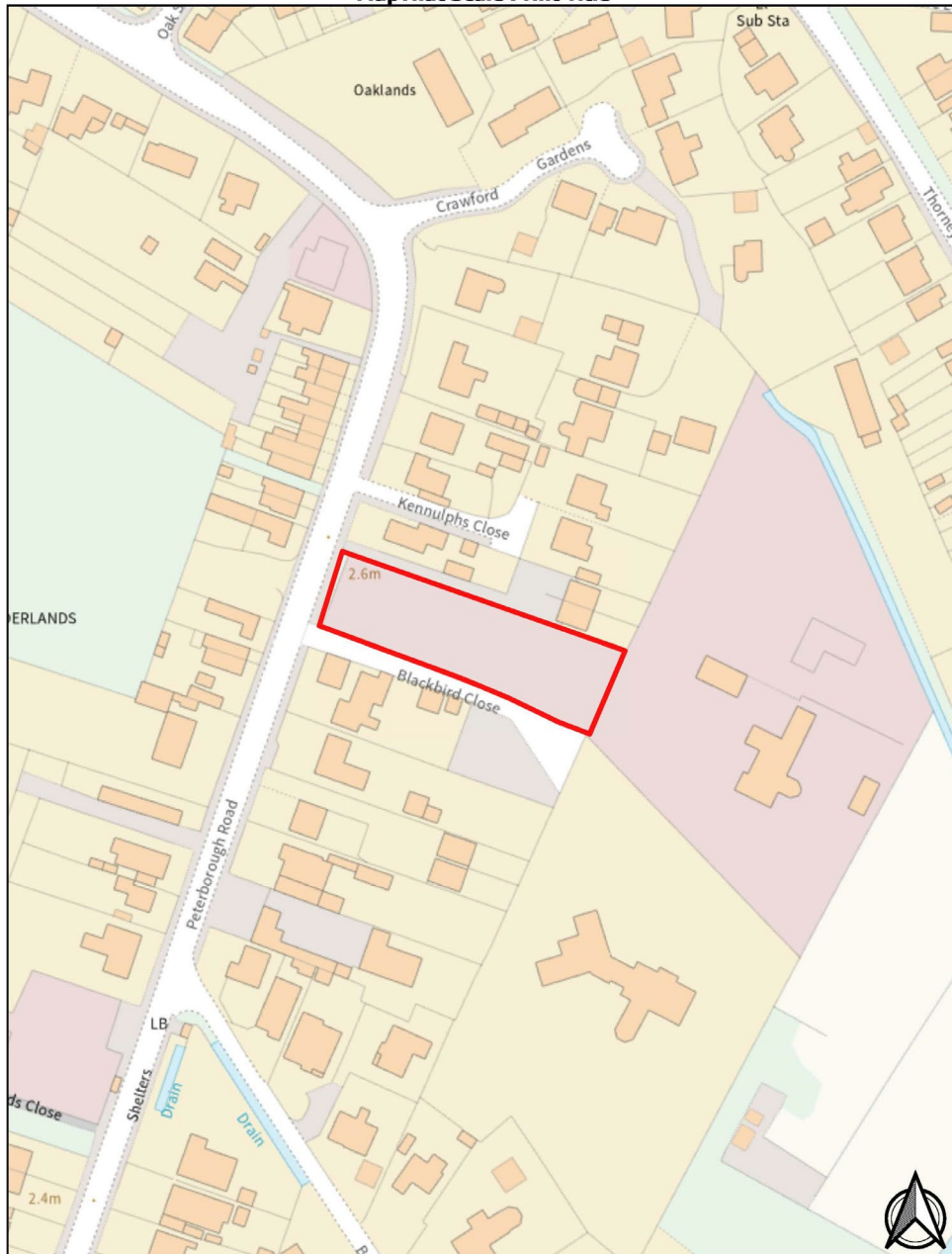
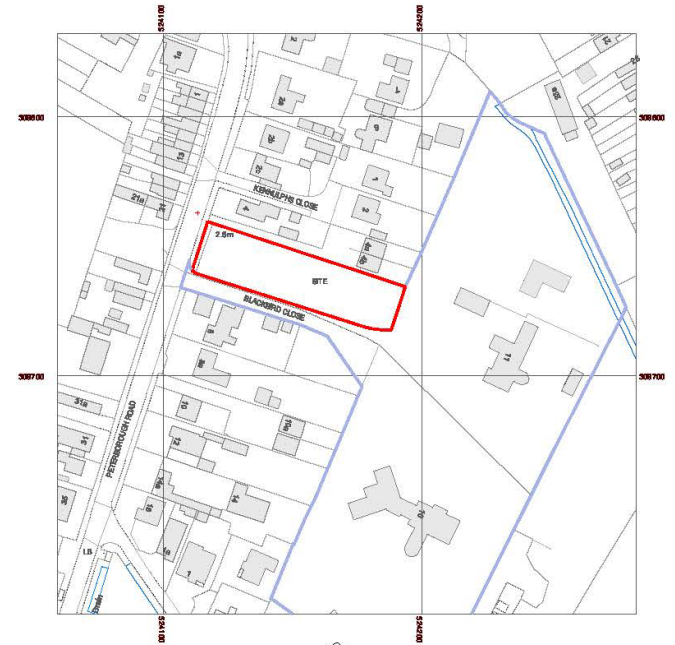
