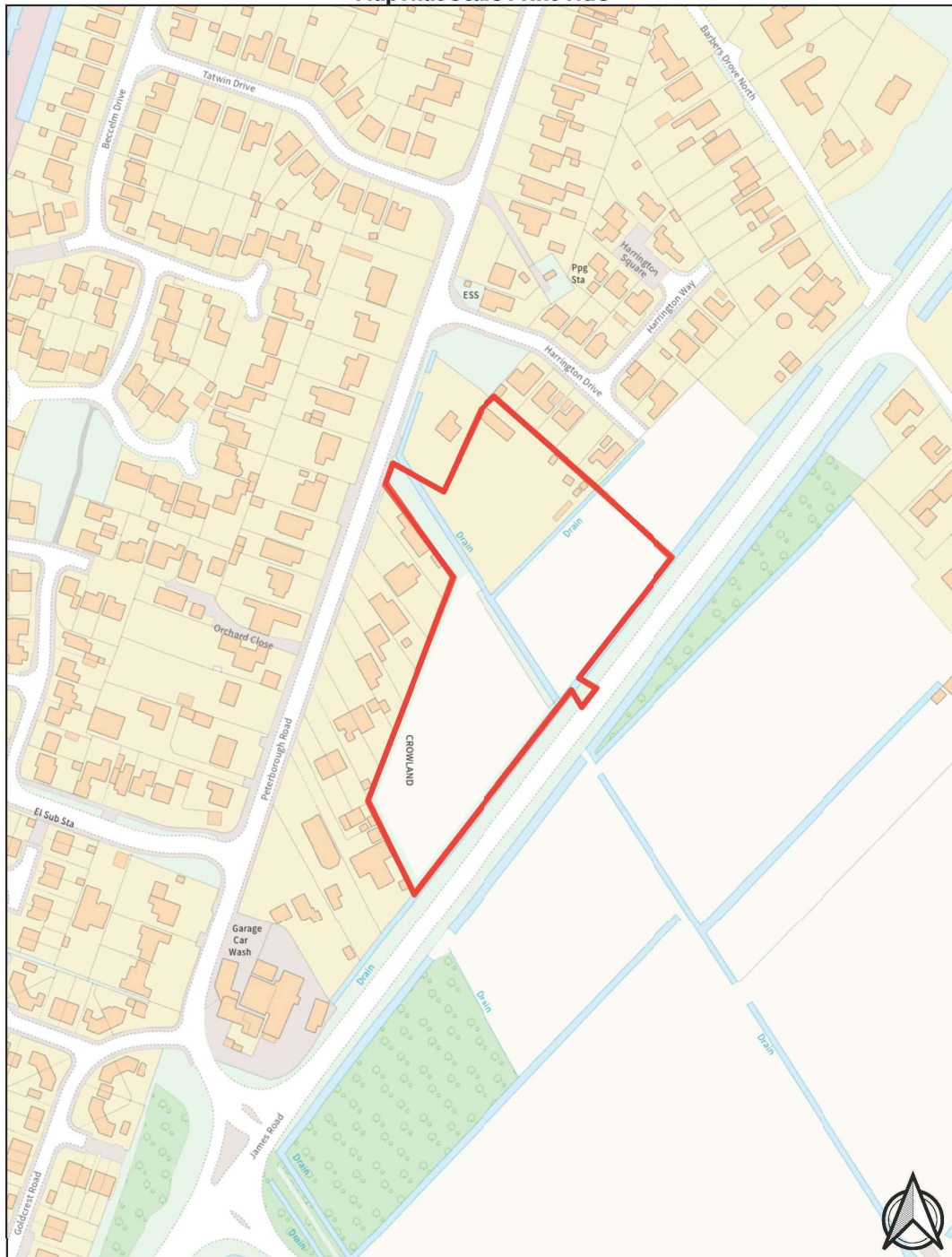



Welcome to the Planning Committee



 DEVELOPMENT BOUNDARY



REV	DATE	DESCRIPTION



1 Goodison Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 6FY T: 01406 480590

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT AT
LAND SOUTH WEST OF HARRINGTON DRIVE
CROWLAND

DRAWING TITLE:
LOCATION PLAN

SCALE: 1:2500 @ A4	DATE: 21.09.2021
DRAWN: AR	REV: -

DRAWING No:
132 - LP - 01



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- KEY**
- Site Boundary
 - Extent of further land in applicant ownership
 - Wall Type - A
1.8m high facing Brick Wall (Brick to match adjacent property)
 - Wall Type - B
1.2m facing Brick Wall with 600mm CBF on top (Brick to match adjacent property)
 - Filter Drains
 - Drainage Easement
 - Indicative Proposed Trees. Refer to Landscaping Layout
 - Refuse Collection Points: (800mm x 800mm Space Per Dwelling)
 - LED dusk to dawn Bollard Lights
 - Private Street Lights (outside of Adoptable Highway)
- Affordable Housing**
- ★ Rented:
 - ★ Shared Ownership:
 - ★ First Home:

Plot Schedule

Plot No	House Type
1	Rutland-V
2	Mere
3	★ A732
4	★ A732
5	★ A732
6	★ A575
7	★ A575
8	★ A575
9	★ A575
10	Aire
11	Aire
12	Aire
13	★ A902
14	★ A902
15	Dee
16	Dee
17	★ Clyde
18	Clyde
19	Clyde
20	Clyde
21	Aire
22	Aire
23	Mere
24	Aire
25	Lock
26	Humbar
27	Cuse
28	Ribble-V
29	Mere
30	Clyde
31	Clyde
32	Mere
33	Clyde
34	Clyde
35	Dee
36	Dee
37	Dee
38	Dee
39	Dee
40	Dee
41	Dee
42	Mere

★ FH - First Home
★ SO - Shared Ownership
★ R - Rented

House Type Schedule - Open Market

House Type	Soft	Storeys	Beds	No of
Dee	732	2	2b 4p	9
Clyde	783	2	3b 5p	9
Aire	902	2	3b 5p	3
Lock	1079	2	3b 5p	1
Mere	1080	2	3b 5p	5
Rutland-V	1099	2	3b 5p	1
Ribble-V	1283	2	4b 7p	1
Humbar	1678	2	4b 7p	1
Cuse	1814	2	4b 7p	1
Total				29

House Type Schedule - First Home

House Type	Soft	Storeys	Beds	No of
Aire	★ 902	2	3b 5p	3
Total				3

House Type Schedule - Shared Ownership

House Type	Soft	Storeys	Beds	No of
Clyde	★ 783	2	3b 5p	1
Total				1

House Type Schedule - Affordable

House Type	Soft	Storeys	Beds	No of
A575	★ 575	2	1b 2p	4
A732	★ 732	2	2b 4p	3
A902	★ 902	2	3b 5p	2
Total				9

GRAND TOTAL

	42
--	-----------

Cycle Storage

Houses with garages - Cycles to be stored in garages.

Houses with out garages - To be provided with secure screwed wall mounted padlock hasp within private garden area.

Rev.	Date	Description
K	10.05.2023	House type revised to plot 26 and 42. Drainage easement added behind plot 23 & 24. House type schedule updated.
J	22.03.2023	Plot 15, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42 amended, plot 42 relocated.
I	18.09.2022	Plot 10 and 11 merged. Terrace paving added to Peterborough Road. Plot 37 parking renumbered.
H	25.07.2022	Cycle storage shown in garages and added to plots.
G	07.06.2022	Cycle storage schedule updated to reflect plan.
F	13.05.2022	House type schedule updated to reflect plan.
E	10.05.2022	Plot 24 - 29 removed and replaced with one Humbar and one Dee. Plot 30 - 38 removed with Clyde. Plot numbers updated. House type schedule updated.
D	02.03.2022	Affordable increased to 10%, parking adjusted to provide access front of plot 25, 26 and 36. House type schedule updated.
C	11.01.2022	Plot numbers return to 47 total.
B	23.11.2021	Plot 3-4 amended, number of plots reduced.
A	22.09.2021	Filter strips shown.



PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
Site Layout

SCALE: 1:500@A1 DRAWN: MII
DATE: FEB.2022 REVISION: K
DRAWING No: 132-SL-01



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NOTES: Based on survey drawing 16170381-SEA-HARR-ZD-TOP0 Rev A

The original of this drawing was produced in colour – a monochrome copy should not be relied upon

KEY

- GRADE A TREES
- GRADE B TREES
- GRADE C TREES
- GRADE U TREES
- ROOT PROTECTION AREA
- CANOPY OUTLINE - INDIVIDUAL TREE
- CANOPY OUTLINE - GROUPS
- CANOPY OUTLINE - FUTURE POTENTIAL
- INDICATIVE SHADE AREA
- ARBORICULTURAL FEATURES OF VALUE

Arboricultural Comments

Root Protection Areas
The Root Protection Area (RPA) is illustrated as a rectangle or polygon around each tree or group of trees. This is the area where the trees are retained. Ideally an excavation should take place the soil level should not be raised or lowered in materials should be placed. There must be no contamination and no services should be routed.

However, trees may be tolerant of some disturbance and recent advances in construction techniques can avoid causing significant damage to roots. The soil must be a number of factors including the species and site conditions along with the type of construction methods available to the developer.

Shade (H/L/S/F/G/S)
The shade area has not been shown for clarity but is based on a solar inclination of 45° to live with the median suggested by BS5812. Shading within the shade area may be acceptable where ground level is raised or proposed use of the site means they are not adversely affected by a lack of sunlight received. Sun shading may be reduced in the winter when solar gain can make room temperatures uncomfortable.

Above Ground Constraints
The height of the main crown above ground is shown in the survey. Lifting or raising the crown to a set height above ground in order to install fence, achieve clearance over the driveway or other access to place and machinery would be an acceptable arboricultural practice. Crown removal may in its use be a considered where it is greater than the RPA height. Reference must be made to the tree survey schedule.

Trees on neighbouring land
Trees on neighbouring ground must be taken into consideration. These are shown on the plan.

Future Growth
Where future rapid growth is possible, this has been illustrated as a broken green line. The present future height has been illustrated in the shade pattern shown.

Suitability for Planting
In general, Grade A and U trees should be retained, especially if they offer a visual amenity to the wider community. It may be desirable to retain Grade C trees where they can continue to offer a presence until they are replaced but they should not generate prevent an alternative method of visual amenity being achieved. Some of the trees surveyed offer any current or future public visual amenity.

Statutory Protection
This information was not available at the time of writing.

Design Objectives
Design should take full account of the root protection areas of retained trees, with an aim to leave at least the natural extent of the RPA to make the practical removal of development feasible, subject to other constraints.

Design should take the shading and above ground constraints into account. Clearly areas beyond the crown spread of trees would be best for car parking. Carports and refuse shed would have a reasonable proportion of the area (20% is suggested) to be satisfactory.

Service routes must be located outside of the RPAs of retained trees.

Implement the protection scheme before development (including demolition) starts on site.

Make provision for replacement planting within the landscape proposals.

Rev	Description	Date

Rev Description Purpose of Issue Information Only Date

Arboricultural Consultant
The Tree House, 1st Floor
Station Road, Uppington
Camden
LE15 8TX
t: 01972 823637
e: info@balsonarboriculture.co.uk

Client
Ashwood Homes

Project
L/O Harrington Drive and
Peterborough Road, Crowland

Drawing Title
TREE CONSTRAINTS PLAN

Drawn	Checked	Reviewed	Date
4415			11/02/2021
Job No.	Scale	Sheet Size	Revision
4415	1:500	A1	

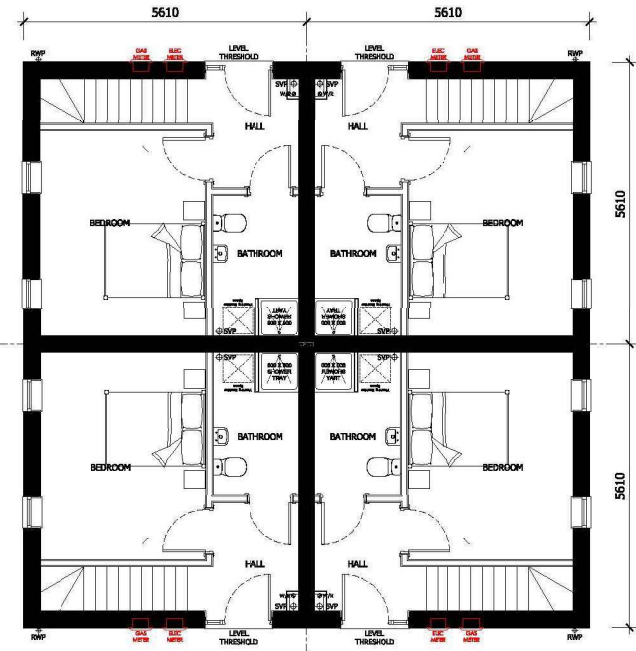
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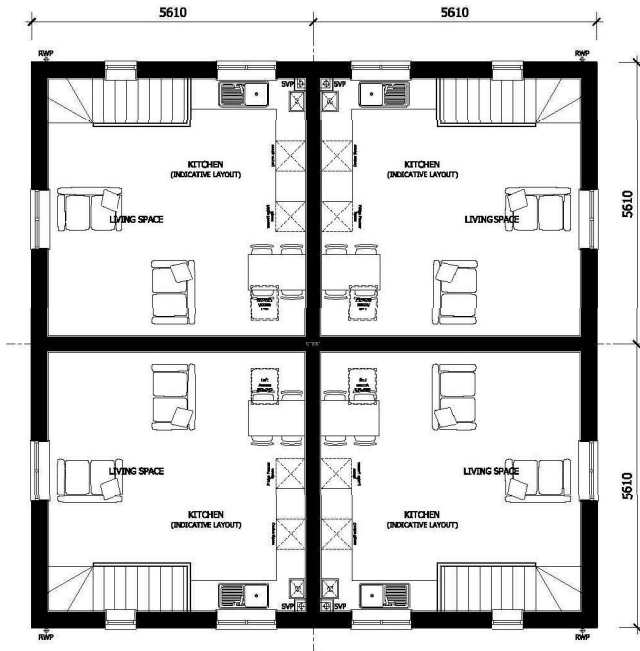
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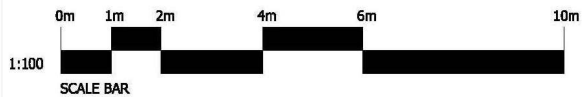
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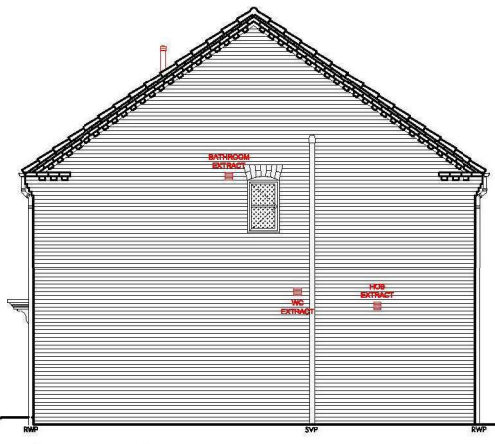
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DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	A575(R)-001



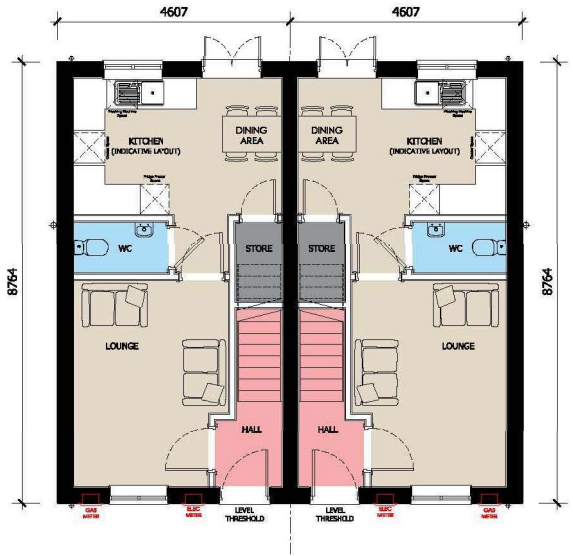
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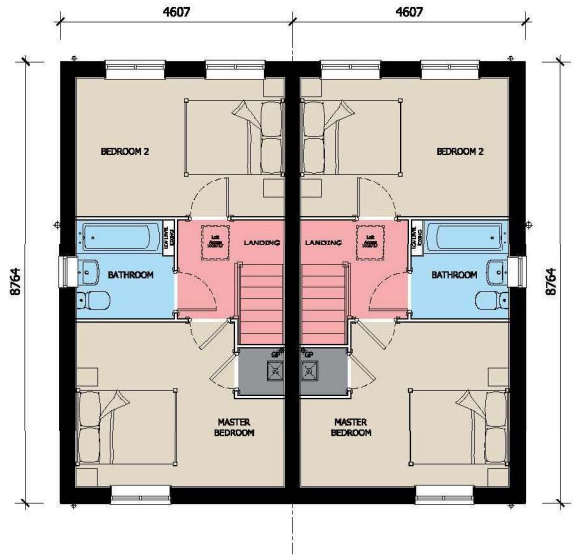
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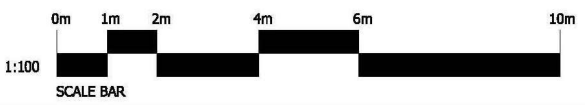
REAR ELEVATION




