





KEY

— Site Boundary

Rev.	Date	Description



PROJECT:	Proposed Residential Development at Harrington Drive, Crowland	
DRAWING:	Site Location Plan - Phase 2	
SCALE:	1:500@A2	DRAWN: GB
DATE:	JAN.2022	REVISION: /
DRAWING No:	132-LP-10	



Plot Schedule	
Plot No	House Type
1	SEVERN
2	SEVERN
3	SEVERN
4	SEVERN
5	STAMFORD

House Type Schedule - Open Market					
House Type	Sqft	Storeys	Beds	No of	
Severn	1345	2	4b 6p	4	
Stamford	1560	2	4b 7p	1	
				Total	5

KEY

- Site Boundary
- Extent of further land in applicant ownership
- Tactile Crossing - Exact Location TBC
- Landscaping - Shown Indicatively.

Cycle Storage

- Houses with garages - Cycles to be stored in garage.
- Houses with out garages - To be provided with secure screwed wall mounted padlock hasp within private garden area.



INDICATIVE PLOT POSITIONS
FROM SEPERATE
PLANNING APPLICATION
REFERENCE: H02-1006-21

Rev.	Date	Description
C	25.07.2022	Plot 6 removed landscape buffer added to rear of plot 5
B	07.06.2022	Landscape offset from Peterborough Road
A	11.05.2022	Grid lines added to garage and plot - cycle storage area added. Traffic crossing added to Peterborough Road. Plot 6 changed to Burgonville LA comments.

ASHWOOD HOMES
1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 600990

PROJECT: Proposed Residential Development at Land South of Harrington Drive, Crowland

DRAWING: Site Plan - Phase 3

SCALE: 1:500@A3 DRAWN: GB
DATE: FEB. 2022 REVISION: C

DRAWING NO: 132-SL-10



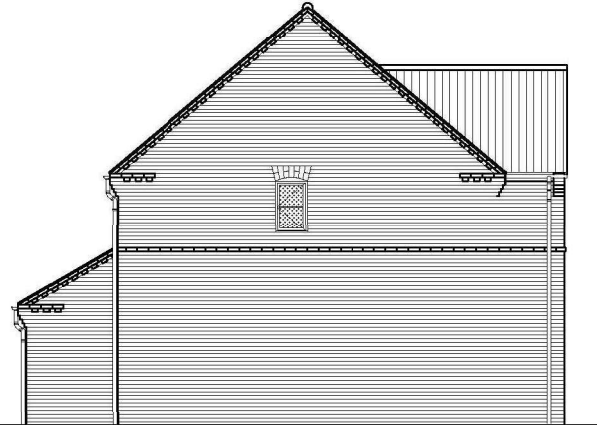
FRONT ELEVATION



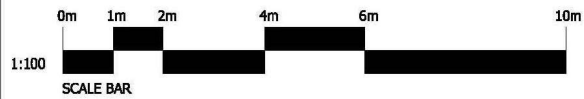
SIDE ELEVATION




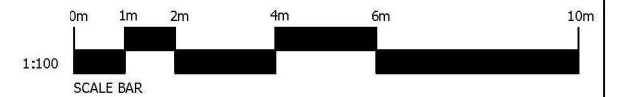
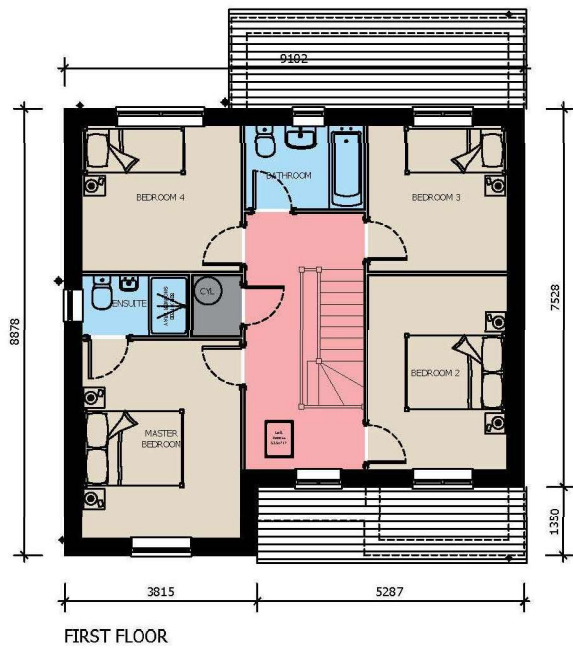
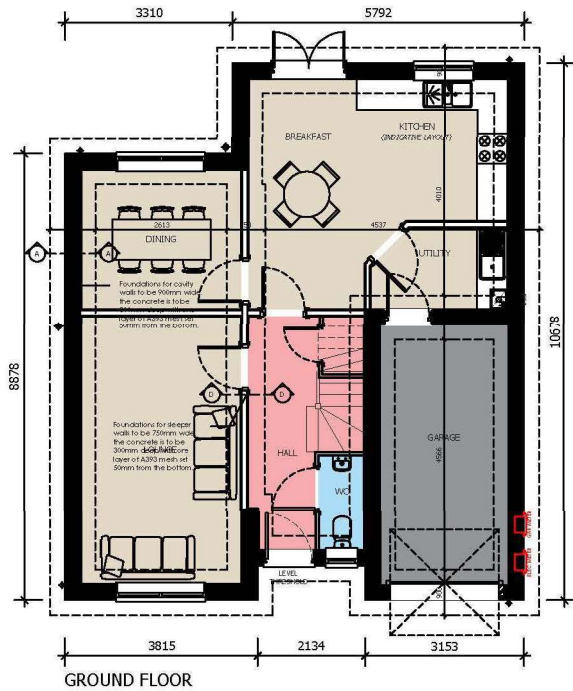
REAR ELEVATION



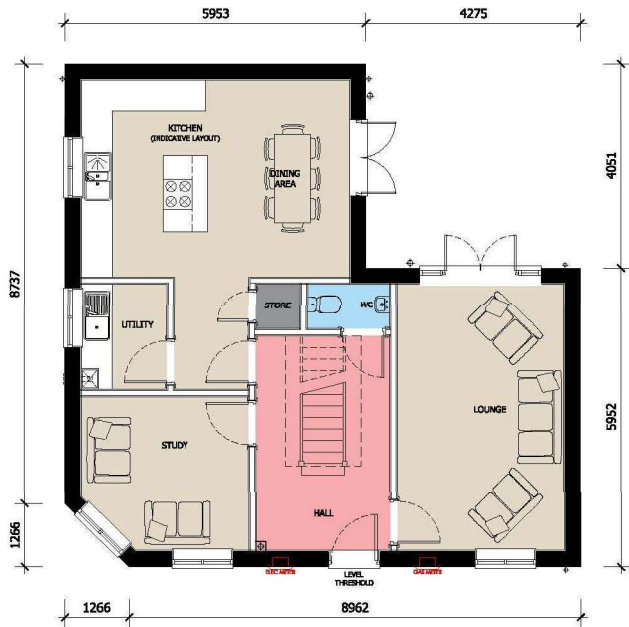
SIDE ELEVATION



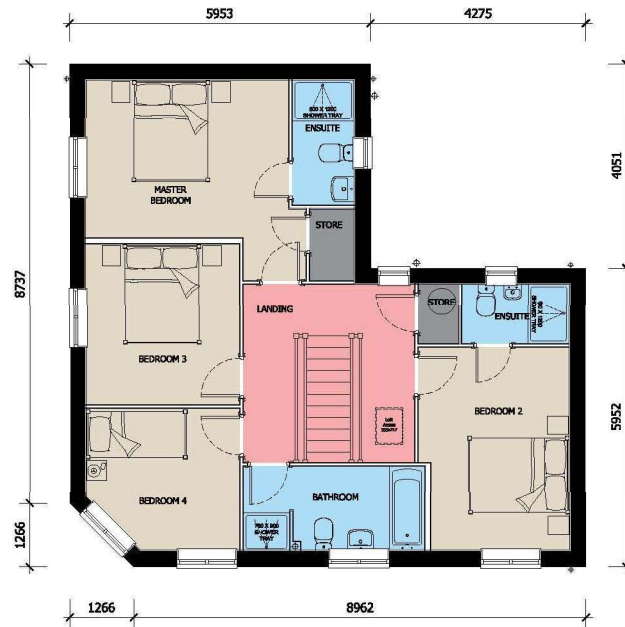
 1 Goodison Road, Linco Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 460590	HOUSE TYPE:	SEVERN (1345 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	SEVERN-002



<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY. T: 01406 490690</p>	HOUSE TYPE:	SEVERN (1345 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	SEVERN-001



GROUND FLOOR



FIRST FLOOR



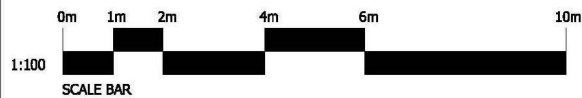
FRONT ELEVATION



SIDE ELEVATION

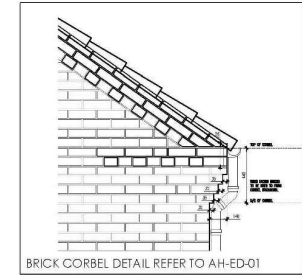
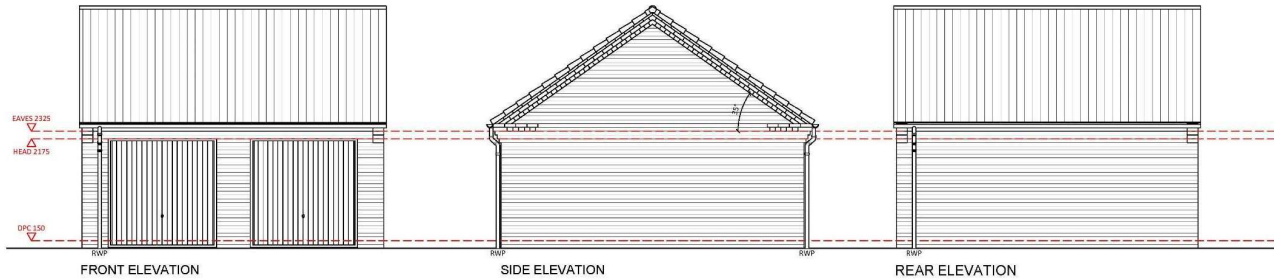