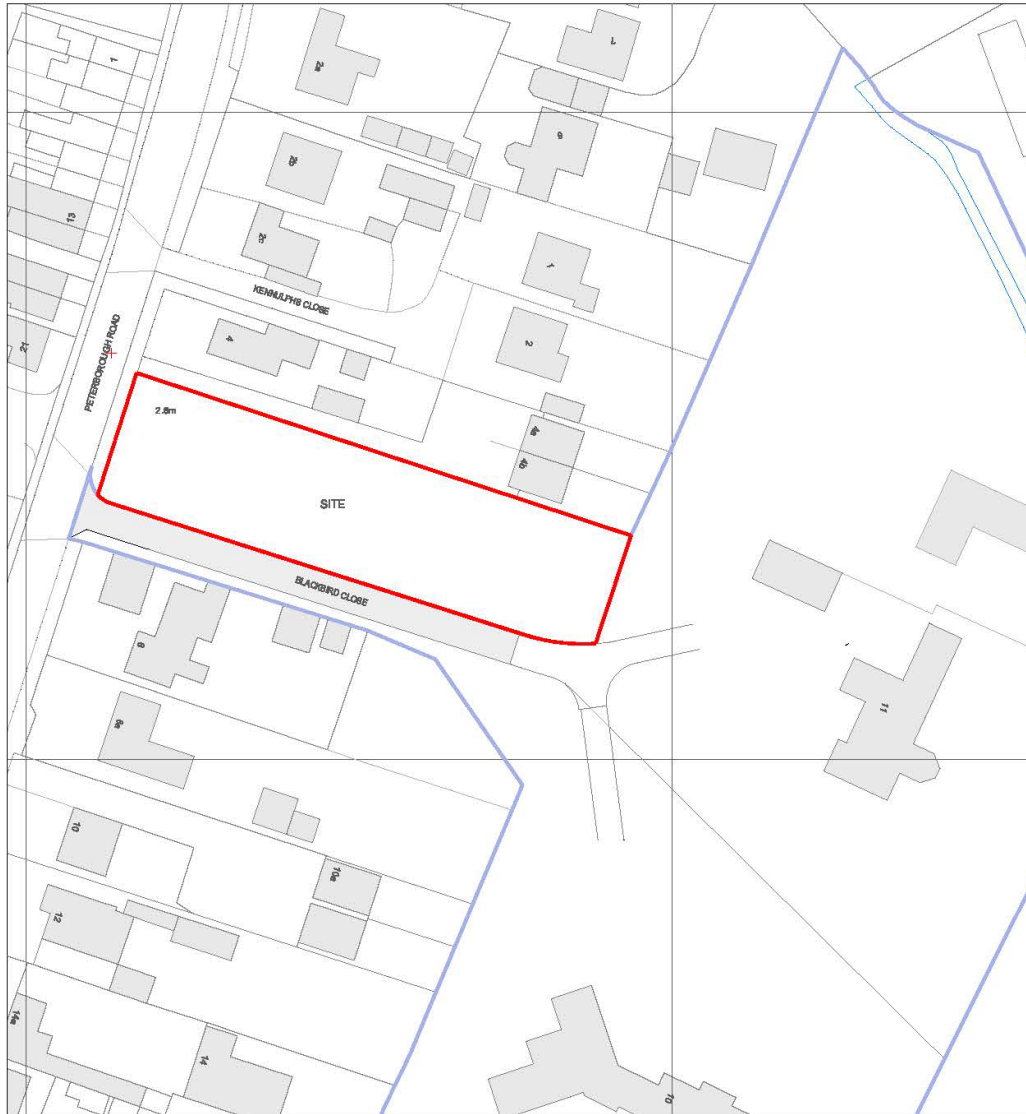


