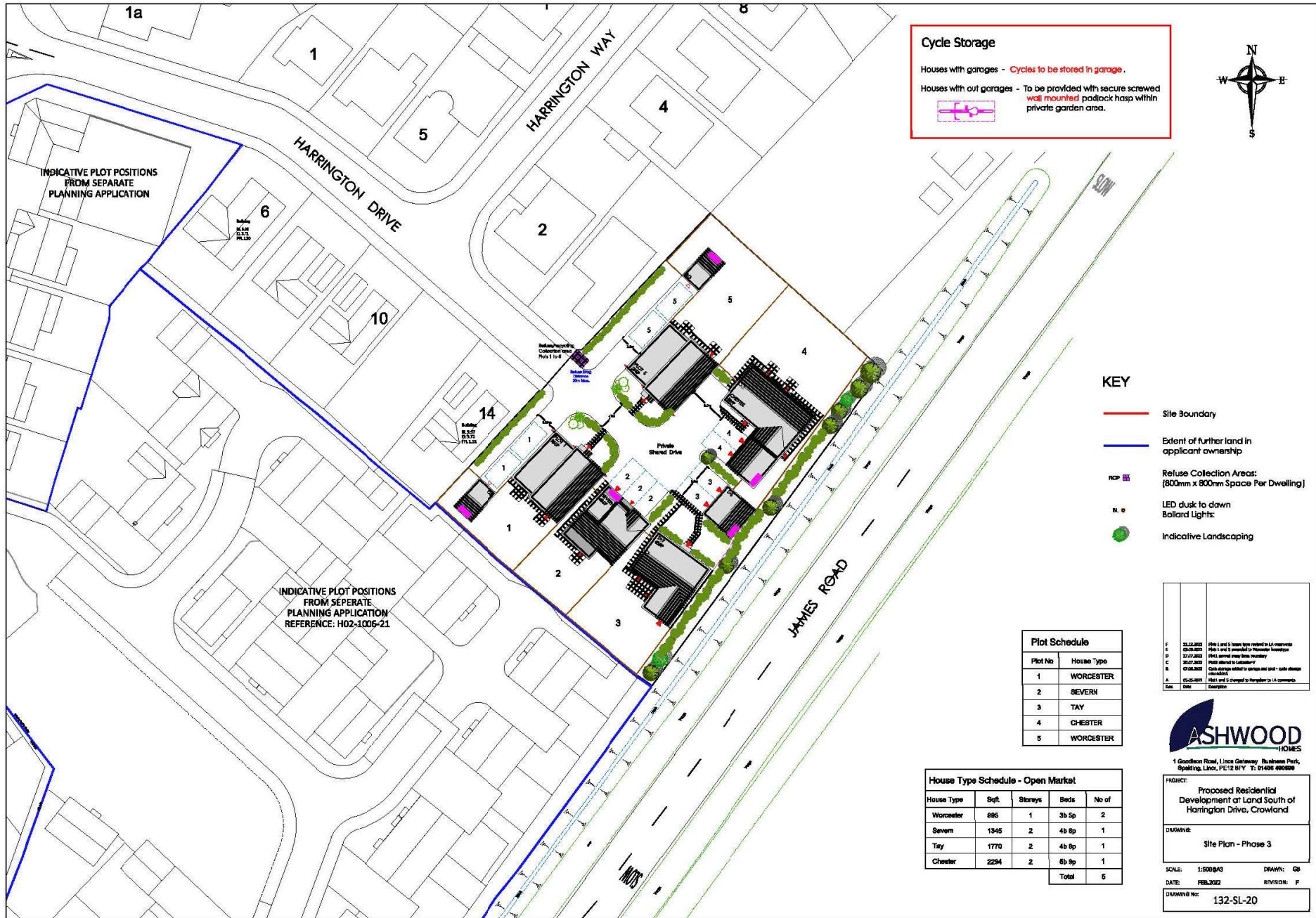
**SCALE:** 1:500@A2      **DRAWN:** GB

**DATE:** JAN 2022      **REVISION:** 7

**DRAWING NO:** 132-LP-20








**Cycle Storage**

Houses with garages - Cycles to be stored in garage.

Houses with out garages - To be provided with secure screwed wall mounted padlock hasp within private garden area.