REAR ELEVATION

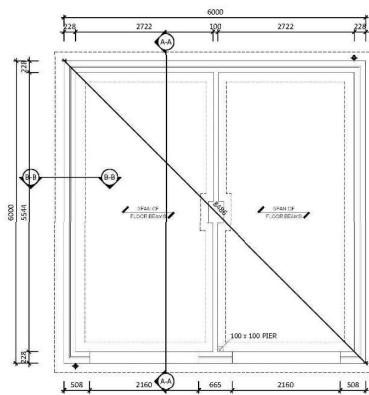


HOUSE TYPE:	STAMFORD (1560 FT ²)
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	STAMFORD-001

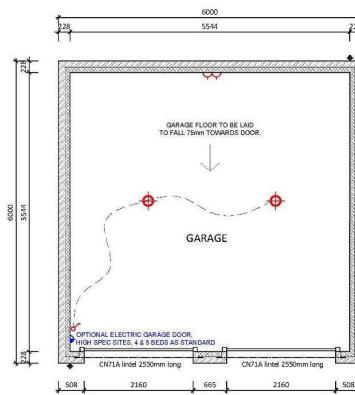
1 Goodison Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 8FY T: 01406 460990



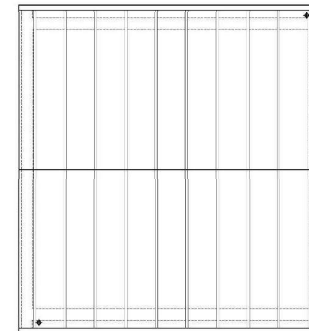
WALL LEGEND



SUBSTRUCTURE PLAN
RWP positions dependent on roof span. See Elevations



GARAGE PLAN
RWP positions dependent on roof span. See Elevations



ROOF PLAN PITCH 35°
Design of roof trusses to be subject to confirmation by truss specialist.

REV	DATE	DESCRIPTION

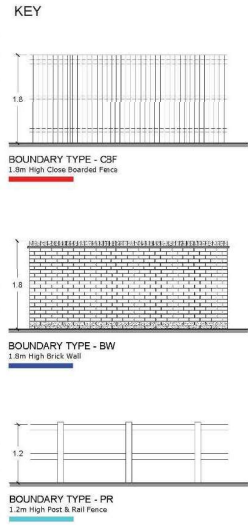
ASHWOOD HOMES
1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT AT LAND SOUTH WEST OF HARRINGTON DRIVE CROWLAND

DRAWING TITLE:
DOUBLE GARAGE

SCALE: 1:50 @ A1	DATE: 21.06.2021
DRAWN: GB	REV:
DRAWING No: 132 - DG - 001	

ASSOCIATED PLOTS :



INDICATIVE PLOT POSITIONS
FROM SEPERATE
PLANNING APPLICATION
REFERENCE: H02-1006-21

B	25.07.2022	Plot 6 removed
A	11.05.2022	Plot 6 changed to Bungalow to LK comments.
REV	DATE	DESCRIPTION

ASHWOOD HOMES
 1 Goodison Road, Lincs Gateway Business Park,
 Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT:
 PROPOSED RESIDENTIAL DEVELOPMENT AT
 LAND SOUTH WEST OF HARRINGTON DRIVE
 CROWLAND

DRAWING TITLE:
 BOUNDARY TREATMENT - PHASE 2

SCALE: 1:200 @ A1	DATE: 7.06.2022
DRAWN: CB	REV: B
DRAWING NO: 132 - BT - 10	



ROOF TILE:
WIENERBERGER NEW CASSIUS
ANTIQUÉ SLATE



BRICK TYPE A:
IVANHOE WESTMINSTER



BRICK TYPE B:
OAKMOOR CREAM

LEGEND	
	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 68MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: IVANHOE WESTMINSTER
	BRICK TYPE B: OAKMOOR CREAM
	ROOF TILE: WIENERBERGER NEW CASSIUS ANTIQUÉ SLATE

INDICATIVE PLOT POSITIONS
FROM SEPERATE
PLANNING APPLICATION
REFERENCE: H02-1006-21

B	25.07.2022	Plot 6 removed
A	11.01.2022	Plot 6 changed to Sangeon to LK comments.
REV	DATE	DESCRIPTION

ASHWOOD HOMES
 1 Goodison Road, Lincs Gateway Business Park,
 Spalding, Lincs, PE12 6PY T: 01406 490990

PROJECT:
 PROPOSED RESIDENTIAL DEVELOPMENT AT
 LAND SOUTH WEST OF HARRINGTON DRIVE
 CROWLAND

DRAWING TITLE:
 MATERIAL SCHEDULE - PHASE 2

SCALE: 1:200 @ A1 DATE: 7.06.2022

DRAWN: GB REV: B

DRAWING NO:
 132 - MSL - 10



Notes :Legends

SYMBOLS AND NOTES	
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Topographical Surveys
The description and heights of trees should be used as a guide only.

All below ground survey details have been identified from above ground therefore all details relating to these will be approximate only.

Some features or location may not have been surveyed due to obstructions or not reasonably visible at the time of the survey

General
This drawing shows the existing topography of land to the north of James Road and the existing surrounding highways on the 17th April 2021.

SURVEY GRID AND LEVEL DATUM
Ordnance Survey (OS) national grid coordinates have been used to carry out survey.
All levels relate to the Ordnance Survey (OS) level datum using CHSS/OSGM15 (GB).

Revision	Details	Date
A	Topographical Survey	14/04/21

Disclaimer:

This plan should only be used for its original purpose. MFM accepts no responsibility for this plan if supplied to any party other than the original client.

All dimensions and/or level information shown should be checked on site prior to design and construction.

This drawing is not to be used in whole or part other than for the intended purpose and project as defined on this drawing. Refer to the contract for full terms and conditions.

All dimensions in metres

MFM Land Surveys & Engineering Services Ltd

321 Smeeth Road, Marshland St James, PE14 8EP
Tel: 01945 432203 - www.mfmlandsurveys.co.uk

Client:

Seagate Homes
Holbeach Manor
Fleet Road
Holbeach

Project Title:

Harrington Drive Crowland

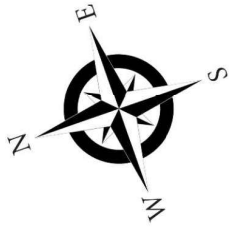
Drawing Title:

Topographical Survey to the north of James Road
3d
Sheet 1 of 2

Scale:	Sheet Size:	Drawn:	Date:
1:500	A1	M.M	18.04.2021
Drawing Number:	Revision:		
16170381-SEA-HARR-3D-TOPO	A		



CGI View D



1a Peterborough Road

Plot 5

Plot 4

Plot 3

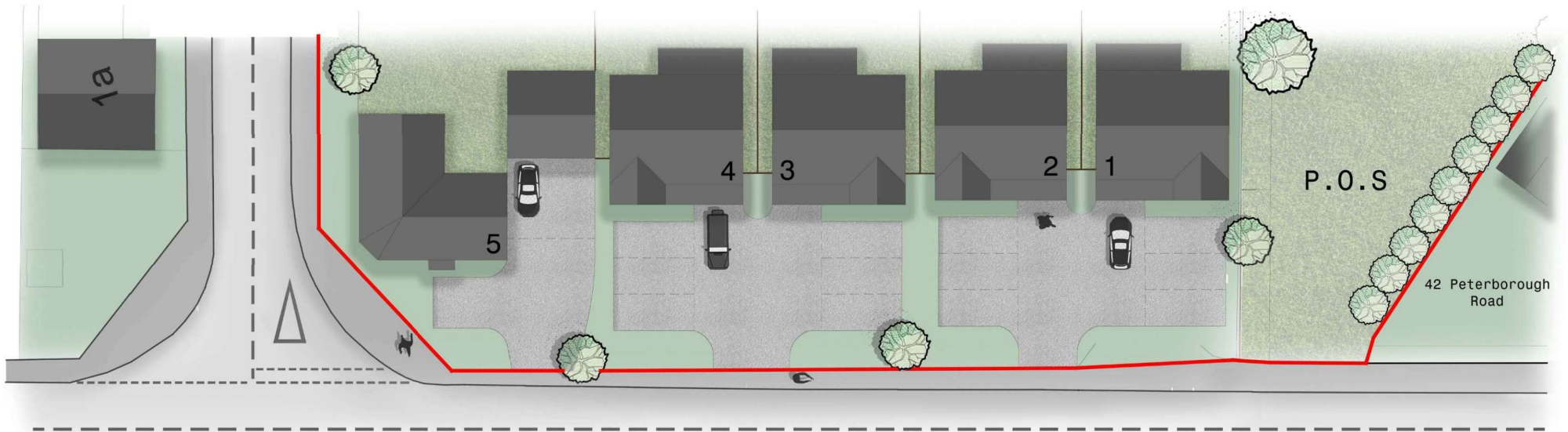
Plot 2

Plot 1

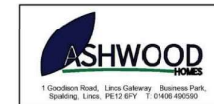
42 Peterborough Road



Street Scene - Scale 1:500



Partial Site Plan - Scale 1:500



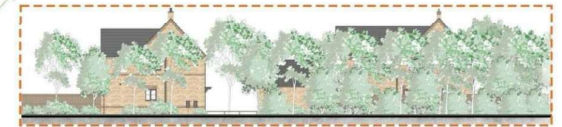
Proposed Residential Development at land North West of Harrington Drive, Crowland
Street Scene - Peterborough Road
132- StS- 02



Refer to 132 - StS - 02
Peterborough Road



Harrington Drive
Refer to 132 - StS - 04



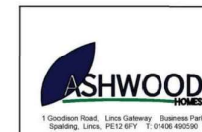
Refer to 132 - StS - 03
Harrington Drive