Welcome to the Planning Committee

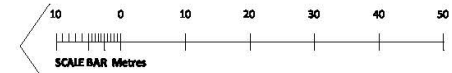
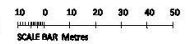


LAND AT BLACKBIRD CLOSE, CROWLAND, PETERBOROUGH, PE6 0BA

Supplied by Streetwise Maps Ltd
www.streetwise.net
Licence No: 100047474



LOCATION PLAN (scale 1:1250)



SITE PLAN (scale 1:500)

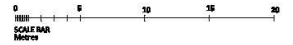
| | | |
|--|--------------------|--|
| scale 1:500 & 1:1250 PRINT AT A3 | date MARCH 2022 | version A 15/01/2022 (existing site layout) |
| site EXISTING LOCATION & SITE PLAN. | | |

LAND AT BLACKBIRD CLOSE, CROWLAND, PETERBOROUGH, PEG OBA

drawing number
BC/04/D

revision
D 18/01/2023 Site redesigned

- NOTES
- 1 Do not scale from the drawings. Dimensions to be checked on site.
 - 2 All work to comply with the current building regulations.
 - 3 All drawings are the copyright of Sharman Architecture.
 - 4 This drawing is intended to identify the main features and principal components. Construction work should be carried out and supervised by experienced and competent personnel and hence exhaustive detail is not required.



| CODE | PLANT NAME | QTY | SIZE |
|--------|-------------------------------------|-----|------|
| BD | IMPERIAL MAINTENANCE | 400 | 2.0 |
| CD TER | CHRYSANTHEMUM INFRANSAE | 900 | 3.0 |
| HP | HEXAGONAL POLYURETHANE PAINT & BOLD | 600 | 2.0 |
| HYP | HYPERBOLIC CALYCEUM | 600 | 2.0 |
| SYM | SYMPHYLOCAULON PALM | 600 | 2.0 |

| CODE | PLANT NAME | QTY | SIZE |
|----------|---|-----|------|
| TS to TS | QUADRANGULUS MICROCOCTA (COMMON HARTWORT) | 300 | 3.0 |
| TS to TS | QUADRANGULUS LAMINIGATA PALM SCUMLET | 300 | 3.0 |
| TS to TS | SETULA INCLIVATA (DEER WORT) | 300 | 3.0 |

| CODE | PLANT NAME | QTY | SIZE |
|------|------------|-----|------|
| LS | LOBELIA | 600 | 2.0 |



title
PROPOSED ROOF PLAN

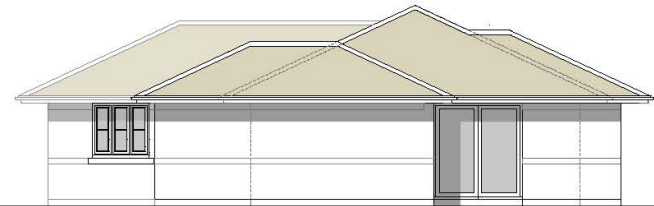
| | | |
|---------------------------|--------------------|-------------|
| scale 1:250 Print & A2 | date MARCH 2022 | drawn PS |
| contract MR BLACKBIRD | | |

PROPOSED ROOF & SITE PLAN

NOTE: All drawings are the copyright of sharman architecture.