INDICATIVE PLOT POSITIONS FROM SEPARATE PLANNING APPLICATION

INDICATIVE PLOT POSITIONS FROM SEPARATE PLANNING APPLICATION REFERENCE: H02-1006-21

**KEY**

-  Site Boundary
-  Extent of further land in applicant ownership
-  Refuse Collection Areas: (800mm x 800mm Space Per Dwelling)
-  LED dusk to dawn Ballast Lights:
-  Indicative Landscaping

Plot Schedule	
Plot No	House Type
1	WORCESTER
2	SEVERN
3	TAY
4	CHESTER
5	WORCESTER

House Type Schedule - Open Market				
House Type	Sqft	Storeys	Beds	No of
Worcester	985	1	3b Sp	2
Severn	1345	2	4b Bp	1
Tay	1770	2	4b Bp	1
Chester	2294	2	6b Bp	1
<b>Total</b>				<b>6</b>

F	23.12.2022	Plot 1 and 5 house type revised to 1A Worcester
E	09.03.2023	Plot 1 and 5 amended to Worcester Worcester
D	27.07.2023	Plot 1 amended to Worcester Worcester
C	26.02.2023	Final scheme to be submitted
B	07.06.2023	Cost approach added to schedule and date - cost sheet attached
A	05.05.2023	Plot 1 and 5 changed to Worcester to 1A Worcester
Rev	Date	Description



1 Goodfellow Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01426 600699

PROJECT: Proposed Residential Development at Land South of Harrington Drive, Crowland

DRAWING: Site Plan - Phase 3

SCALE: 1:500@A3 DRAWN: GB

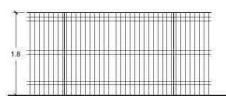
DATE: FEB/2022 REVISION: F

DRAWING No: 132-SL-20

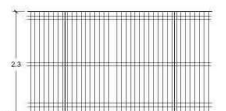




KEY



BOUNDARY TYPE - CBF  
1.8m High Close Boarded Fence



BOUNDARY TYPE - CBF  
2.3m High Close Boarded Fence - Min Surface Density 10KG/m<sup>2</sup>



BOUNDARY TYPE - KR  
Knee Rail

Rev.	Date	Description
E	21.12.2022	Plan 1 and 14 have been revised to LA comments
D	09.03.2023	Plan 1 and 14 revised
C	27.07.2022	Boundary line altered to 2.3m plus 0.3m
B	20.02.2023	Plan 1 and 14 boundary treatment changed
A	05.05.2022	Plan 1 and 14 changed to Boundary to LA comments



1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE 2 6FY T: 01406 490990

PROJECT: Proposed Residential Development at Land South of Harrington Drive, Crowland

DRAWING: Boundary Treatment Plan - Phase 3

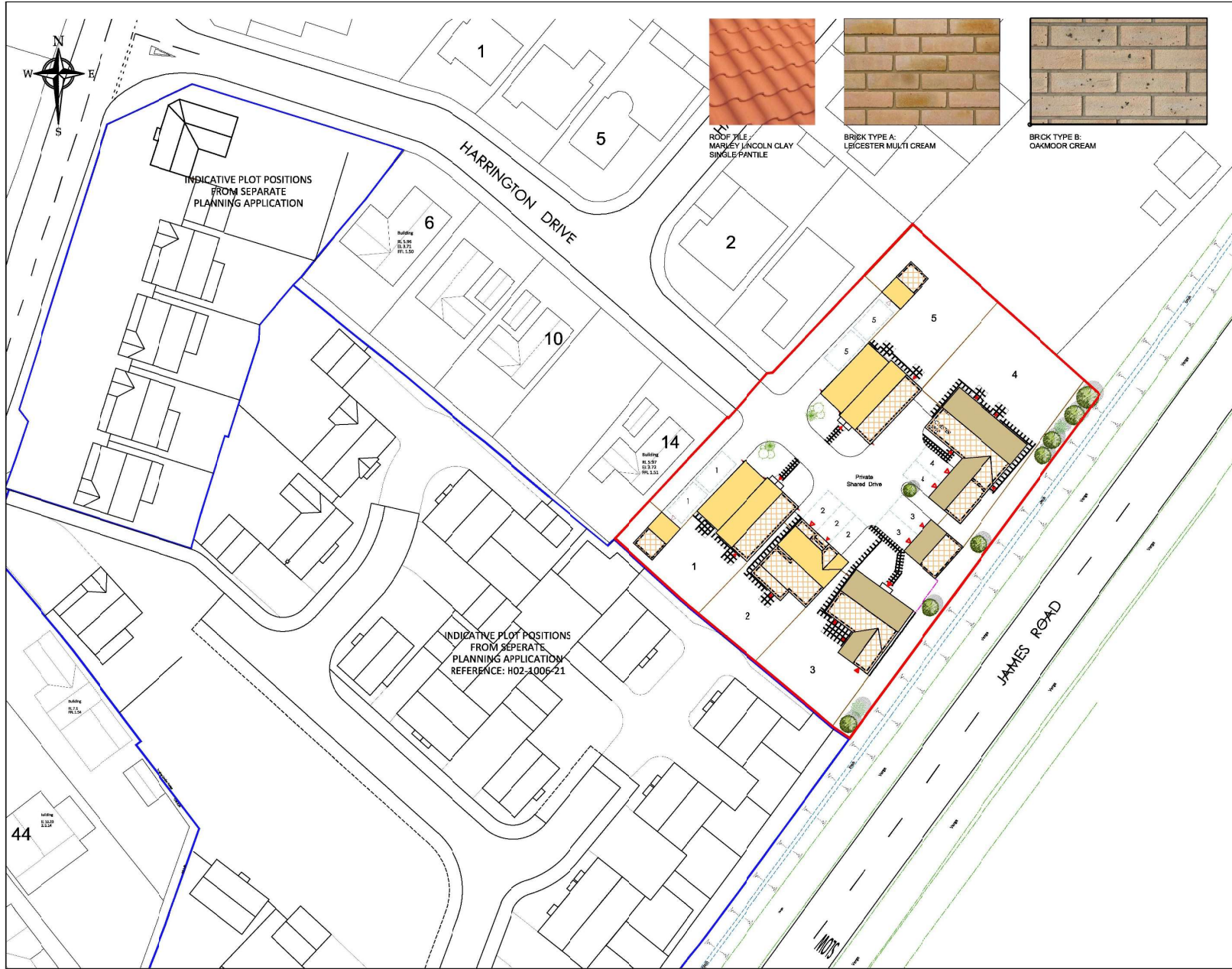
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DATE: FEB.2022 REVISION: E