Refer to 132 - StS - 01
James Road

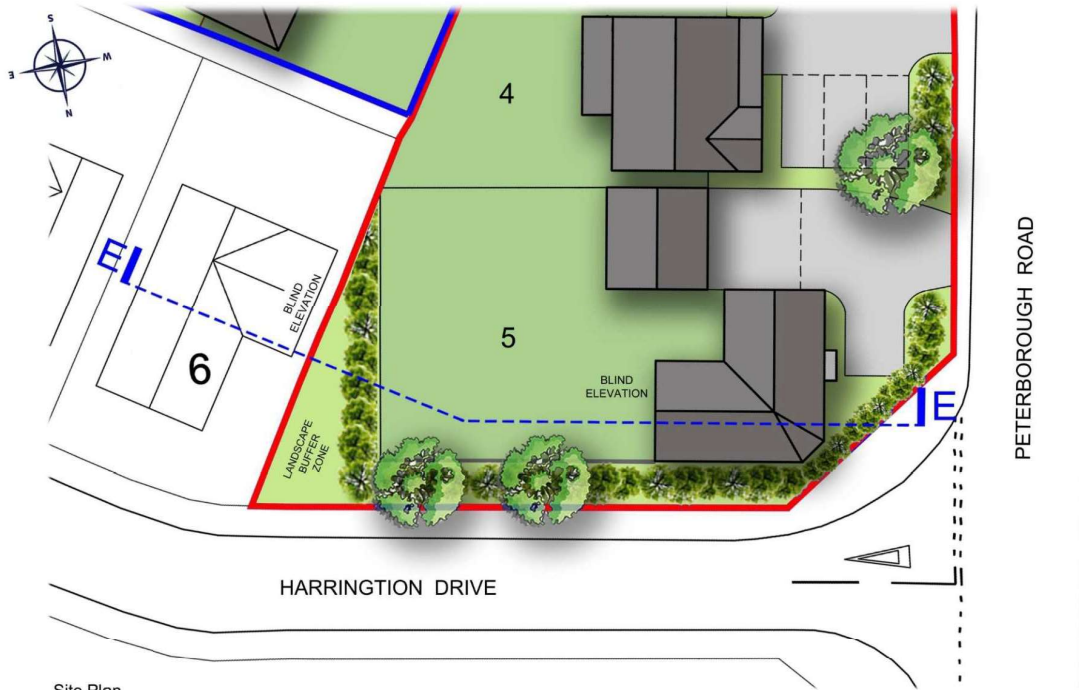
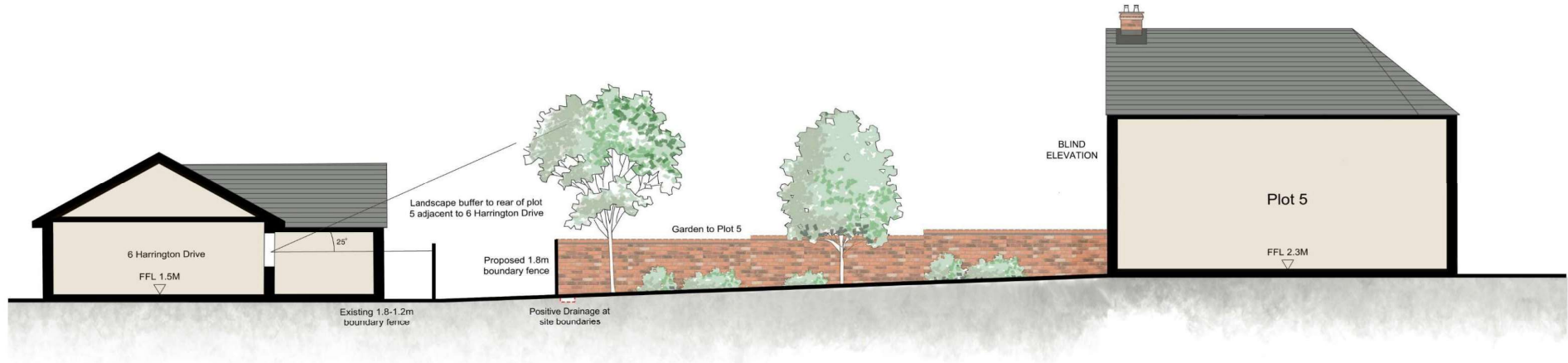
Refer to individual site
section drawings

Key	
A - - - - - A	Section Lines



1 Goodson Road, Lincs Gateway, Business Park,
Spalding, Lincs, PE12 6PY T: 01406 495590

Proposed Residential Development at Land South West of Harrington Drive
Street Scenes - Key Plan
132 - StS - 100



Site Plan
Scale 1:500



CGI View D - Harrington Drive



PROJECT: Proposed Residential Development at Land North West of Harrington Drive, Crowland	DRAWING: Site Section and CGI
	DRAWING No: 132-SS-PR-001



PROJECT:
Proposed Residential
Development at Land South West
of Harrington Drive, Crowland

DRAWING:
CGI Key Plan
DRAWING No:
132-ST5-101



CGI View D



CGI View C



CGI View B - From Neighbouring Bungalow No.58



CGI View E



CGI View A



KEY

- Site Boundary
- Extent of further land in applicant ownership
- PV Panels to Roof to meet required EPC Rating
- Private Street Lights (outside of Adoptable Highway)
- LED dusk to dawn Bollard Lights

Rev.	Date	Description



PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
PV Layout

SCALE: 1:500@A1 DRAWN: MII
DATE: MAY 2023 REVISION: -

DRAWING No: 132-PV-01



KEY

- Site Boundary
- Extent of further land in applicant ownership
- 7 kW Electric Vehicle Charge Point fitted on Front Elevation.
- 7 kW Electric Vehicle Charge Point fitted in Garages.
- 7 kW Electric Vehicle Charge Point fitted on side elevation.
- Private Street Lights (outside of Adoptable Highway)
- LED dusk to dawn Bollard Lights

Rev.	Date	Description



PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
EV Layout

SCALE: 1:500@A1 DRAWN: MII
DATE: MAY 2023 REVISION: -

DRAWING No: 132-EV-01







































































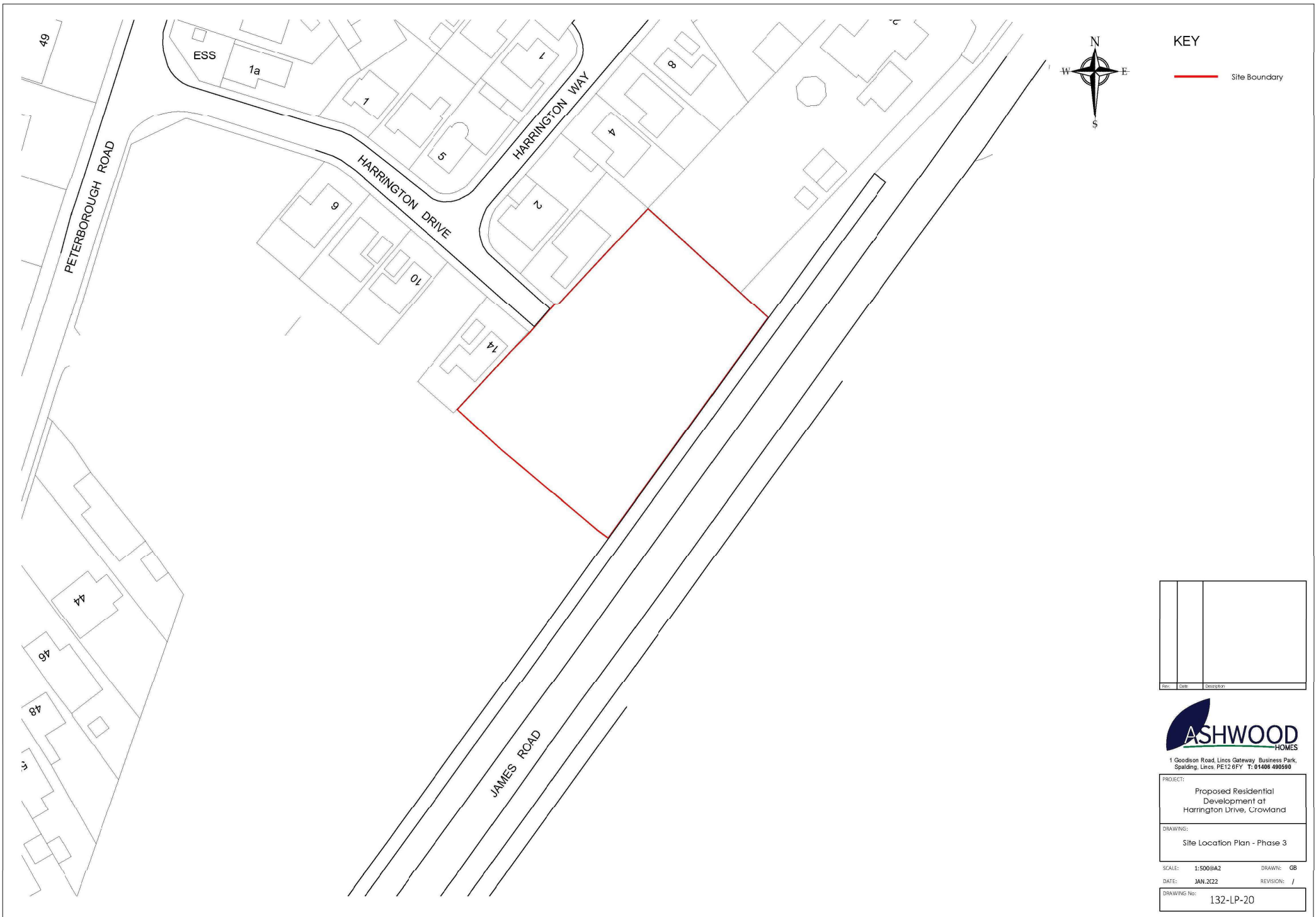




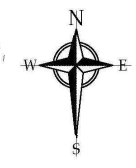
CROWLAND



MAP SCALE 1:1250
CREATED DATE: 20/02/2023
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE