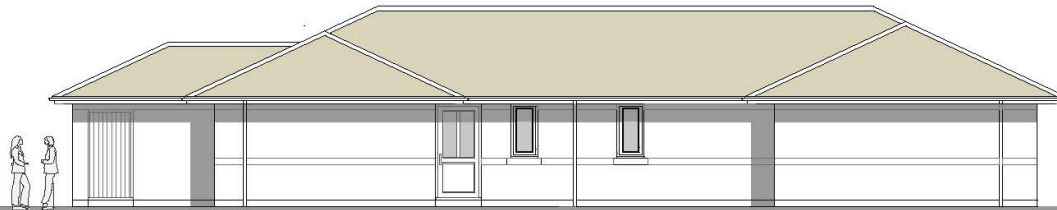
PLOT 1 SIDE VIEW A TO PETERBOROUGH ROAD.



PLOT 1 SIDE VIEW B FACING PLOT 2



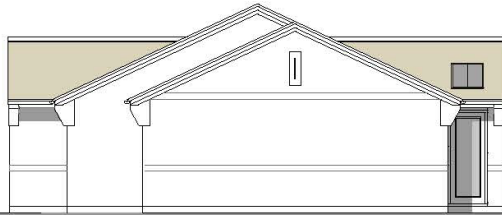
PLOT 1 FRONT VIEW TO BLACKBIRD CLOSE



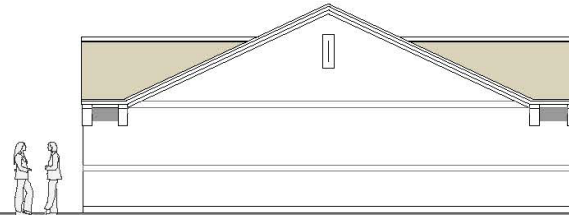
PLOT 1 REAR VIEW

| | | |
|--------------------------------------|---|-------------------------------|
| title PLOT 1 ELEVATIONS | scale 1:100 @ A3 | date SEPTEMBER 2022 |
| contract MR MARK BLACKBIRD | revision A 25/09/2022 Drawing first issued B 23/01/2023 Drawing rechecked | |

NOTE: All drawings are the copyright of sharman architecture.



PLOT 2 SIDE VIEW AS SEEN FROM PLOT 3



PLOT 2 SIDE VIEW AS SEEN FROM PLOT 1



PLOT 2 FRONT VIEW TO BLACKBIRD CLOSE

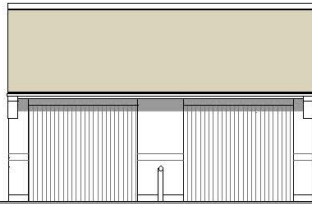


PLOT 2 REAR VIEW



| | | |
|--------------------------------------|--|-------------------------------|
| title PLOT 2 ELEVATIONS | scale 1:100 @ A3 | date SEPTEMBER 2022 |
| contract MR MARK BLACKBIRD | revision A 25/09/2022 Drawing first issued B 25/01/2023 Drawing recorded | |

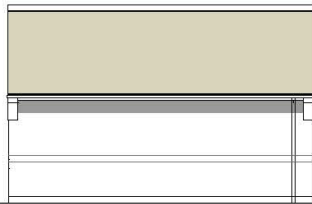
NOTE: All drawings are the copyright of sharman architecture.