DRAWING No: 132-BT-20

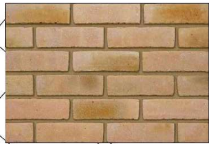
INDICATIVE PLOT POSITIONS FROM SEPARATE PLANNING APPLICATION

INDICATIVE PLOT POSITIONS FROM SEPARATE PLANNING APPLICATION REFERENCE: H02-1006-21





ROOF TILE:  
MARLEY LINCOLN CLAY  
SINGLE PANTILE



BRICK TYPE A:  
LEICESTER MULTI CREAM



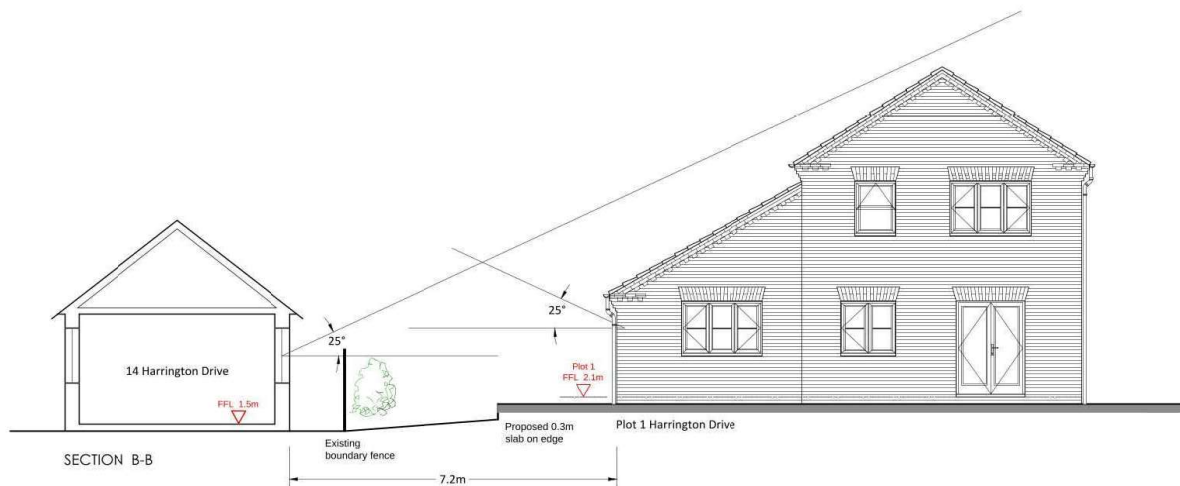
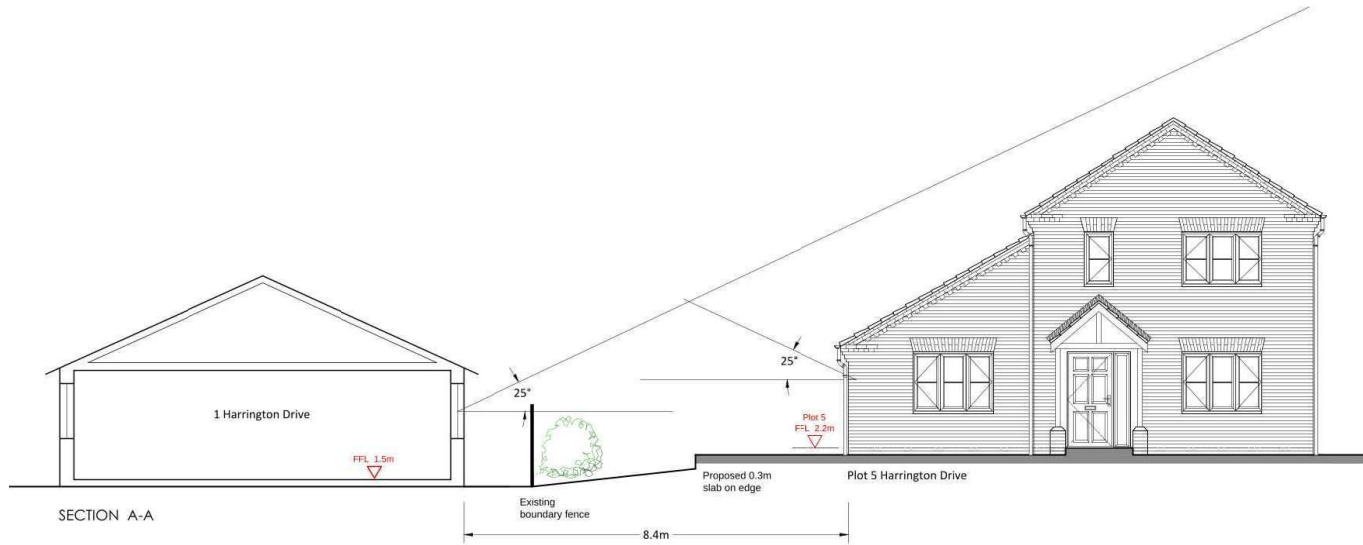
BRICK TYPE B:  
OAKMOOR CREAM