KEY
— Site Boundary



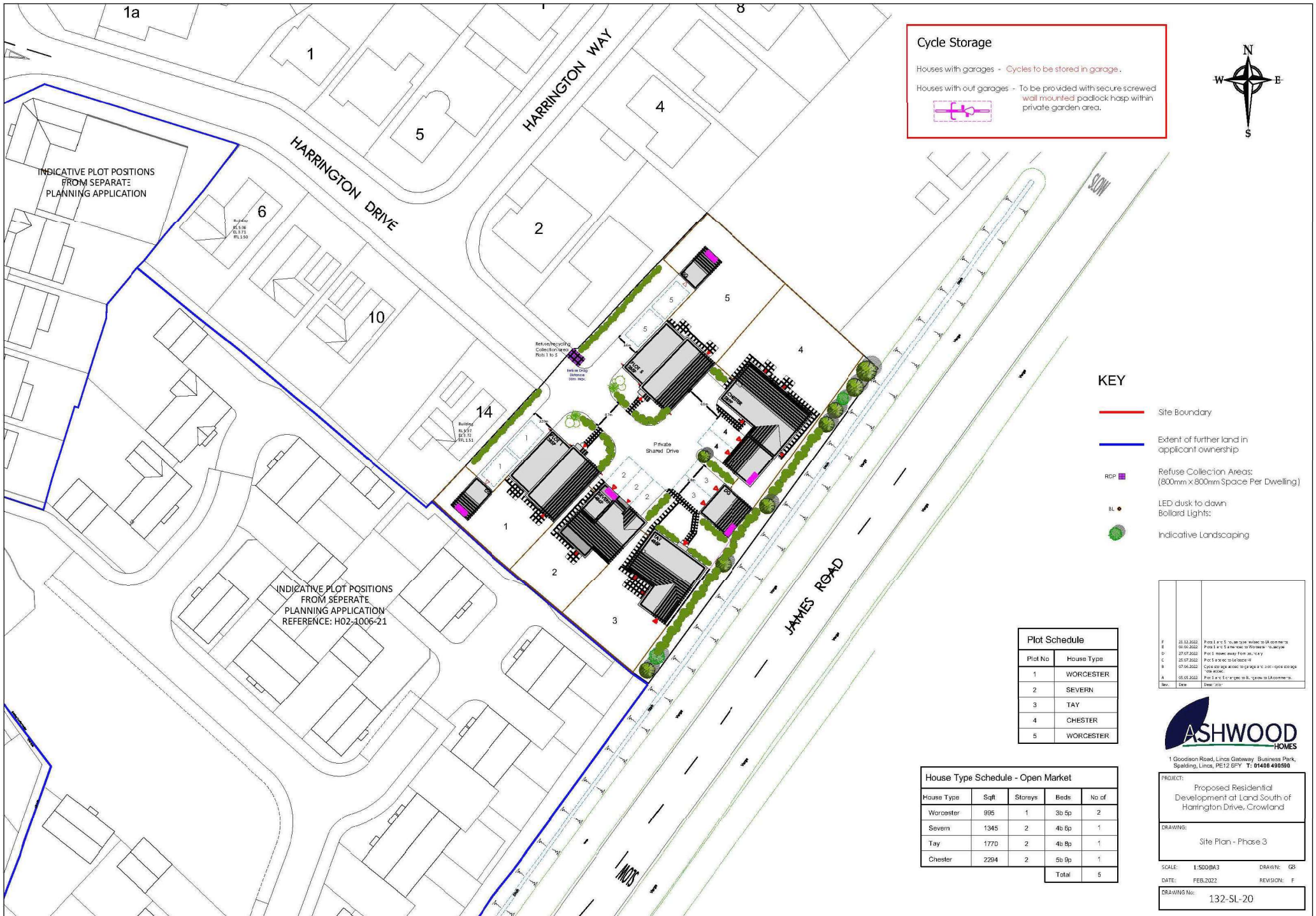
Rev.	Date	Description

ASHWOOD
 HOMES
 1 Goodson Road, Lincs Gateway Business Park,
 Spalding, Lincs. PE12 6FY T: 01406 480590

PROJECT:
 Proposed Residential
 Development at
 Harrington Drive, Crowland

DRAWING:
 Site Location Plan - Phase 3


SCALE: 1:500/9A2 DRAWN: GB
 DATE: JAN.2022 REVISION: /
 DRAWING No: 132-LP-20



Cycle Storage

Houses with garages - Cycles to be stored in garage.

Houses with out garages - To be provided with secure screwed wall mounted padlock hasp within private garden area.




INDICATIVE PLOT POSITIONS FROM SEPARATE PLANNING APPLICATION

INDICATIVE PLOT POSITIONS FROM SEPARATE PLANNING APPLICATION REFERENCE: H02-1006-21

KEY

-  Site Boundary
-  Extent of further land in applicant ownership
-  Refuse Collection Areas: (800mm x 800mm Space Per Dwelling)
-  LED dusk to dawn Bollard Lights:
-  Indicative Landscaping

Plot Schedule	
Plot No	House Type
1	WORCESTER
2	SEVERN
3	TAY
4	CHESTER
5	WORCESTER

House Type Schedule - Open Market				
House Type	Sqft	Stores	Beds	No of
Worcester	995	1	3b Sp	2
Severn	1345	2	4b Sp	1
Tay	1770	2	4b Sp	1
Chester	2294	2	5b Sp	1
Total				5

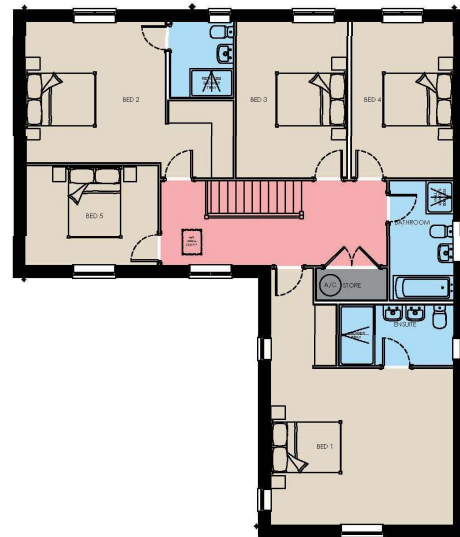
F	11.12.2022	Plot 1 and 5 - to be type related to 1A and 1B
D	09.09.2022	Plot 1 and 5 - to be related to Worcester - to be type
H	07.07.2022	Plot 1 - made ready for use - to be type
C	25.07.2022	Plot 5 - made ready for use - to be type
B	07.06.2022	Cycle and bike access to garage to be open space type access
A	05.05.2022	Plot 1 and 5 - to be type related to 1A and 1B
Rev	Draw	Draw: 100%



PROJECT: Proposed Residential Development at Land South of Harrington Drive, Crowland

DRAWING: Site Plan - Phase 3

SCALE: 1:500@A3 DRAWN: GB
 DATE: FEB,2022 REVISION: F
 DRAWING No: 132-SL-20

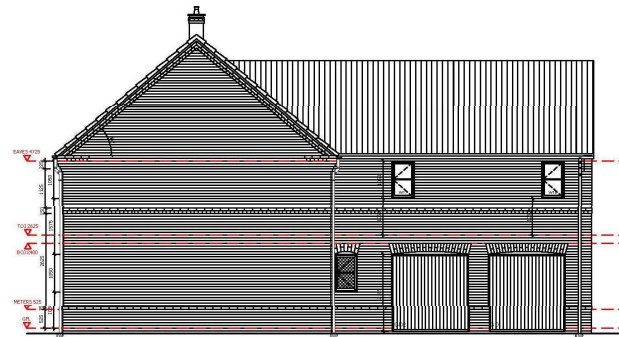


GROUND FLOOR

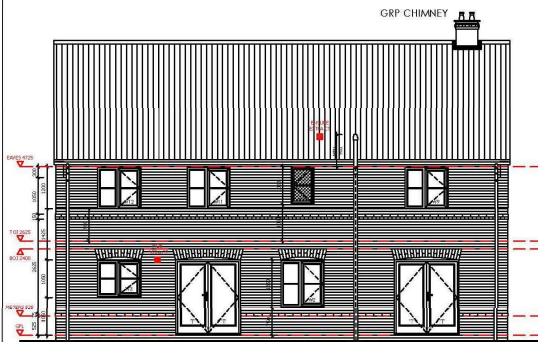
FIRST FLOOR



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



<p>ASHWOOD HOMES</p> <p>1 Gosport Road, LIPPO (formerly Business Park), Bosking, Lincs, PE12 6PY. T: 01534 418590</p>	HOUSE TYPE: CHESTER (2294 FT ²)
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: CHESTER-001