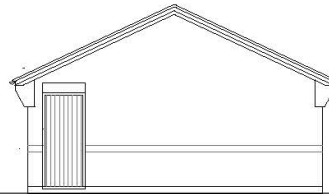
FRONT VIEW



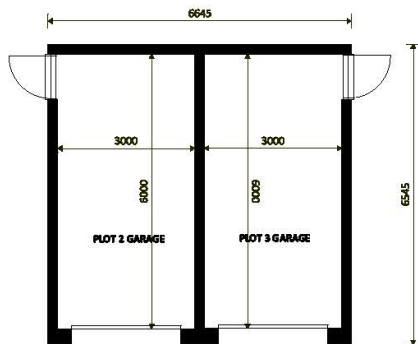
SIDE VIEW 1



REAR VIEW



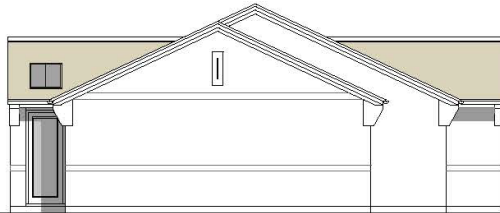
SIDE VIEW 2



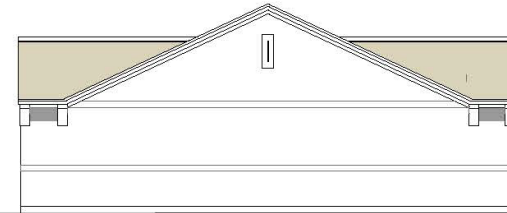
DOUBLE GARAGE PLAN

| | | |
|---|---|-------------------------------|
| title PLOT 2 AND 3 GARAGE DETAILS | scale 1:100 @ A3 | date SEPTEMBER 2022 |
| contract MR MARK BLACKBIRD | revision A 25/09/2022 Drawing first issued | |

NOTE: All drawings are the copyright of sharman architecture.



PLOT 3 SIDE VIEW AS SEEN FROM PLOT 2



PLOT 3 SIDE VIEW TO EXISTING LARGE DWELLINGS TO THE SIDE



PLOT 3 FRONT VIEW TO BLACKBIRD CLOSE



PLOT 3 REAR VIEW



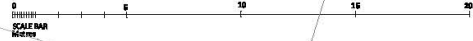
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|--------------------------------------|---|-------------------------------|
| title PLOT 3 ELEVATIONS | scale 1:100 @ A3 | date SEPTEMBER 2022 |
| contract MR MARK BLACKBIRD | revision A 25/09/2022 Drawing first issued B 25/01/2023 Drawing corrected | |

LAND AT BLACKBIRD CLOSE, CROWLAND, PETERBOROUGH. PE6 0BA

drawing number
BC/15/C

revisions
A 25/11/2022 Drawing Issued
B 28/01/2023 Revised to site readings
C 26/06/2023 EXISTING LEVELS ADDED

NOTES
This drawing is the copyright of sharman architecture.