GROUND FLOOR



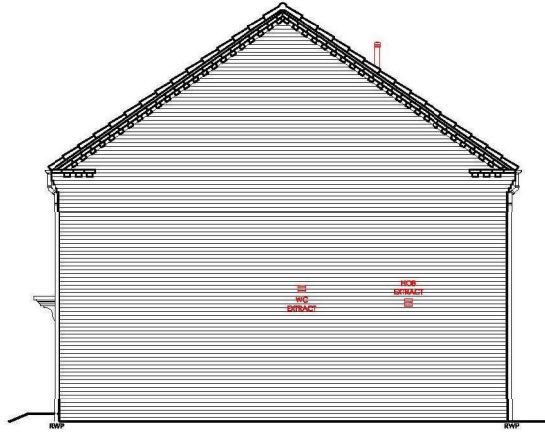
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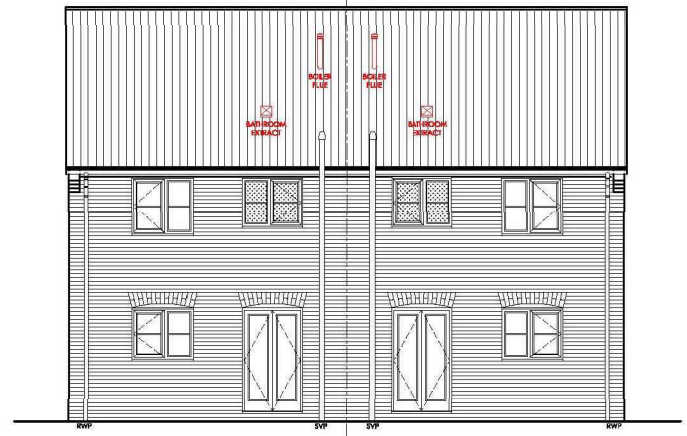
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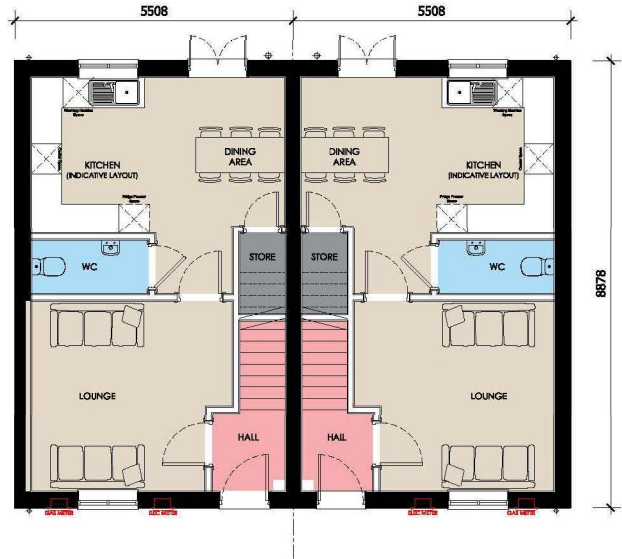
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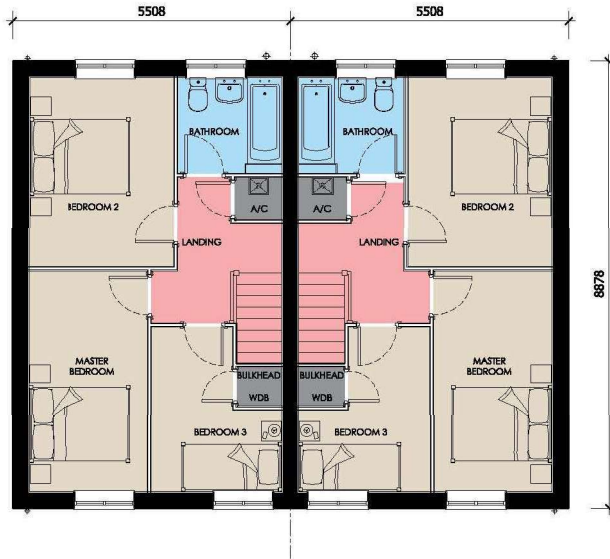
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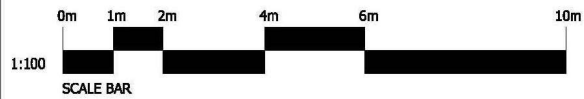
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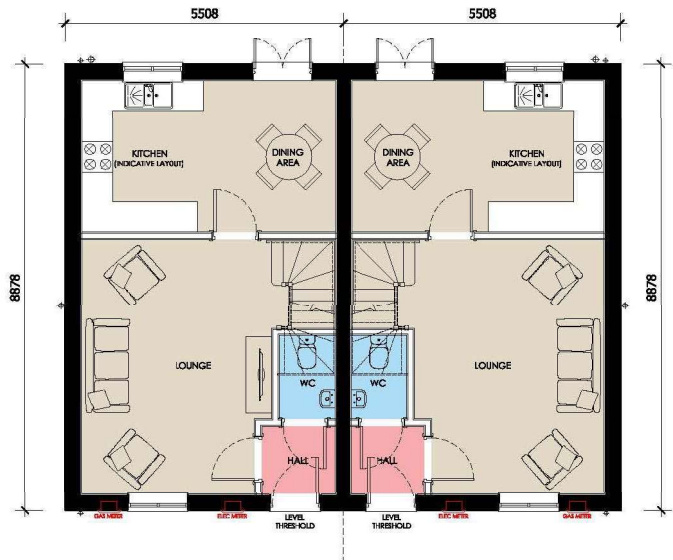
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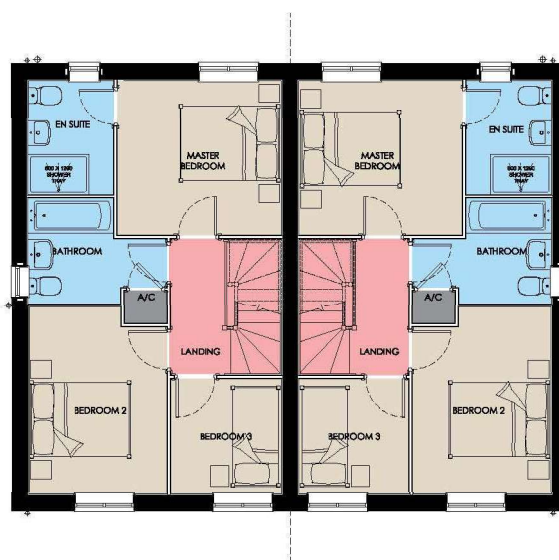
FIRST FLOOR



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	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	A902(R)-001