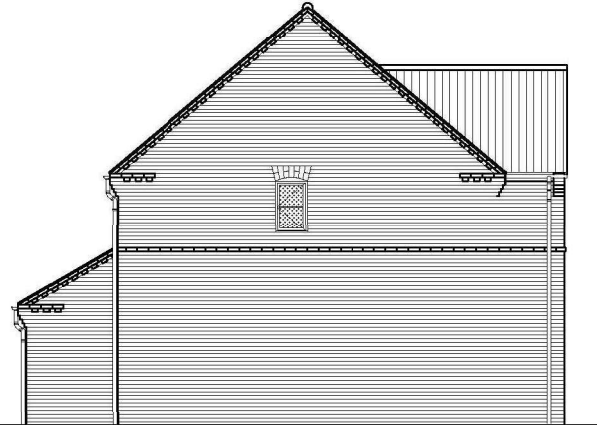
FRONT ELEVATION



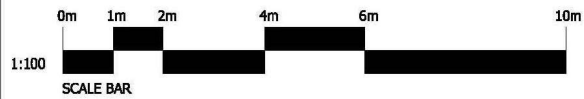
SIDE ELEVATION




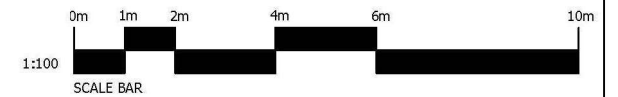
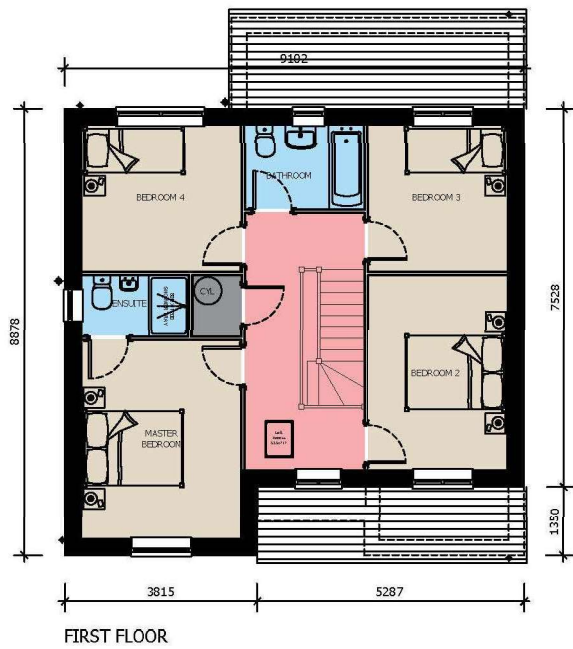
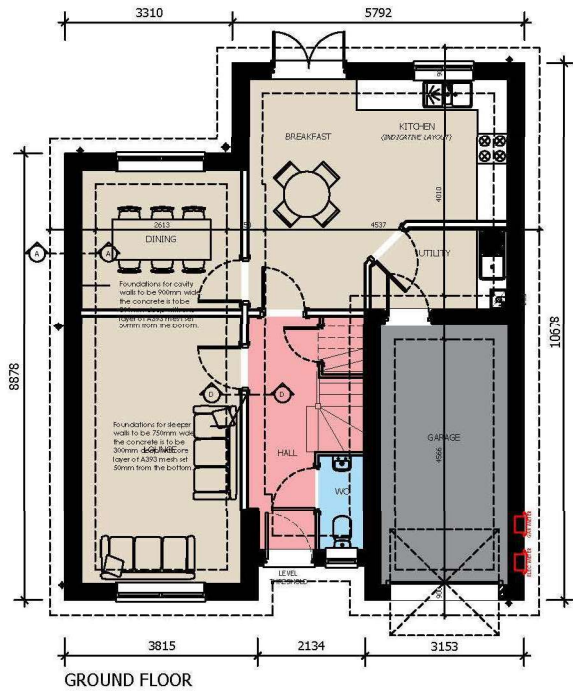
REAR ELEVATION



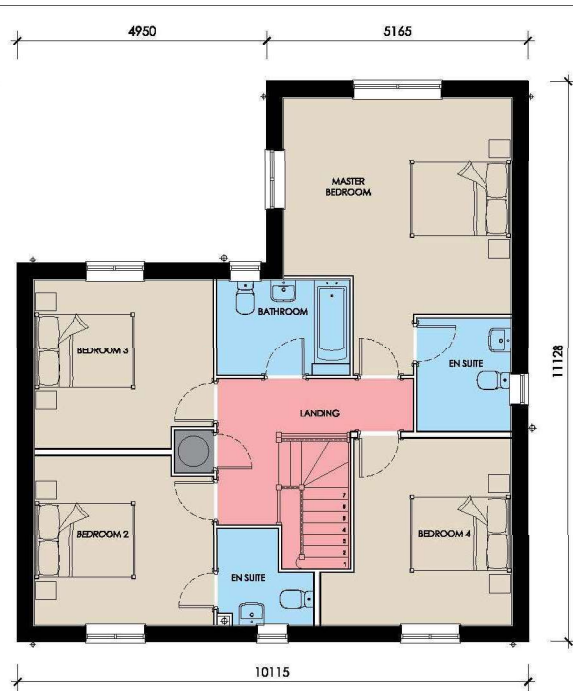
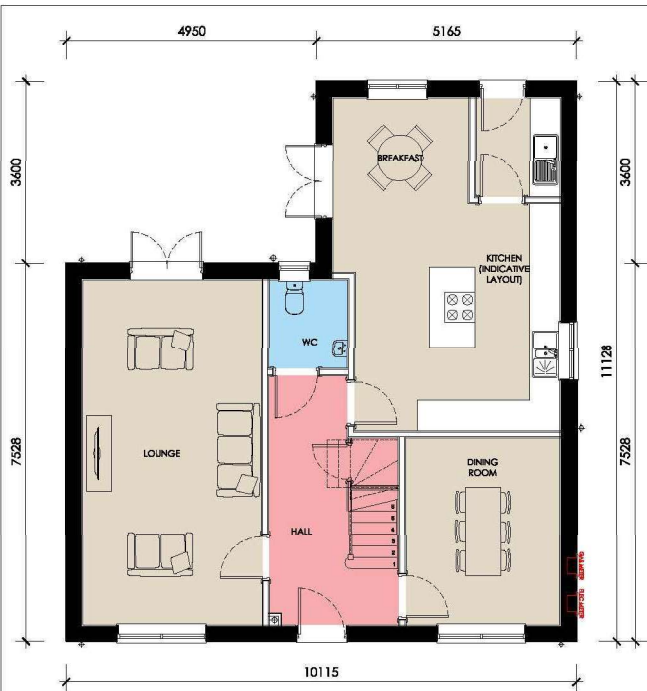
SIDE ELEVATION



 1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 460590	HOUSE TYPE:	SEVERN (1345 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	SEVERN-002



<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY. T: 01406 490690</p>	HOUSE TYPE: SEVERN (1345 FT ²)
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: SEVERN-001



GROUND FLOOR

FIRST FLOOR



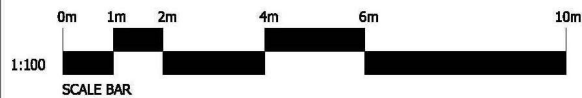
FRONT ELEVATION




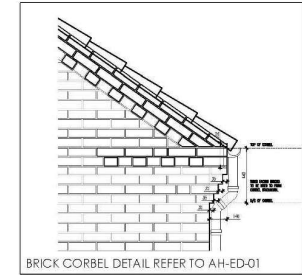
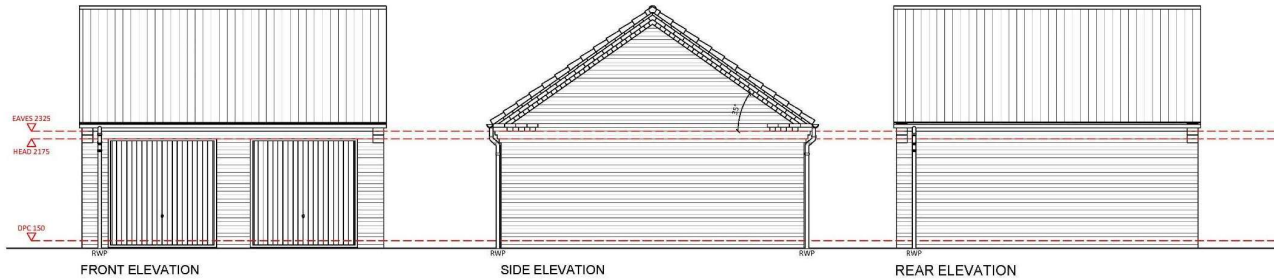
SIDE ELEVATION



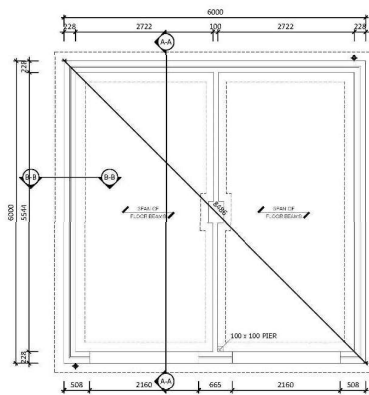
REAR ELEVATION



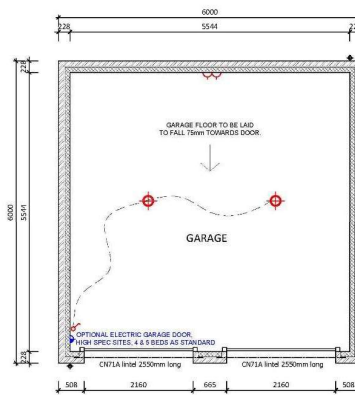
 <p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 460990</p>	HOUSE TYPE:	TAY (1770 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	TAY-001



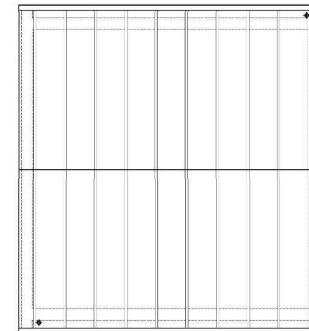
WALL LEGEND



SUBSTRUCTURE PLAN
RWP positions dependent on roof span. See Elevations



GARAGE PLAN
RWP positions dependent on roof span. See Elevations



ROOF PLAN PITCH 35°
Design of roof trusses to be subject to confirmation by truss specialist.