LEGEND	
	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 68MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: LEICESTER MULTI CREAM
	BRICK TYPE B: OAKMOOR CREAM
	ROOF TILE: MARLEY LINCOLN CLAY SINGLE PANTILE

D	21.12.2022	Plan 1 and 5 amended
C	09.09.2021	Plan 1 and 5 amended
H	20.02.2022	Plan 5 amended
A	09.05.2022	Plan 1 and 5 changed to Burglary to LA comment.
Rev:	Date	Description

**ASHWOOD HOMES**  
 1 Goodison Road, Lincs Gateway Business Park,  
 Spalding, Lincs, PE12 6TY T: 01466 481990

PROJECT:	Proposed Residential Development of Land South of Harrington Drive, Crowland
DRAWING:	Material Schedule - Phase 3
SCALE:	1:500@A3 DRAWN: GB
DATE:	FEB.2022 REVISION: D
DRAWING No:	132-MSL-20



22.12.2022	Sections A-A and B-B amended to suit new house type.
09.09.2022	Sections A-A and B-B amended
27.07.2022	Sections A-A and B-B amended - fencing added
25.07.2022	Sections A-A and B-B amended
05.05.2022	Plot 1 and 14 changed to burgess to LA comments.
05.05.2022	Finalisation

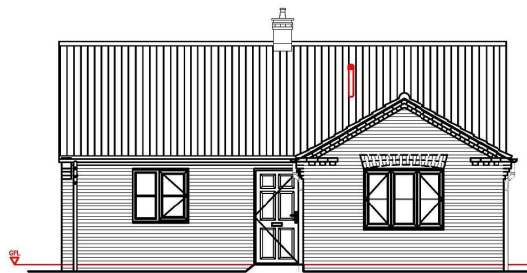
**ASHWOOD HOMES**  
 1 Goodison Road, Lincs Gateway Business Park,  
 Spalding, Lincs, PE11 6FY T: 01406 490590

PROJECT: Proposed Residential Development at Land South of Harrington Drive, Crowland