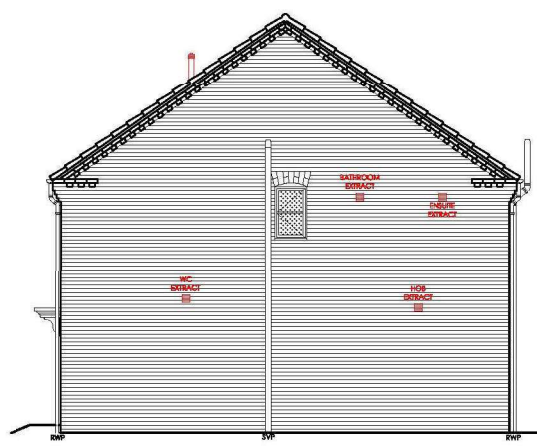
GROUND FLOOR



FIRST FLOOR



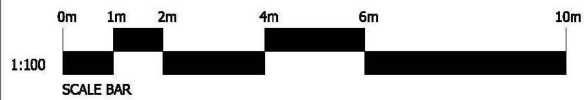
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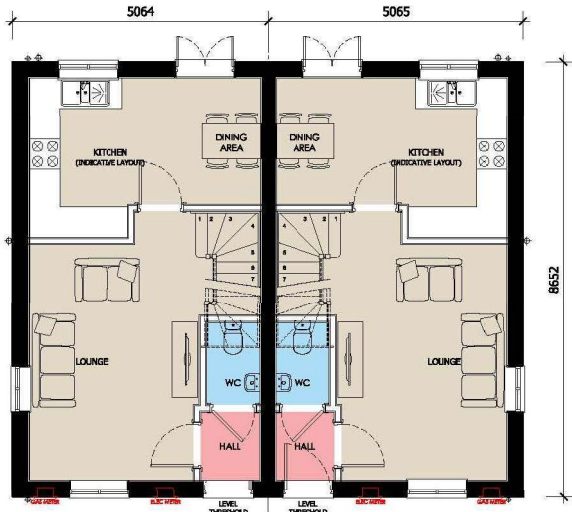
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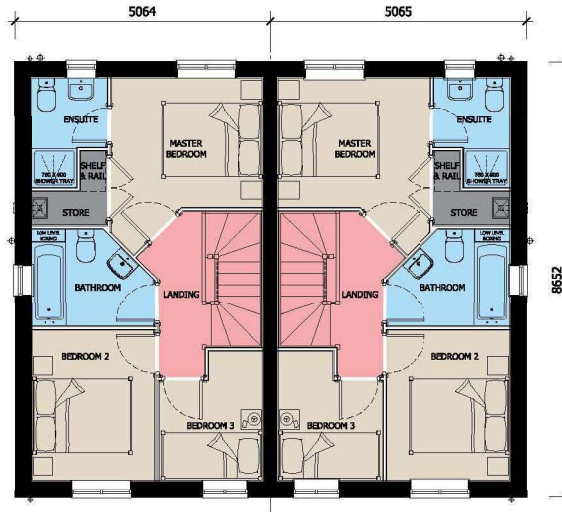
REAR ELEVATION



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	DRAWING NUMBER: AIRE-001



GROUND FLOOR



FIRST FLOOR



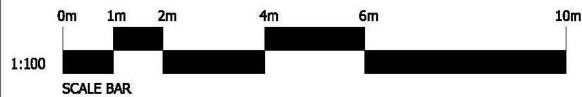
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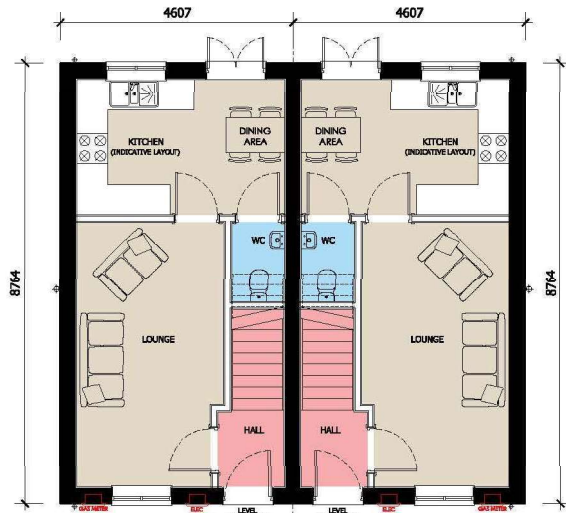
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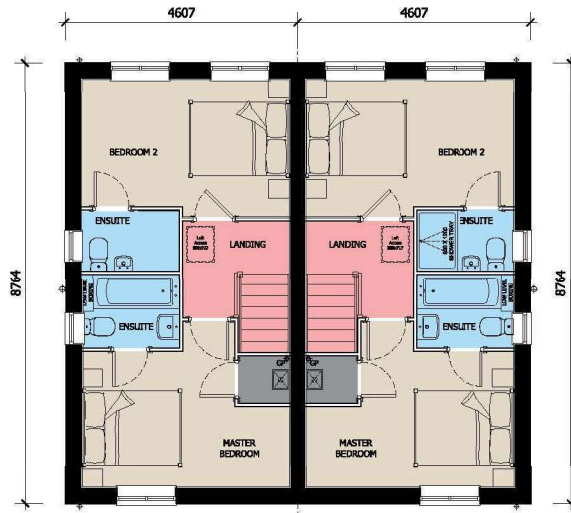
REAR ELEVATION



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	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	CLYDE-001