REV	DATE	DESCRIPTION

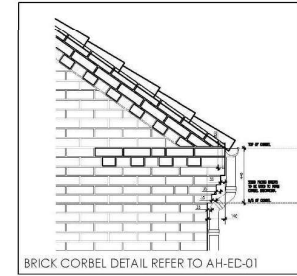
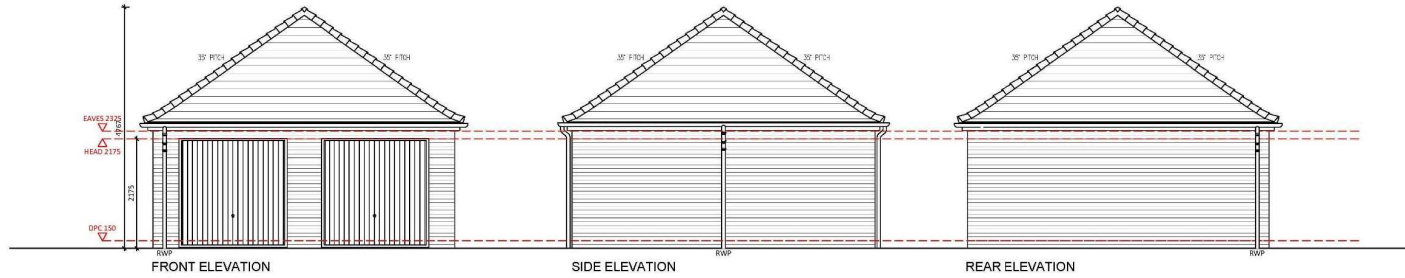
1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT AT LAND SOUTH WEST OF HARRINGTON DRIVE CROWLAND

DRAWING TITLE:
DOUBLE GARAGE

SCALE: 1:50 @ A1	DATE: 21.06.2021
DRAWN: GB	REV:
DRAWING No: 132 - DG - 001	

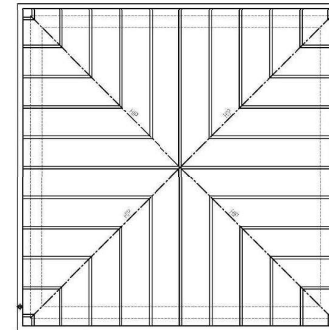
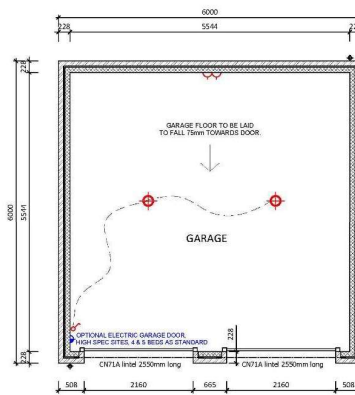
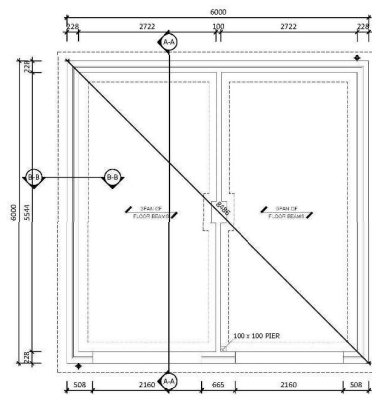
ASSOCIATED PLOTS :



WALL LEGEND

EXTERNAL CAVITY

- 102.5mm FACING BRICKWORK
- 25mm CAVITY
- 100mm THICK SUPERBLOCK



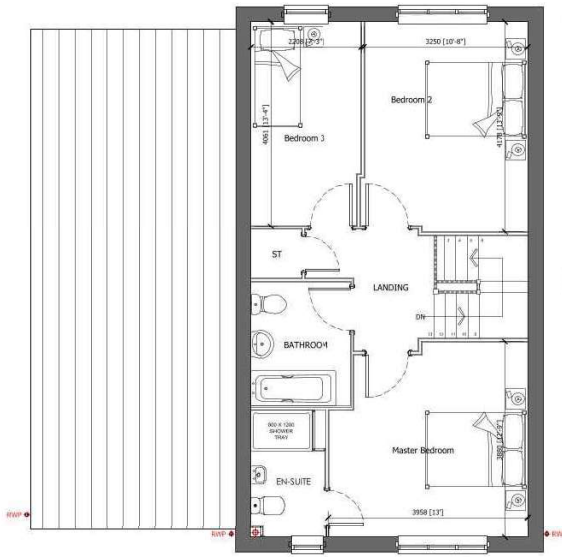
REV	DATE	DESCRIPTION

ASHWOOD HOMES
 1 Goodison Road, Lincs Gateway Business Park,
 Spalding, Lincs, PE12 6FY T: 01406 490990

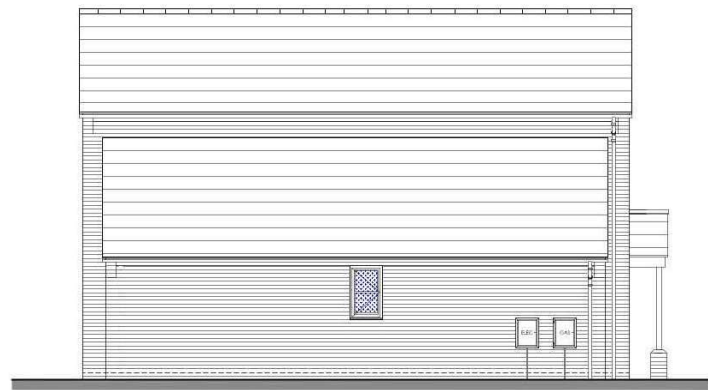
PROJECT:
 PROPOSED RESIDENTIAL DEVELOPMENT AT
 LAND SOUTH WEST OF HARRINGTON DRIVE
 CROWLAND

DRAWING TITLE:
 DOUBLE HIP GARAGE

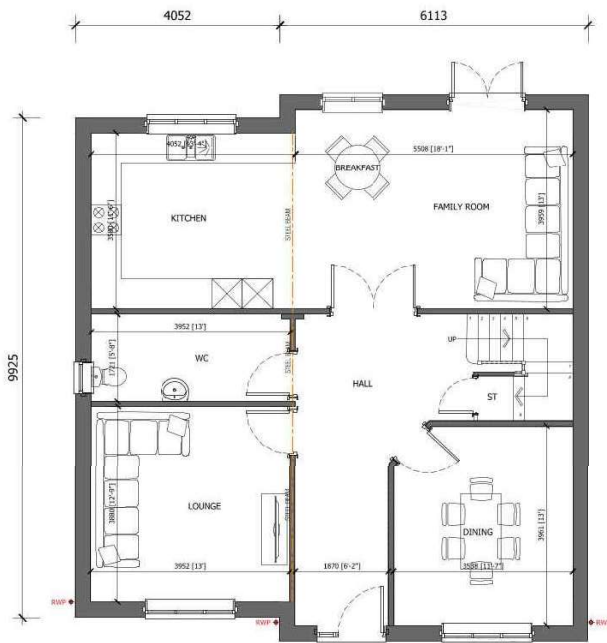
SCALE: 1:50 @ A1	DATE: 21.06.2021
DRAWN: GB	REV:
DRAWING No: 132 - DHG - 001	



REAR ELEVATION



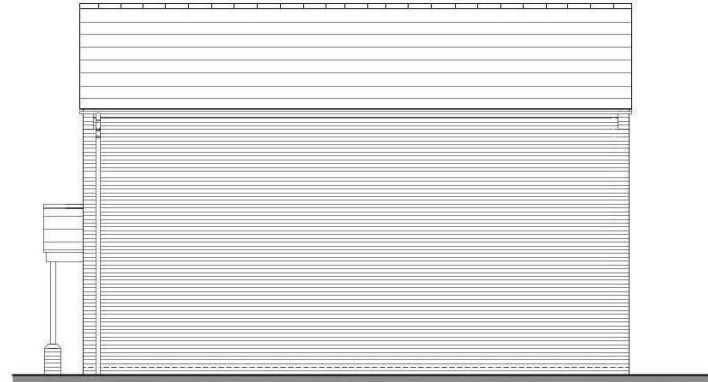
SIDE ELEVATION



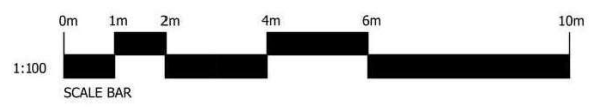
GROUND FLOOR PLAN




FRONT ELEVATION



SIDE ELEVATION



 <p>1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490590</p>	HOUSE TYPE:	PLOT 1 & 5 (1515 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	P5 -001

BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS

- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
 - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PADSTONE AND MOVEMENT JOINTS REFER TO ENGINEERS DETAILS AND SPECIFICATIONS.
 - ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCING.
 - ANY LINTELS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LINTELS TO BE INSULATED AS MANUFACTURERS DETAILS.
 - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART Z006. DEDICATED CFL FITTINGS TO ACCEPT LG-FIT FITTINGS OF GREATER THAN 40 LUMENS PER CIRCUIT WATT.
 - ABBREVIATIONS:-
RWP = RAINWATER PIPE
MJ = MOVEMENT JOINT

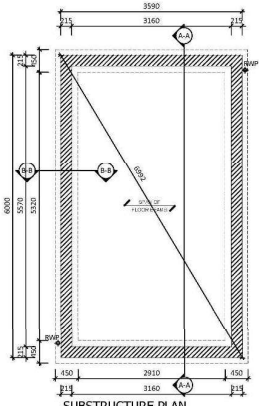
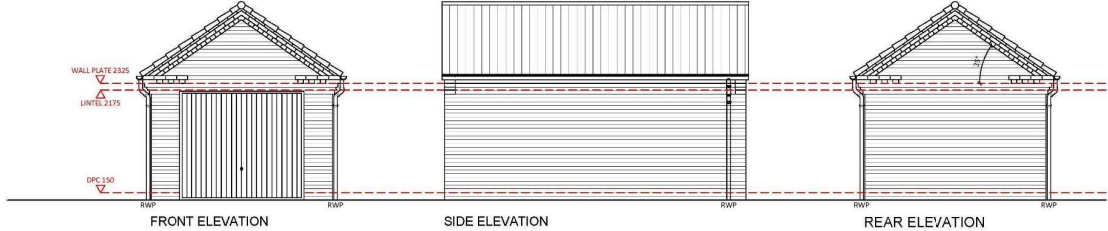
WALL LEGEND

	215 CONCRETE TRENCH BLOCKS - THERMALITE 3.6 N/mm2
FOUNDATION WALL	
	102.5mm - FACING BRICK (min. 20 N/mm2 strength) Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
EXTERNAL WALL	
	100mm x 3.6N/mm2 HEMELITE DENSE BLOCK for Pier Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
EXTERNAL WALL + PIER	

M & E KEY

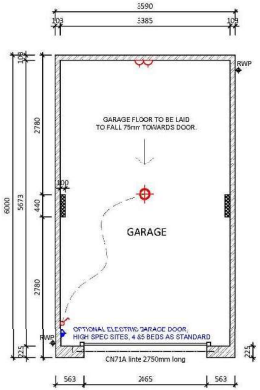
SYMBOL	DESCRIPTION
	LOW LEVEL SINGLE 13AMP SOCKET
	LOW LEVEL TWIN 13AMP SOCKET
	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 BEDS ONLY)
	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 BEDS ONLY)
	BATTEN HOLDER - LOW ENERGY
	LIGHT SWITCH
	7kW ELECTRIC VEHICLE CHARGER (OPTIONAL)

Rev.	Date	Description



SUBSTRUCTURE PLAN
RWP positions dependent on roof span. See Elevations

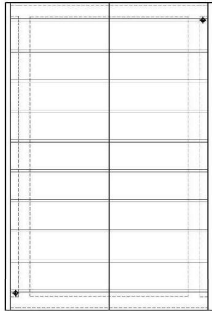
Foundation widths assume a minimum ground bearing pressure of 75 kN/m²



GARAGE PLAN
RWP positions dependent on roof span. See Elevations

Brick pier to side elevations refer to detail. Front piers to be fully finished brickwork for support of garage door and lintel.