PETERBOROUGH ROAD
2.50

RIDGE 10.21
EAVES 7.45
GROUND LEVEL 2.20

CONVERTED GARAGE

RIDGE 5.84
EAVES 4.56
GROUND LEVEL 2.16

PRIVACY SCREEN FROM PLOTS 1 TO 3
REFER TO DETAIL

RIDGE 10.21
EAVES 6.88
GROUND LEVEL 2.00

THERE ARE NO WINDOWS TO HABITABLE ROOMS
ON THIS ELEVATION

PLOT 1
FFL 2.60

PLOT 2
FFL 2.60

PLOT 3
FFL 2.60

LEGEND
x 1.74 EXISTING LEVELS
1.80 PROPOSED LEVELS

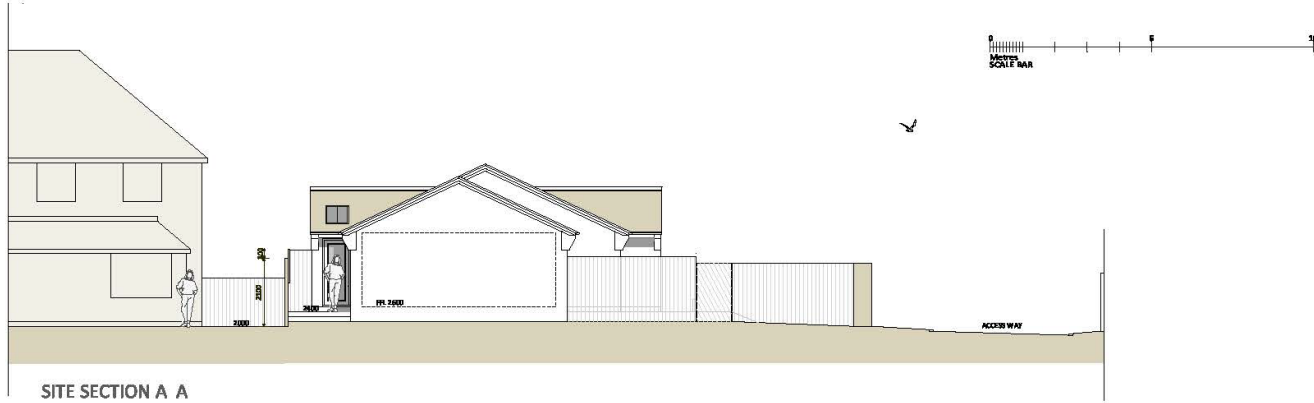
EXISTING SITE LEVELS

scale 1:100 (Print at A1) date NOVEMBER 2022 drawn PS

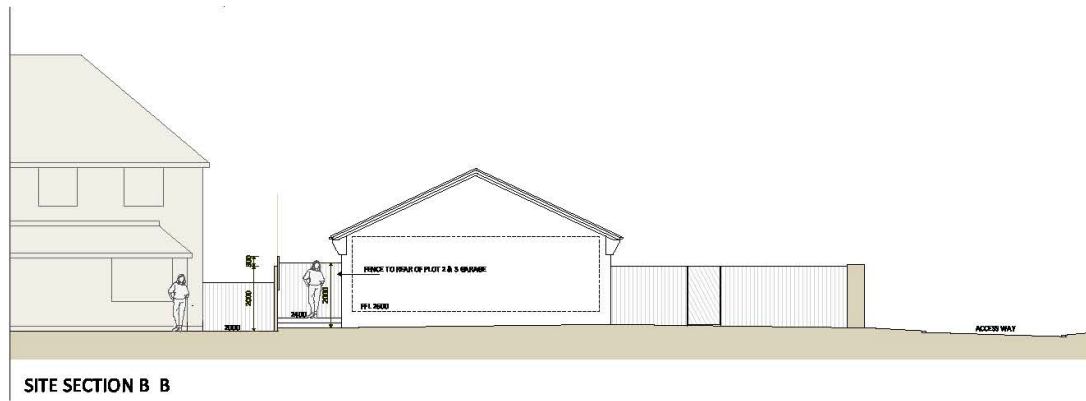
CONTRACTOR
MR BLACKBIRD

PROPOSED SITE LEVELS

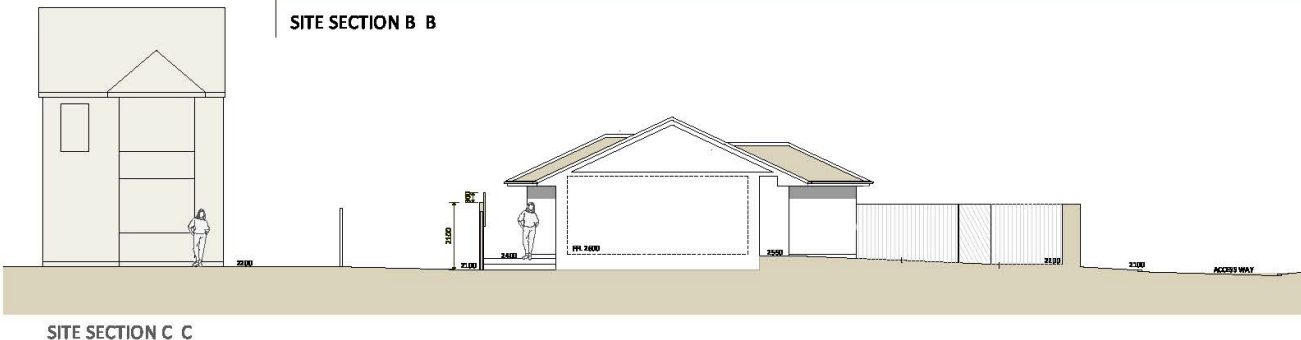
sharman architecture
ONE BARR, WILLOW GROVE, BOROUGH FEN, PETERBOROUGH, PE6 7QB
tel: 01753 572 081 email: ps@sharman-arch.co.uk



SITE SECTION A A



SITE SECTION B B



SITE SECTION C C

revisions
A 07/11/2022 Drawing first issued
B 26/09/2023 REVISION A SECTION ADDED

NOTE: All drawings are the copyright of sharman architecture.