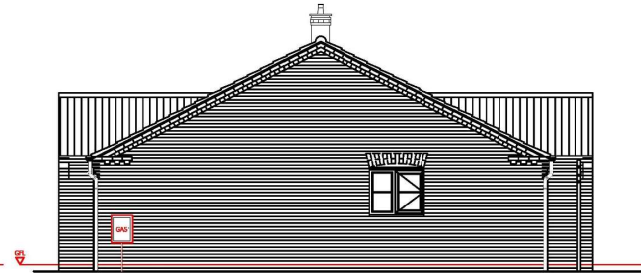
DRAWING: Site Sections - Phase 3

SCALE: 1:500@A3 DRAWN: GB  
 DATE: FEB.2022 REVISION: E

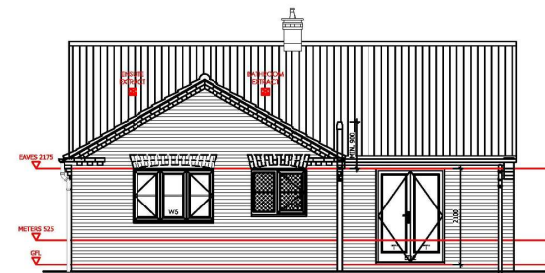
DRAWING No: 132-SS-20



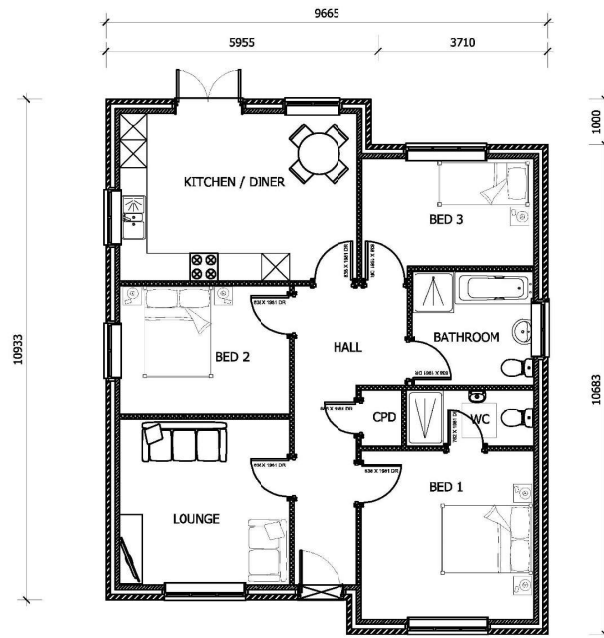
FRONT ELEVATION



SIDE ELEVATION



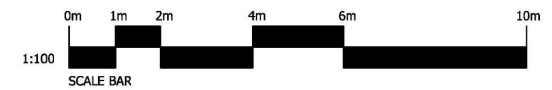
REAR ELEVATION




GROUND FLOOR PLAN



SIDE ELEVATION

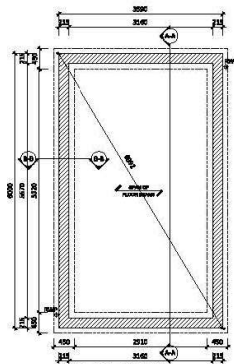
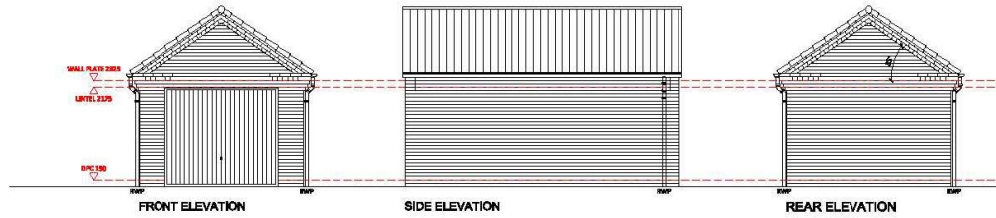


	HOUSE TYPE: WORCESTER (995 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: WORCESTER-001

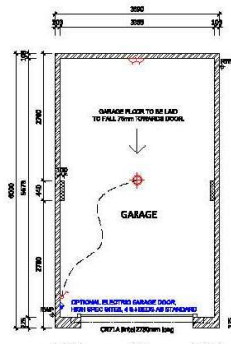
1 Goodfellow Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01420 490590



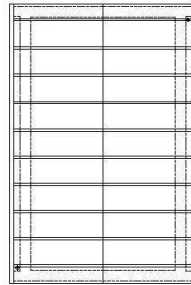
**BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS**



**SUBSTRUCTURE PLAN**  
 Check position dependent on roof type, see elevations  
 Provisional, verify assume a minimum ground bearing pressure of 72 kN/m²



**GARAGE PLAN**  
 Rear position dependent on roof type, see elevations  
 1500mm clear to allow electricians refer to detail  
 Floor plan to be fully detailed to show support of garage clear and head.  
 Ground floor slab - beams and block flooring. Structural ground cover to be 50mm compacted gravel reinforced with 1.5m x 1.2m mesh, 30mm clear to bottom of normal. Min. overall thickness 100mm rising to 125mm at rear of garage.



**ROOF PLAN**  
 Design of roof trusses to be subject to confirmation by truss supplier.  
 Labelled ratchet straps to rafters / trusses to support 20mm x 25mm hot dipped galvanized rafter end stops, fixed with 8 x 8 mm x 25mm long rods.  
 Labelled ratchet straps to be at 1.2m centres maximum and to be secured to the first three rafters or trusses where they are needed for the rafters.  
 Vertical ratchet straps to be used to secure roof trusses to wall at 1.2m centres.

- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP PARTWISE & ACCREDITED DETAILS.
  - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, RAFTERS AND MOVEMENT JOINTS REFER TO ENGINEERS' DETAILS AND SPECIFICATIONS.
  - ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCING.
  - ANY UNITS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL UNITS TO BE INSULATED AS MANUFACTURED DETAILS.
  - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART 2006. SPECIFIED CEILING FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CIRCUIT WATT.

- ABBREVIATIONS:**  
 RWP = RAINWATER PIPE  
 MJ = MOVEMENT JOINT
- WALL LEGEND**
- FOUNDATION WALL  
 235 CONCRETE TRENCH BLOCKS - THERMALITE 3.5 N/mm<sup>2</sup>
- INTERNAL WALL  
 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength)  
 Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
- EXTERNAL WALL + PER  
 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength)  
 100mm - 8.5N/mm<sup>2</sup> INSULITE DENSE BLOCK for Per  
 Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)

**SYMBOL KEY**

SYMBOL	DESCRIPTION
	LOW LEVEL SINGLE 13AMP SOCKET
	LOW LEVEL TWIN 13AMP SOCKET
	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 BEDS ONLY)
	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 BEDS ONLY)
	BATTENS HOLDER - LOW ENERGY
	LIGHT SWITCH
	7kW ELECTRIC VEHICLE CHARGER (OPTIONAL)