Ground floor slab - beam and block flooring. Structural screed over to be 1:3 cement/sand screed reinforced with 1 layer A142 mesh, 50mm cover to bottom of screed. Rein. spaced @ 100mm (resp. to 175mm at rear of garage).

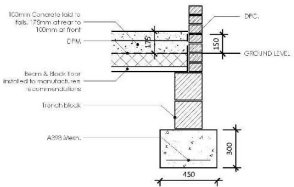


ROOF PLAN PITCH 35°
Design of roof trusses to be subject to confirmation by truss specialist.

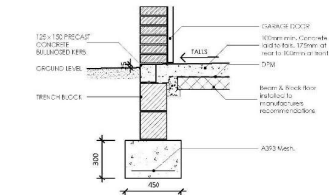
Lateral restraint straps to rafters / trusses to comprise 30mm x 5mm hot dipped galvanised mild steel straps, fixed with 6 x 6 sqg x 75mm long nails.

Lateral restraint straps to be at 1.25m centres maximum and to be secured to the first three rafters or trusses where they run parallel to the walls.

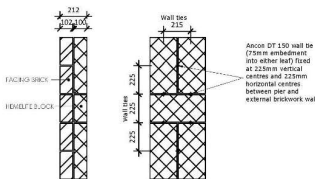
Vertical restraint straps at eaves level to be used to anchor roof trusses to wall at 1.25m centres.



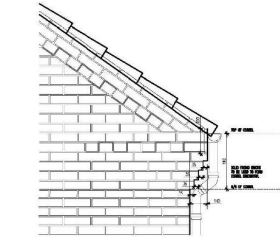
SECTION B - B



GARAGE DOOR THRESHOLD DETAIL



MASONRY PIER DETAIL



BRICK CORBEL DETAIL REFER TO AH-ED-01

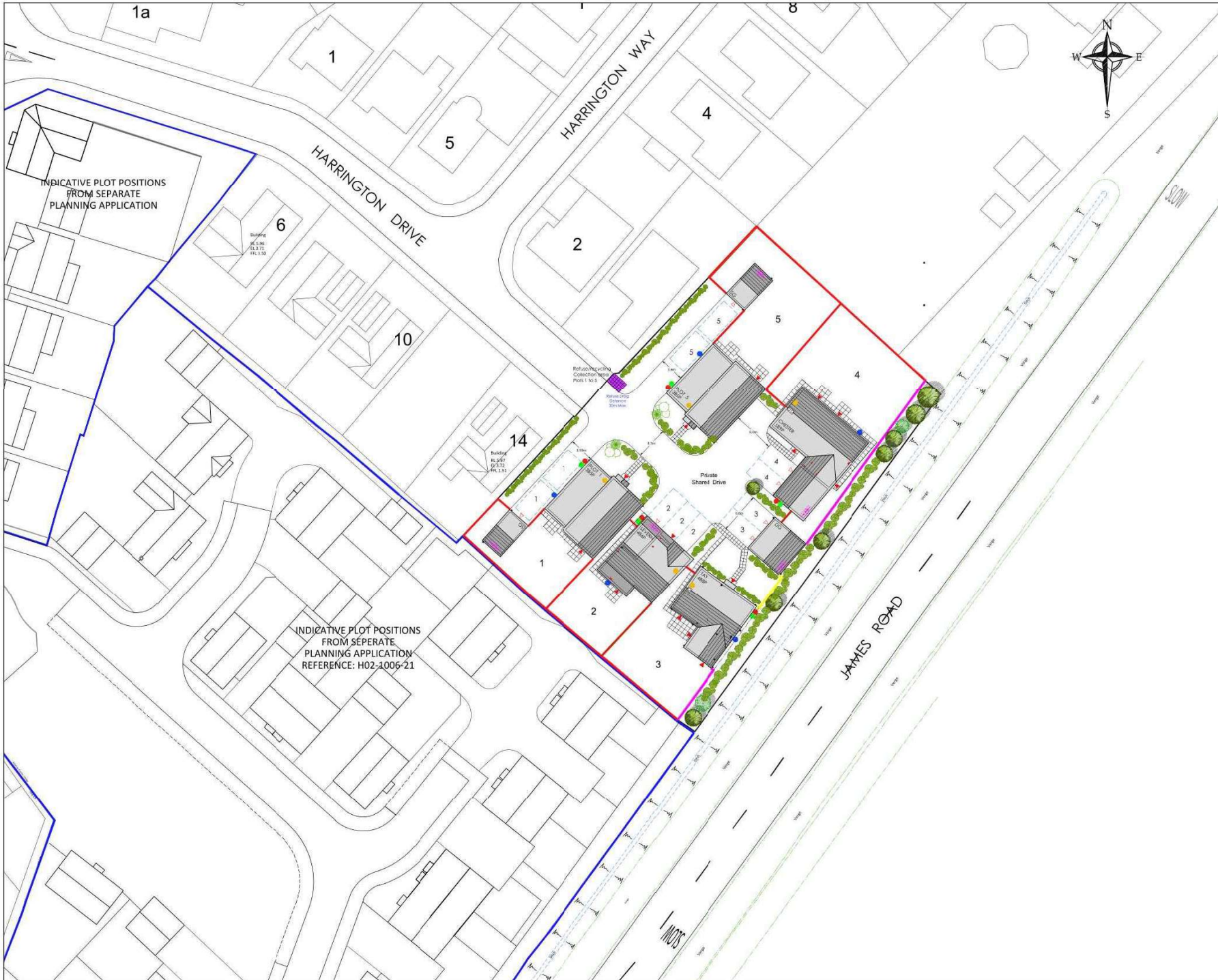


1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6PY T: 01406 490590

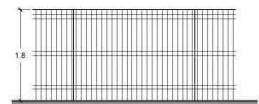
PROJECT:	Proposed Residential Development at
HOUSE TYPE:	Single Garage Front Pitched
DRAWING:	FLOOR PLANS & ELEVATIONS

SCALE:	1:50@A1	DRAWN:	JE
DATE:	SEPT.2022	REVISION:	/
DRAWING No:	XXX - SG - 001		

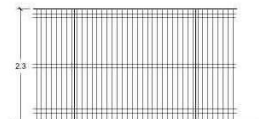
ASSOCIATED PLOTS:



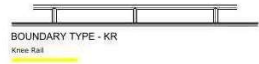
KEY



BOUNDARY TYPE - CBF
1.8m High Close Boarded Fence



BOUNDARY TYPE - CBF
2.3m High Close Boarded Fence - Min Surface Density 100kg/m²



BOUNDARY TYPE - KR
Knee Rail

Rev	Date	Description
E	21.12.2022	Plots 1 and 5 house notes revised to LA comments
D	09.06.2022	Plots 1 and 5 amended
C	27.07.2022	Boundary fence altered to 2.3m plus 0.3 metre
B	10.09.2022	Plot 1 and 5 treatment treatments changed
A	05.05.2022	Plot 1 and 5 changed to 14m plot to LA comments