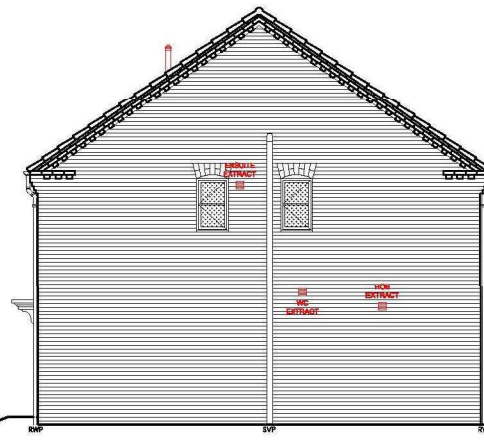
GROUND FLOOR



FIRST FLOOR



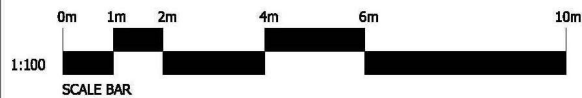
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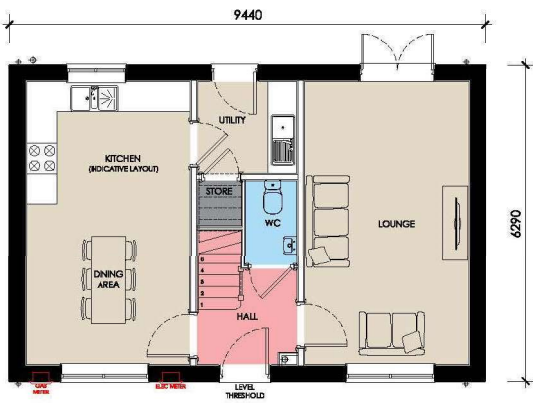
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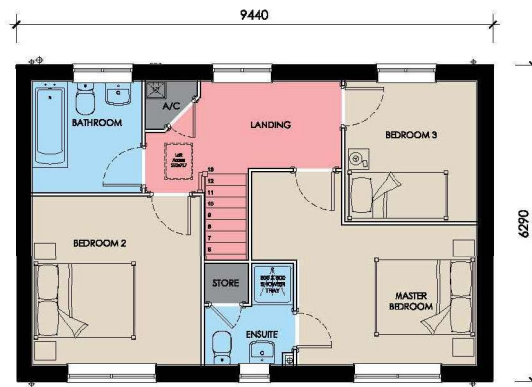
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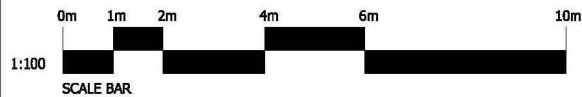
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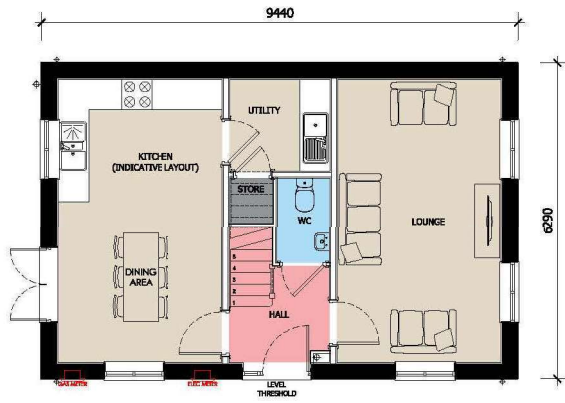
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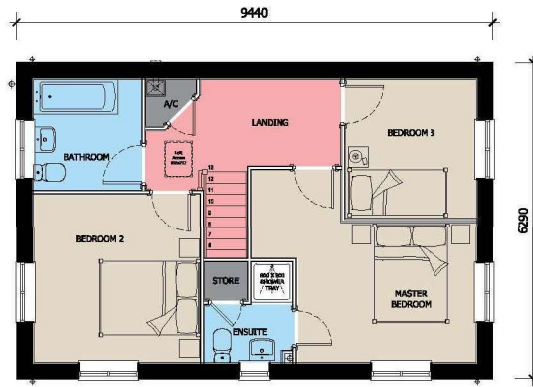
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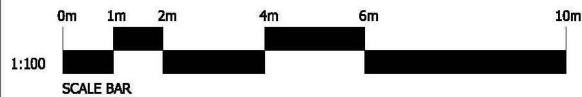
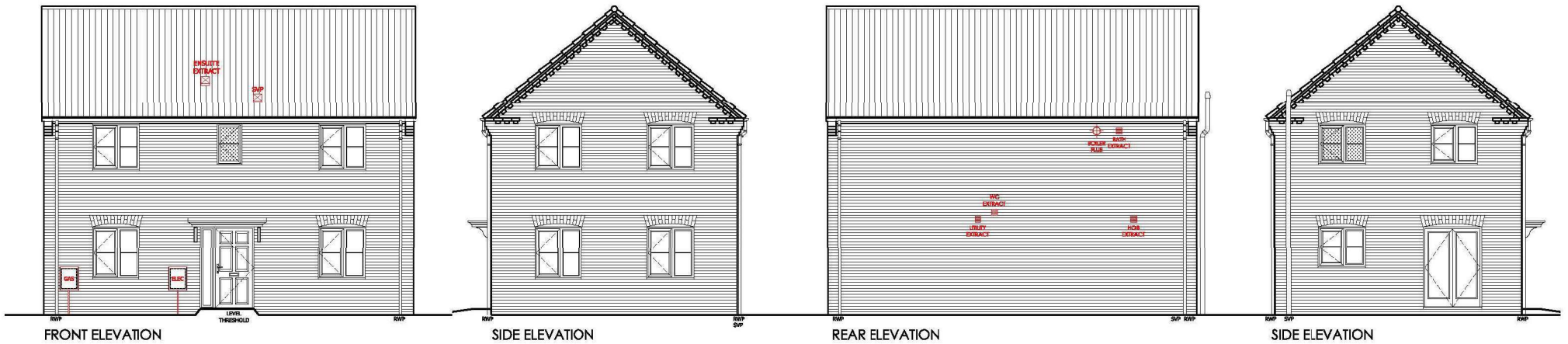
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	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	LOCK-001



GROUND FLOOR



FIRST FLOOR



<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 460990</p>	HOUSE TYPE:	MERE (1080 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	MERE-001



GROUND FLOOR



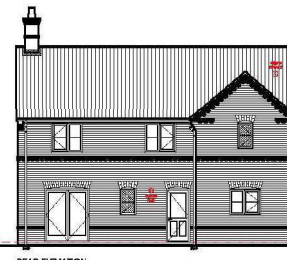
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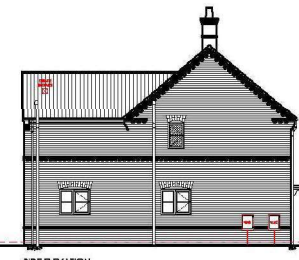
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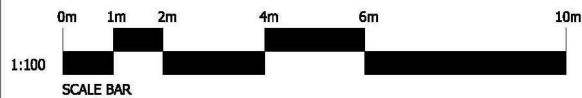
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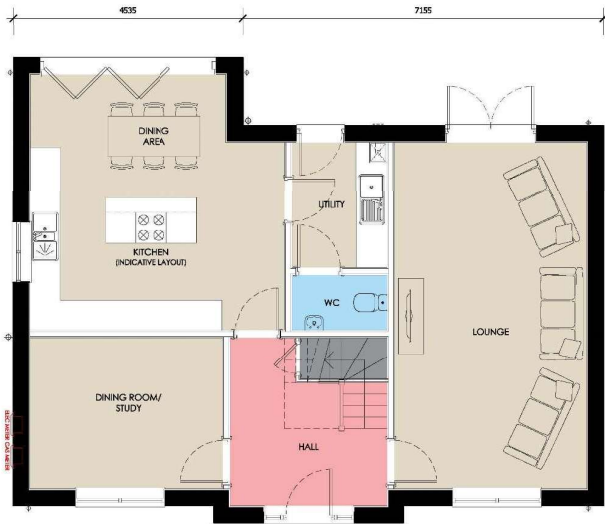
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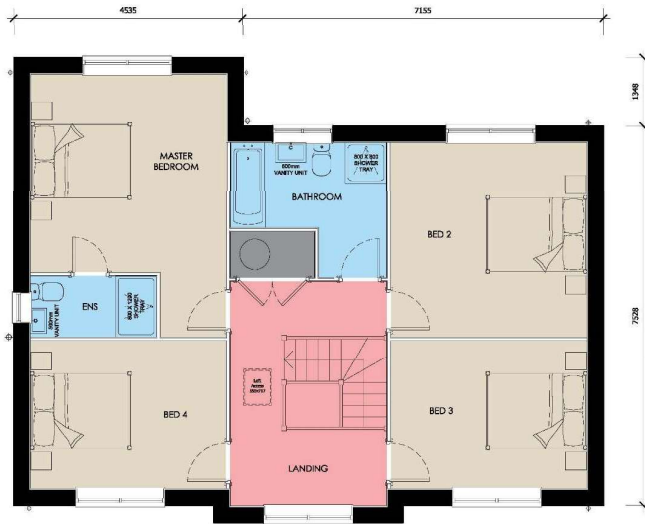
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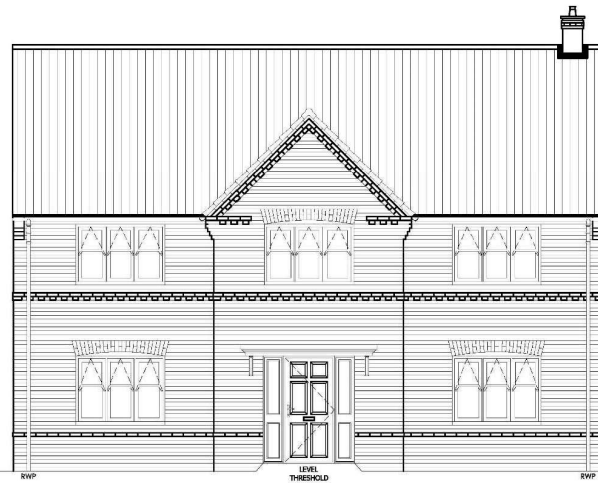
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	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: HUMBER-001



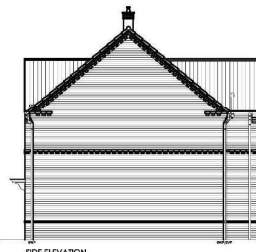
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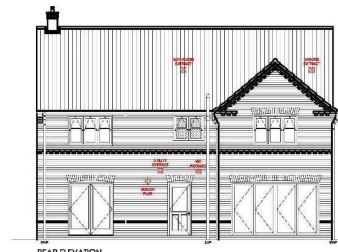
FIRST FLOOR