Rev.	Date	Description



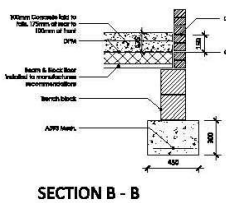
PROJECT: Proposed Residential Development at

HOUSE TYPE: Single Garage Front Pitched

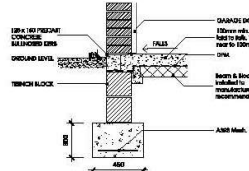
DRAWING: FLOOR PLANS & ELEVATIONS

SCALE: 1:50@A1 DRAWN: JE  
 DATE: SEPT.2022 REVISION: /  
 DRAWING NO: XXX-5G-001

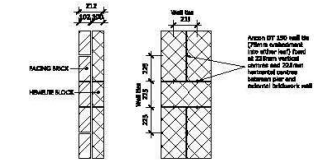
ASSOCIATED PLOTS:



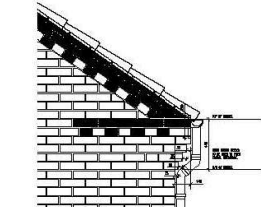
**SECTION B - B**



**GARAGE DOOR THRESHOLD DETAIL**

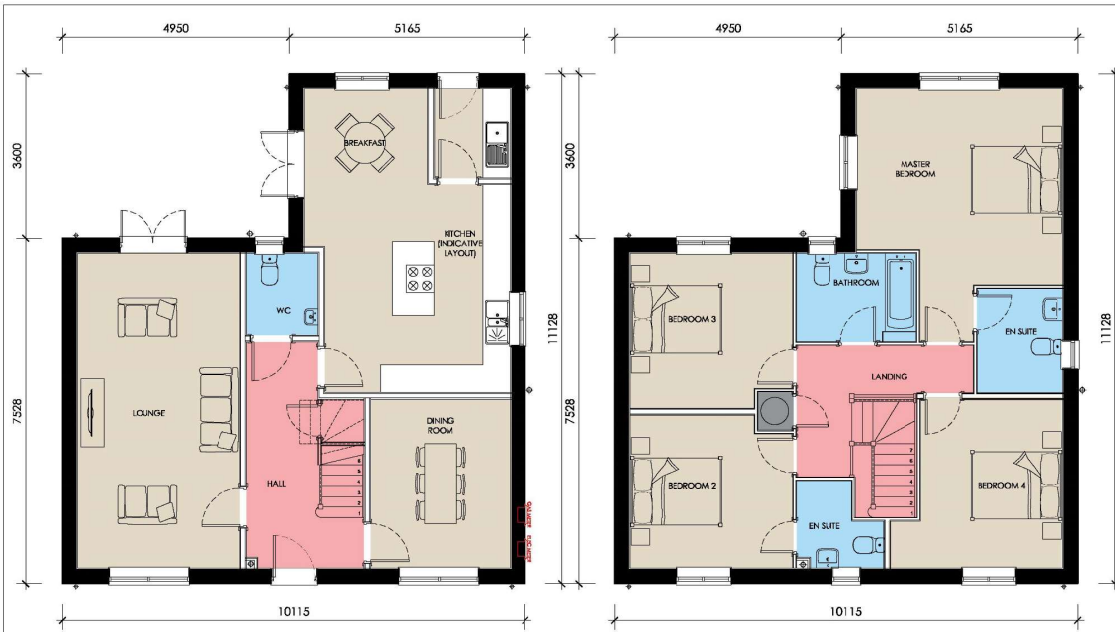


**MASONRY PIER DETAIL**



**BRICK CORBEL DETAIL REFER TO AH-ED-01**



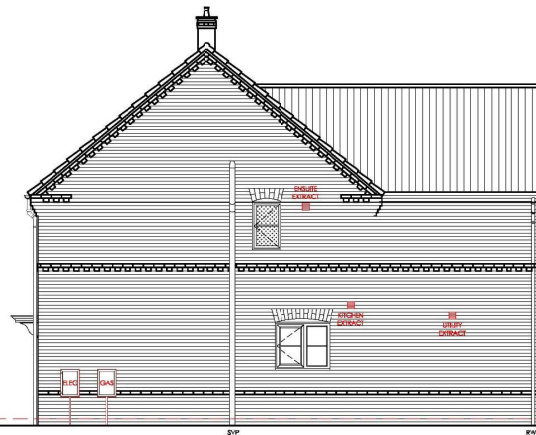


GROUND FLOOR

FIRST FLOOR



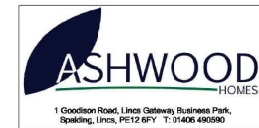
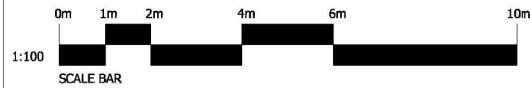
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