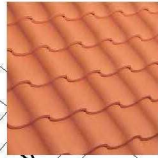
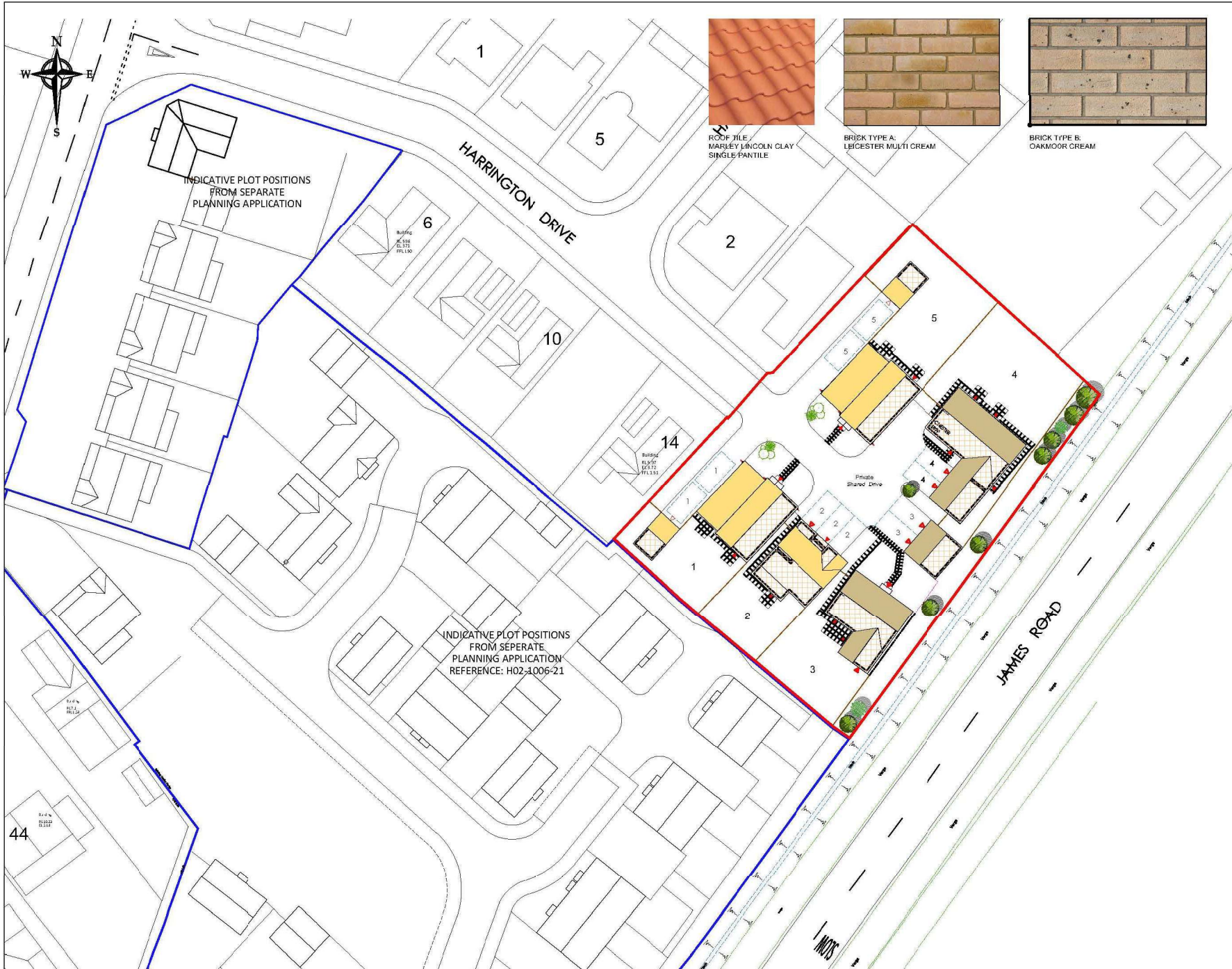


PROJECT:
Proposed Residential Development at Land South of Harrington Drive, Crowland

DRAWING:
Boundary Treatment Plan - Phase 3

SCALE: 1:500@A3 DRAWN: GB
DATE: FEB.2022 REVISION: E

DRAWING No: 132-BT-20



ROOF TILE:
MARLEY LINCOLN CLAY
SINGLE PANTILE



BRICK TYPE A:
LEICESTER MULTI CREAM



BRICK TYPE B:
OAKMOOR CREAM

LEGEND	
	PRIVATE PATHS: BUFF RIVER PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 88MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: LEICESTER MULTI CREAM
	BRICK TYPE B: OAKMOOR CREAM
	ROOF TILE: MARLEY LINCOLN CLAY SINGLE PANTILE

D	21.12.2022	Proposed Residential Development at Land South of Harrington Drive, Crowland
C	20.08.2022	Proposed Residential Development at Land South of Harrington Drive, Crowland
B	23.07.2022	Proposed Residential Development at Land South of Harrington Drive, Crowland
A	20.05.2022	Proposed Residential Development at Land South of Harrington Drive, Crowland
Rev	Drawn	Drawn

ASHWOOD HOMES
 1 Goodson Road, Lincs Gateway Business Park,
 Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT:
Proposed Residential
 Development at Land South of
 Harrington Drive, Crowland

DRAWING:
Material Schedule - Phase 3

SCALE: 1:500@A3 DRAWN: GB
 DATE: FEB.2022 REVISION: D

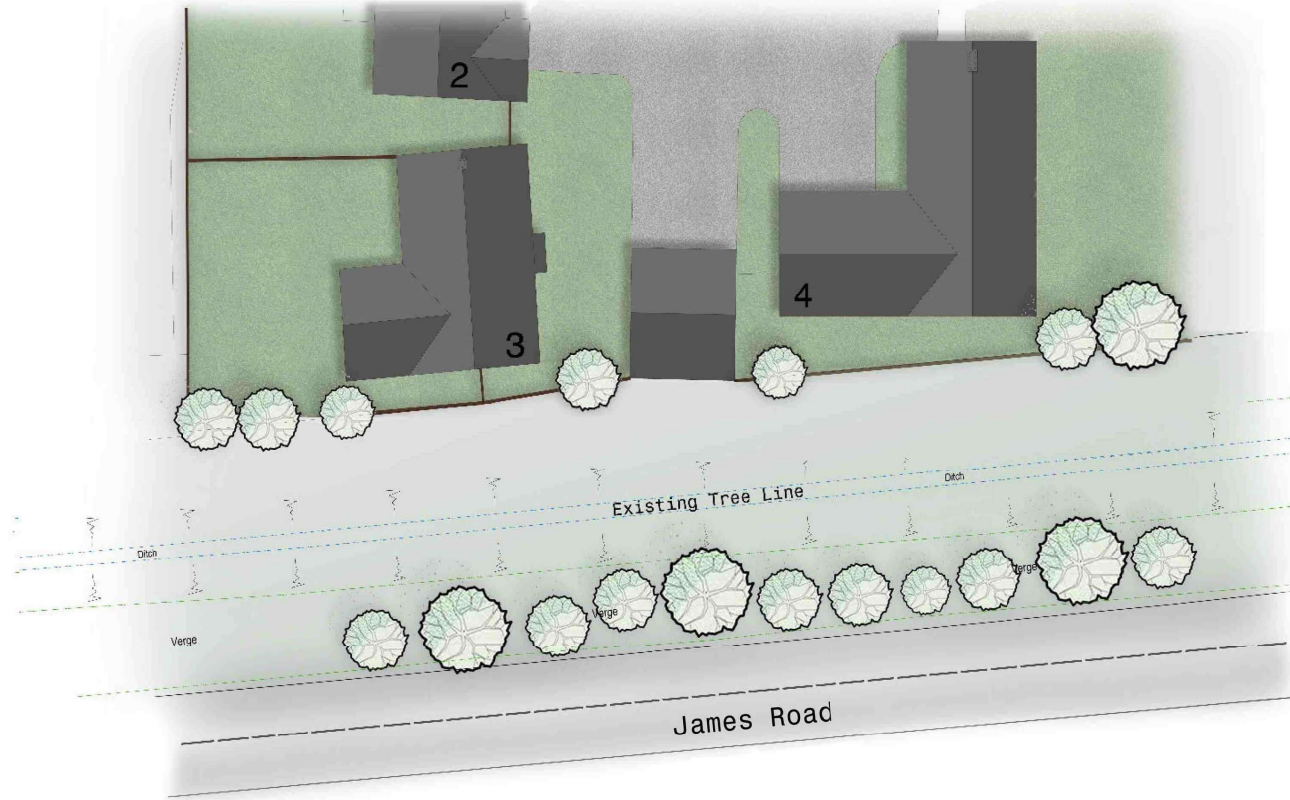
DRAWING No: 132-MSL-20



CGI View E



Street Scene - Scale 1:250 View From James Road



Partial Site Plan - Scale 1:250



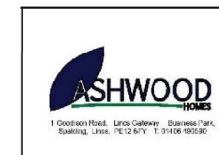
Proposed Residential Development at Land to South East of Harrington Drive Crowland
Street Scene -View From James Road
132 - StS - 03



Street Scene - Plot 1-3 1:100



Partial Site Plan - Scale 1:100



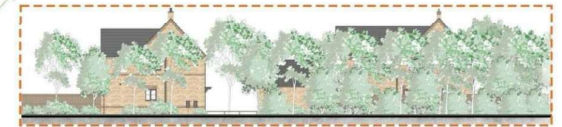
Proposed Residential Development at land South East of Harrington Drive
Street Scene - Plots 1-3
132-StS-HD-04



Refer to 132 - StS - 02
Peterborough Road



Harrington Drive
Refer to 132 - StS - 04



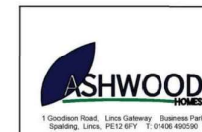
Refer to 132 - StS - 03
Harrington Drive



Refer to 132 - StS - 01
James Road

Refer to individual site
section drawings

Key	
A - - - - - A	Section Lines



1 Goodson Road, Lincs Gateway, Business Park,
Spalding, Lincs, PE12 6PY T: 01406 405590

Proposed Residential Development at Land South West of Harrington Drive
Street Scenes - Key Plan
132 - StS - 100



PROJECT:
Proposed Residential
Development at Land South West
of Harrington Drive, Crowland

DRAWING:
CGI Key Plan
DRAWING No:
132-ST5-101



CGI View D



CGI View C



CGI View B - From Neighbouring Bungalow No.58'








CGI View E



CGI View A



KEY

-  Site Boundary
-  Extent of further land in applicant ownership
-  PV Panels to Roof to meet required EPC Rating
-  Private Street Lights (outside of Adoptable Highway)
-  LED dusk to dawn Bollard Lights

Rev.	Date	Description



PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
PV Layout

SCALE: 1:500@A1 DRAWN: MII
DATE: MAY 2023 REVISION: -

DRAWING No: 132-PV-01



KEY

- Site Boundary
- Extent of further land in applicant ownership
- 7 kW Electric Vehicle Charge Point fitted on Front Elevation
- 7 kW Electric Vehicle Charge Point fitted in Garages
- 7 kW Electric Vehicle Charge Point fitted on side elevation
- Private Street Lights (outside of Adoptable Highway)
- LED dusk to dawn Bollard Lights

Rev.	Date	Description

1 Goodson Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT:
Proposed Residential Development at Land South West of Harrington Drive, Crowland

DRAWING:
EV Layout

SCALE: 1:500@A1 DRAWN: MII
DATE: MAY 2023 REVISION: -
DRAWING No: 132-EV-01