FRONT ELEVATION



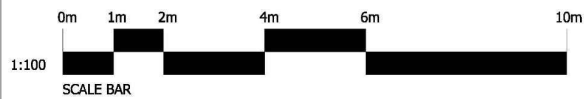
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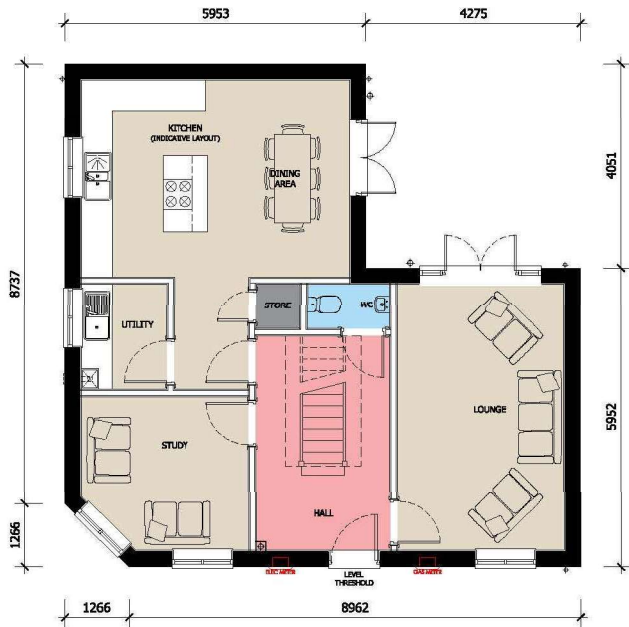
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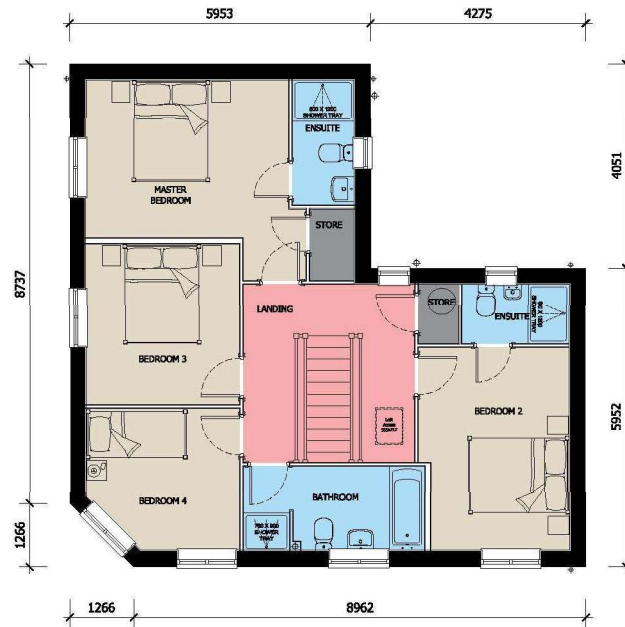
SIDE ELEVATION



<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 480590</p>	HOUSE TYPE:	OUSE (1787 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	OUSE-001



GROUND FLOOR



FIRST FLOOR



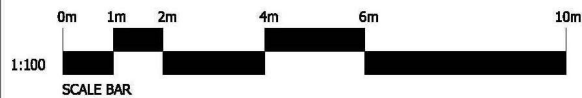
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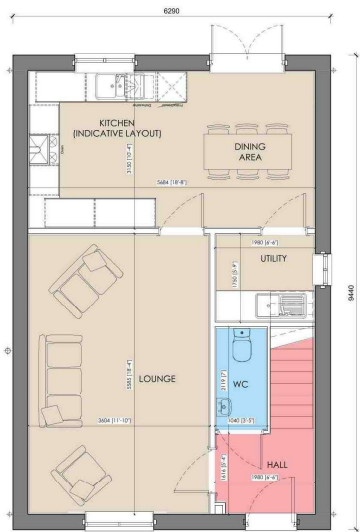
SIDE ELEVATION



REAR ELEVATION



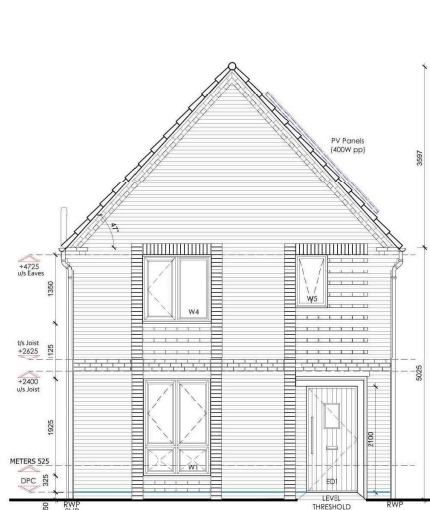
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	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: STAMFORD-001



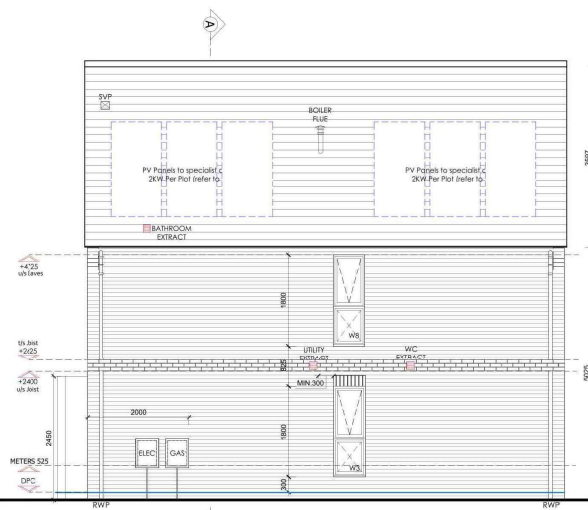
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FIRST FLOOR



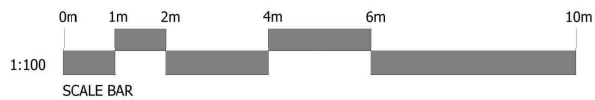
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490590

HOUSE TYPE:
RUTLAND - V - DS - 001 - Rev A
(1080 sq ft)



Notes :Legends

SYMBOLS AND CODES	
1	1:100m
2	2:100m
3	3:100m
4	4:100m
5	5:100m
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94	94:100m
95	95:100m
96	96:100m
97	97:100m
98	98:100m
99	99:100m
100	100:100m

Topographical Surveys

The description and heights of trees should be used as a guide only.

All below ground survey details have been identified from above ground therefore all details relating to these will be approximate only.

Some features or location may not have been surveyed due to obstructions or not reasonably visible at the time of the survey.

General

This drawing shows the existing topography of land to the north of James Road and the existing surrounding highways on the 17th April 2021.

SURVEY GRID AND LEVEL DATUM

Ordnance Survey (OS) national grid coordinates have been used to carry out survey. All levels relate to the Ordnance Survey (OS) level datum using CHSS/OSGM15 (GB).

Revision	Details	Date
A	Topographical Survey	14/04/21

Disclaimer:

This plan should only be used for its original purpose. MFM accepts no responsibility for this plan if supplied to any party other than the original client.

All dimensions and/or level information shown should be checked on site prior to design and construction.

This drawing is not to be used in whole or part other than for the intended purpose and project as defined on this drawing. Refer to the contract for full terms and conditions.

All dimensions in metres

MFM Land Surveys & Engineering Services Ltd

321 Smeeth Road, Marshland St James, PE14 8EP
Tel: 01945 432203 - www.mfmlandsurveys.co.uk

Client:
Seagate Homes
Holbeach Manor
Fleet Road
Holbeach

Project Title:
Harrington Drive Crowland

Drawing Title:
Topographical Survey to the north of James Road 3d

Sheet 1 of 2

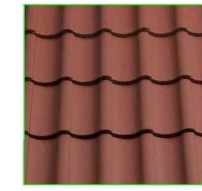
Scale:	Sheet Size:	Drawn:	Date:
1:500	A1	M.M	18.04.2021
Drawing Number:	Revision:		
16170381-SEA-HARR-3D-TOPO	A		



LEGEND	
	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 68MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	FLUE TERMINALS: UPVC
	BRICK TYPE A: LEICESTER MULTI CREAM
	BRICK TYPE B: IVANHOE WESTMINSTER
	BRICK TYPE C: OAKMOOR CREAM
	ROOF TILE A: CONDON CONCRETE PANTILE - TERRACOTTA
	ROOF TILE B: CONDON CONCRETE SLATE - BLACK
	ROOF TILE C: WIENERBERGER NEW CASSIUS - ANTIQUE SLATE



BRICK TYPE A:
LEICESTER MULTI CREAM



ROOF TILE A:
CONDON CONCRETE PANTILE -
TERRACOTTA



BRICK TYPE B:
OAKMOOR CREAM



ROOF TILE B:
CONDON CONCRETE SLATE -
BLACK



BRICK TYPE C:
IVANHOE WESTMINSTER



ROOF TILE C:
WIENERBERGER NEW CASSIUS
ANTIQUÉ SLATE

Rev.	Date	Description
1	10.05.2021	Revised to suit latest site layout.
2	08.09.2022	Plot 16 to 22 position revised.
3	08.09.2022	Updated plots 22, 23 and 43.
4	05.07.2022	Updated plots 25, 11, 4 and 24.
5	10.05.2022	Revised to suit latest site layout.
6	03.03.2022	Adjustments to road layout, parking adjusted to private drive on front of plot 25, 26 and 30.
7	11.01.2022	Plot numbers revised to 49 to 64.
8	22.11.2021	Plot numbers, number of plots reduced.
9	20.09.2021	Plot numbers revised.