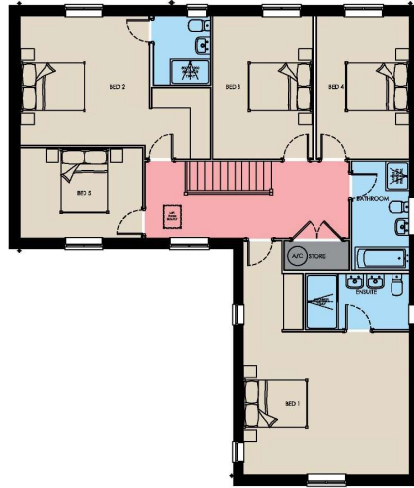


HOUSE TYPE:	TAY (1770 Ft <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	TAY-001





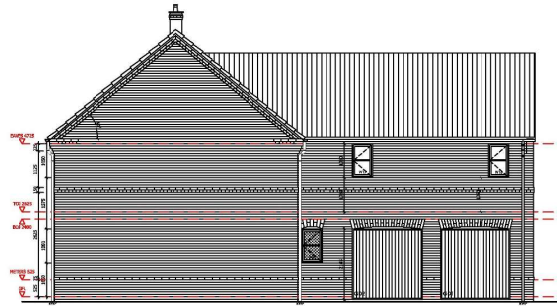
GROUND FLOOR



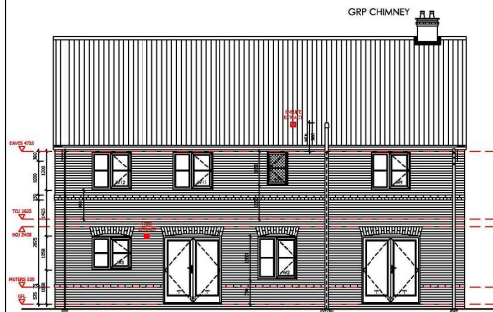
FIRST FLOOR



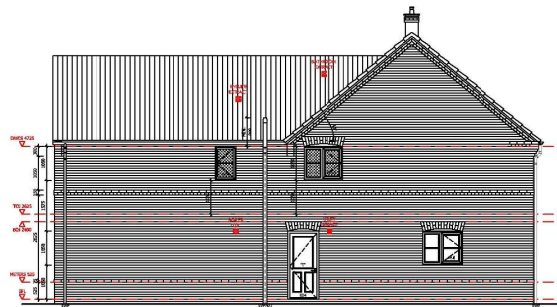
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

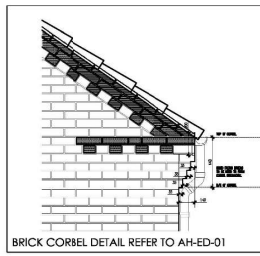
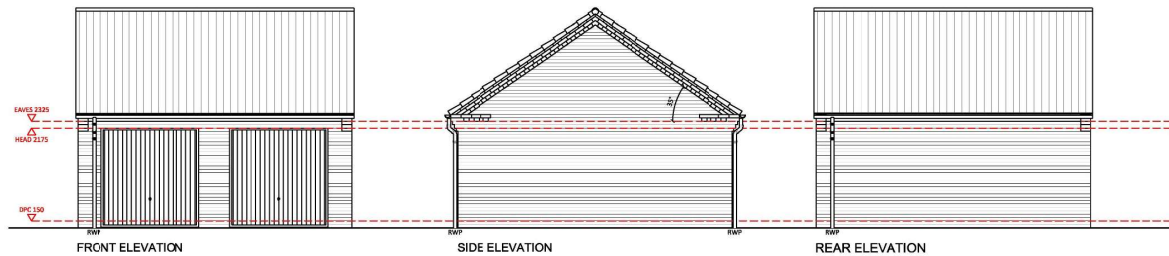


SIDE ELEVATION



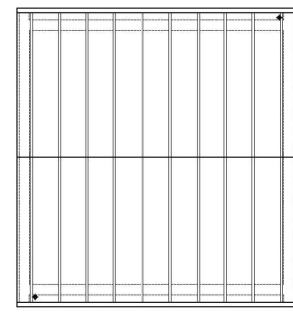
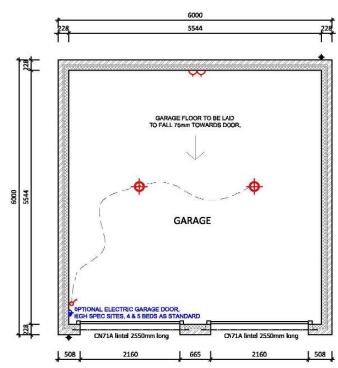
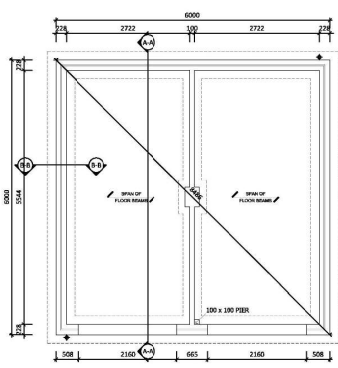
	HOUSE TYPE	CHESTER (2294 FT <sup>2</sup> )
	DRAWING TITLE	DESIGN SHEET
	DRAWING NUMBER	CHESTER-001