1 Goodson Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT:
Proposed Residential
Development at Land South West
of Harrington Drive, Crowland

DRAWING:
Materials Schedule Layout

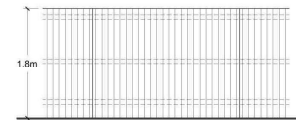
SCALE: 1:500@A1 DRAWN: MII

DATE: FEB. 2022 REVISION: 1

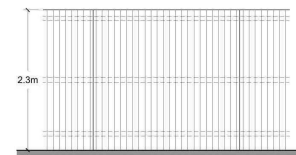
DRAWING No: 132-MSL-01



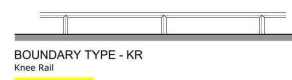
KEY



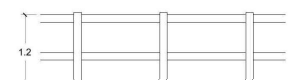
BOUNDARY TYPE 1 - CBF
1.8m High Close Boarded Fence



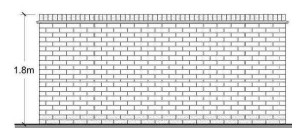
BOUNDARY TYPE 2 - CBF
2.3m High Close Boarded Fence
Min Surface Density 1.0KG/m² as recommended by Acoustic Report



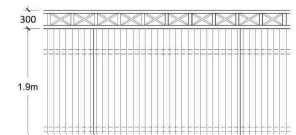
BOUNDARY TYPE - KR
Knee Rail



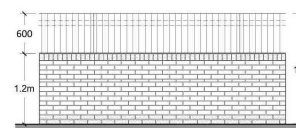
BOUNDARY TYPE - PR
1.2m High Post & Rail Fence



BOUNDARY TYPE - BW
1.8m High Brick Wall



BOUNDARY TYPE 3 - CBF
1.9m High Close Boarded Fence with 300mm Privacy Trellis



BOUNDARY TYPE - BW
1.2m High Brick Wall with 0.6m Close Boarded Fence

Rev.	Date	Description
K	10.05.2023	House type revised to plot 26 and 42. Fencing amended.
J	09.04.2023	Plot 10 & 11 Fencing amended.
I	09.05.2022	Plot 12 and 43 Fencing amended.
H	27.07.2022	1.8m fencing with 0.3m trellis added to plan and key
G	29.07.2022	Updating to plot 10 and 11 altered, fencing notes added to boundary type 1 fence application
F	07.06.2022	Trellis covering added on Peterborough Road
E	10.05.2022	Updated to add silver fence
D	02.03.2022	Attenuator removed to 15m, parking adjusted to private drive front of plot 25, 26 and 36
C	11.01.2022	Plot numbers return to 47 total.
B	23.09.2021	Acoustic fence indicated.
A	22.09.2021	Fence strips shown



PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
Boundary Treatment Plan

SCALE: 1:500@A1 DRAWN: MII
DATE: OCT.2021 REVISION: K

DRAWING No: 132-BT-01



KEY

- Site Boundary
- Extent of further land in applicant ownership
- 7 kW Electric Vehicle Charge Point fitted on Front Elevation.
- 7 kW Electric Vehicle Charge Point fitted in Garages.
- 7 kW Electric Vehicle Charge Point fitted on side elevation.
- Private Street Lights (outside of Adoptable Highway)
- LED dusk to dawn Bollard Lights

Rev.	Date	Description

1 Goodson Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
EV Layout

SCALE: 1:500@A1 DRAWN: MII
DATE: MAY 2023 REVISION: -

DRAWING No: 132-EV-01



KEY

- Site Boundary
- Extent of further land in applicant ownership
- PV Panels to Roof to meet required EPC Rating
- Private Street Lights (outside of Adoptable Highway)
- LED dusk to dawn Bollard Lights

Rev.	Date	Description



PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
PV Layout

SCALE: 1:500@A1 DRAWN: MII
DATE: MAY 2023 REVISION: -

DRAWING No: 132-PV-01

HOUSE TYPES



DEE - 2b 4p



RIBBLE-V - 4b 7p



CLYDE - 3b5p



HUMBER - 4b 7p



AIRE - 3b 5p



OUSE - 4b 7p



LOCK - 3b 5p



MERE - 3b 5p



RUTLAND-V - 3b 5p



Rev.	Date	Description
F	18.05.2023	House type revised, PKA 27-28 garage roof changed to raked roof, PKA 18-21 roof changed to front gable.
E	22.03.2023	Plot 18 - 1 revised and configuration revised. Boundary now intersect adjacent plot 11. Altered to LA contours, alterations to ground to 10m, opening, relocated to ground above front of plot 23, 26 and 36. House type schedule
D	02.03.2022	Plot 18-21 revised and configuration revised. Boundary now intersect adjacent plot 11. Altered to LA contours, alterations to ground to 10m, opening, relocated to ground above front of plot 23, 26 and 36. House type schedule
C	11.01.2022	Plot 18-21 revised and configuration revised. Boundary now intersect adjacent plot 11. Altered to LA contours, alterations to ground to 10m, opening, relocated to ground above front of plot 23, 26 and 36. House type schedule
B	22.11.2021	Plot 18-21 revised and configuration revised. Boundary now intersect adjacent plot 11. Altered to LA contours, alterations to ground to 10m, opening, relocated to ground above front of plot 23, 26 and 36. House type schedule
A	22.09.2021	Plot 18-21 revised and configuration revised. Boundary now intersect adjacent plot 11. Altered to LA contours, alterations to ground to 10m, opening, relocated to ground above front of plot 23, 26 and 36. House type schedule

ASHWOOD HOMES
 1 Goodson Road, Lincs Gateway Business Park,
 Spalding, Lincs, PE12 6FY T: 01406 490590

PROJ/ECT:
 Proposed Residential
 Development at Land South West
 of Harrington Drive, Crowland

DRAWING:
 Site Layout Colour

SCALE: 1:500@A1 DRAWN: MII
 DATE: FEB.2022 REVISION: F

DRAWING No: 132-SL-02



Street Scene - Scale 1:250



Partial Site Plan - Scale 1:250

 <p>1 Goodson Road, Lincs Gateway - Business Park, Spalding, Lincs, PE12 8PY T: 01454 490050</p>	<p>Proposed Residential Development at land to South West, Crowland</p>
	<p>Street Scene - James Road</p>
	<p>132- StS- 01</p>



Refer to 132 - StS - 02
Peterborough Road



Harrington Drive
Refer to 132 - StS - 04



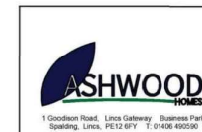
Refer to 132 - StS - 03
Harrington Drive



Refer to 132 - StS - 01
James Road

Refer to individual site
section drawings

Key	
A - - - - - A	Section Lines



Proposed Residential
Development at
Land South West of
Harrington Drive

Street Scenes - Key Plan

132 - StS - 100



PROJECT:
Proposed Residential
Development at Land South West
of Harrington Drive, Crowland

DRAWING:
CGI Key Plan
DRAWING No:
132-ST5-101



CGI View D



CGI View C



CGI View B - From Neighbouring Bungalow No.58'