1 Goodford Road, 1/2m Claydon Business Park, Reading, UK, RG13 8PY. T: 01493 489750



**WALL LEGEND**  
 EXTERNAL CAVITY

- 102.2mm FACING BRICKWORK
- 20mm CAVITY
- 100mm DuROX SUPERBLOCK



REV	DATE	DESCRIPTION

**ASHWOOD HOMES**  
 1 Goodison Road, Lincs Gateway Business Park,  
 Spalding, Lincs. PE12 8FY    T: 01406 410590

PROJECT:  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 LAND SOUTH WEST OF HARRINGTON DRIVE  
 CROWLAND

DRAWING TITLE:  
 DOUBLE GARAGE

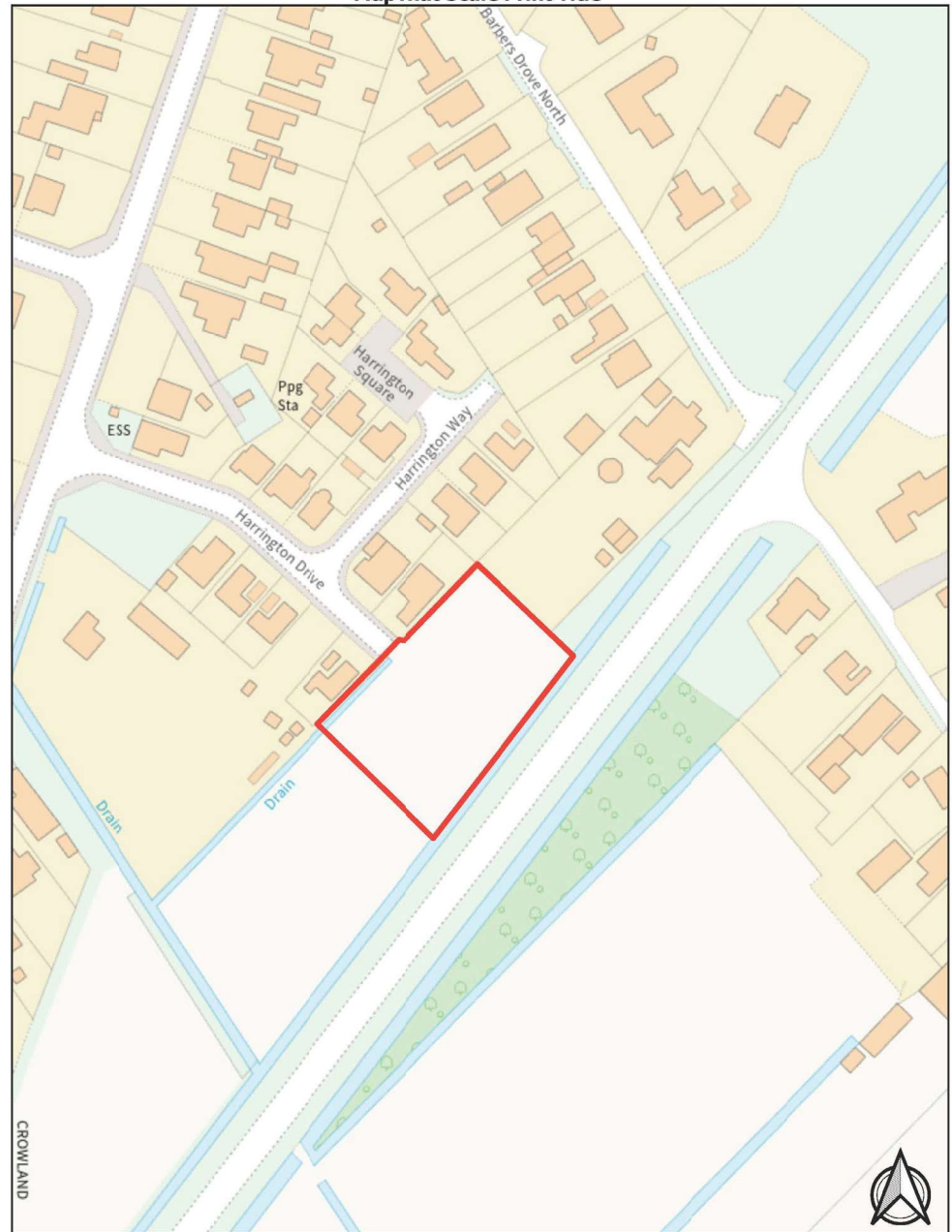
SCALE: 1:50 @ A1      DATE: 21.06.2021

DRAWN: GB      REV:

DRAWING No:  
 132 - DG - 001

ASSOCIATED PLOTS :

MapThat Scale Print Title



CROWLAND



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MAP SCALE 1:1250  
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