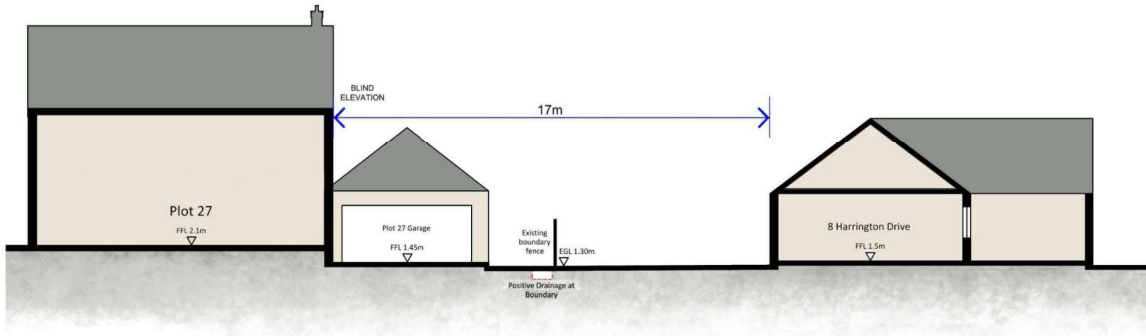
CGI View E



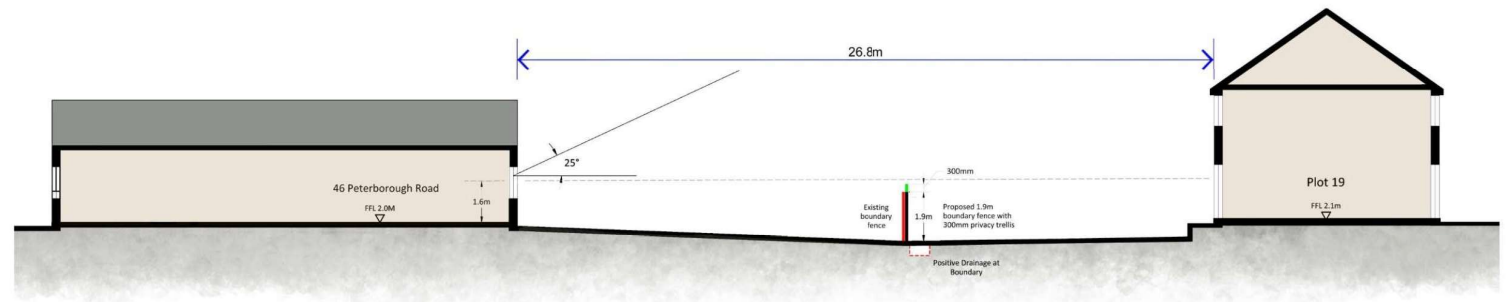
CGI View A



Site Plan

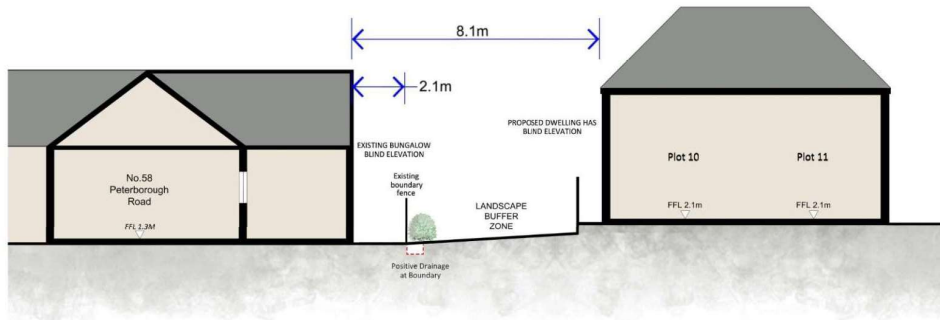


SECTION BB
Scale 1:100

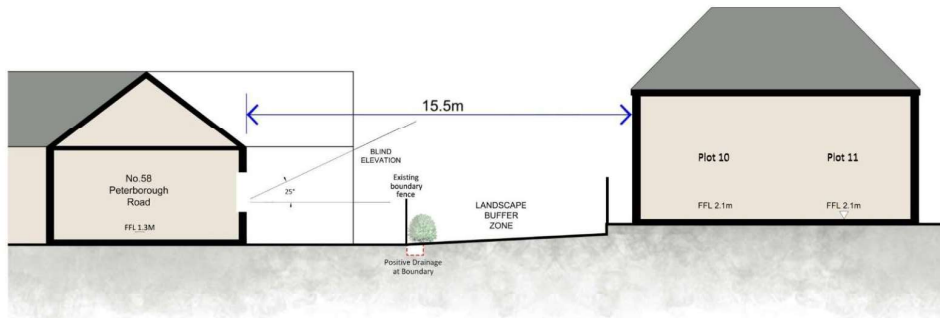


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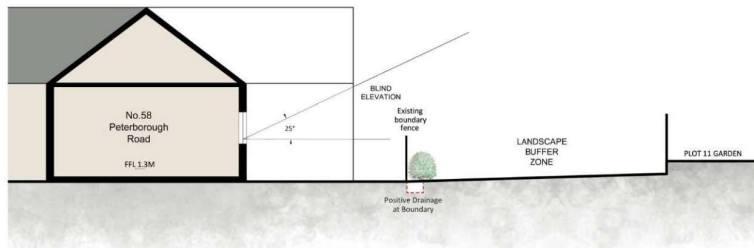
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			DRAWING No:	132-SS-JR-001



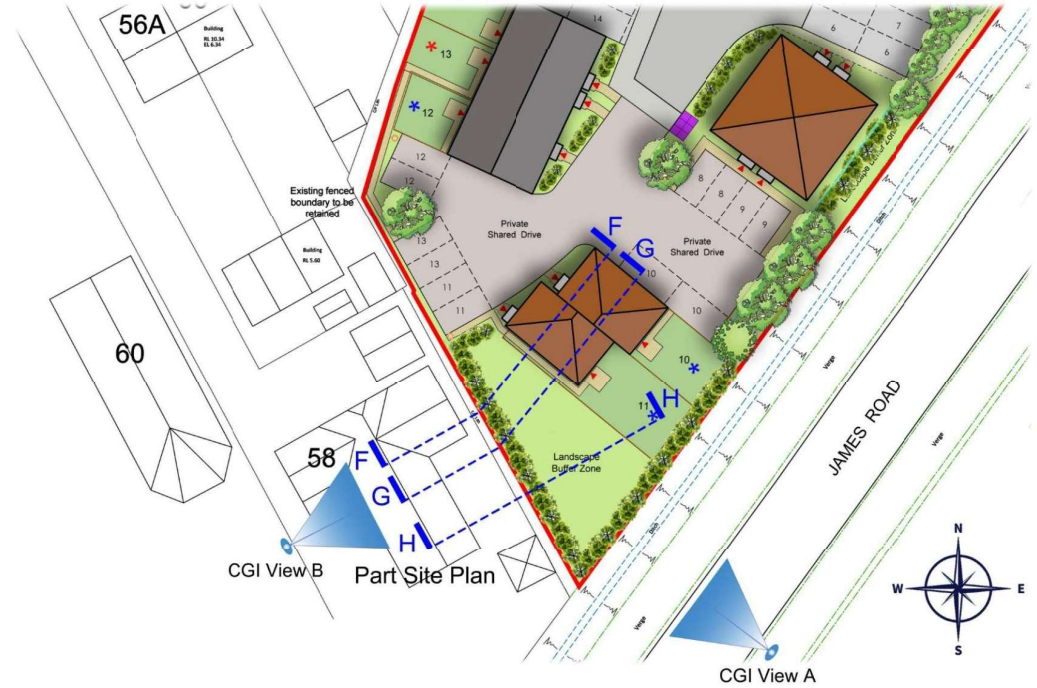
Section FF
Scale 1:100



Section GG
Scale 1:100



Section HH
Scale 1:100



CGI View B - From Neighbouring Bungalow No. 58 Peterborough Road.



CGI View A - From James Road



PROJECT:	Proposed Residential Development at Land South West of Harrington Drive, Crowland	DRAWING:	Site Sections
		DRAWING No:	132-JR-002



CGI View A - From James Road



CGI View B - From Neighbouring Bungalow No.58



CGI View C



KEY

- Site Boundary
- Land to be maintained by Management Company.
- Highway filter strip requiring cutting by management company
- 4m Drainage Easement
- Shared Footpath.
- Refuse/recycling collection area maintained by Management Company.
- ✦ Rented Plots.
- ✦ Shared Ownership Plots.
- ✦ First Home.

GENERAL: REFER TO ENGINEERS DRAINAGE LAYOUT FOR PRIVATE DRAINAGE AT BOUNDARIES TO BE MAINTAINED BY THE MANAGEMENT COMPANY.

Rev.	Date	Description



PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
Management Company Conveyance Plan

SCALE: 1:500@A1 DRAWN: MII
DATE: APR.2023 REVISION: 7

DRAWING No: 132-MCCP-01