scale
1:100 Print at A2

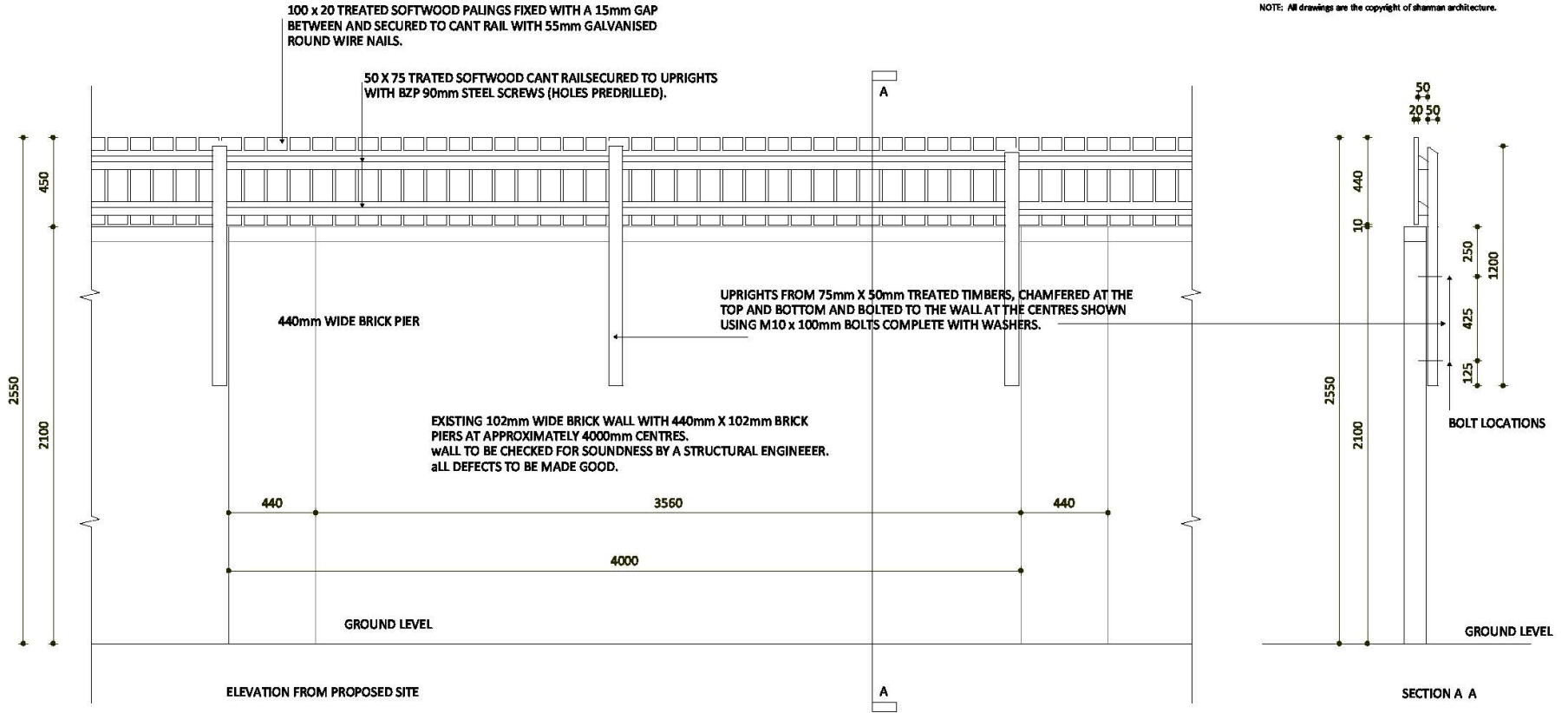
date
NOVEMBER 2022

title
PROPOSED SITE SECTIONS

contract
MR BLACKBIRD

sharman architecture
OAK BARK, WILLOW DRIVE, BOROUGH PARK, PETERBOROUGH, PE6 7QB
tel 01753 512001 email paul@sharman-arch.co.uk

NOTE: All drawings are the copyright of sharman architecture.



FENCING ABOVE BOUNDARY WALL TO AFFORD ENHANCED PRIVACY TO ADJACENT DWELLINGS AND THIS SITE



| | | |
|-------------------------------|--|-------------------|
| title WALL FENCING DETAIL | scale 1:20 @ A3 | date JUNE 2023 |
| contract MR MARK BLACKBIRD | revision A: 20/06/23 Drawing first issued | |









BLACKBIRD CLOSE T

10
POST BOX











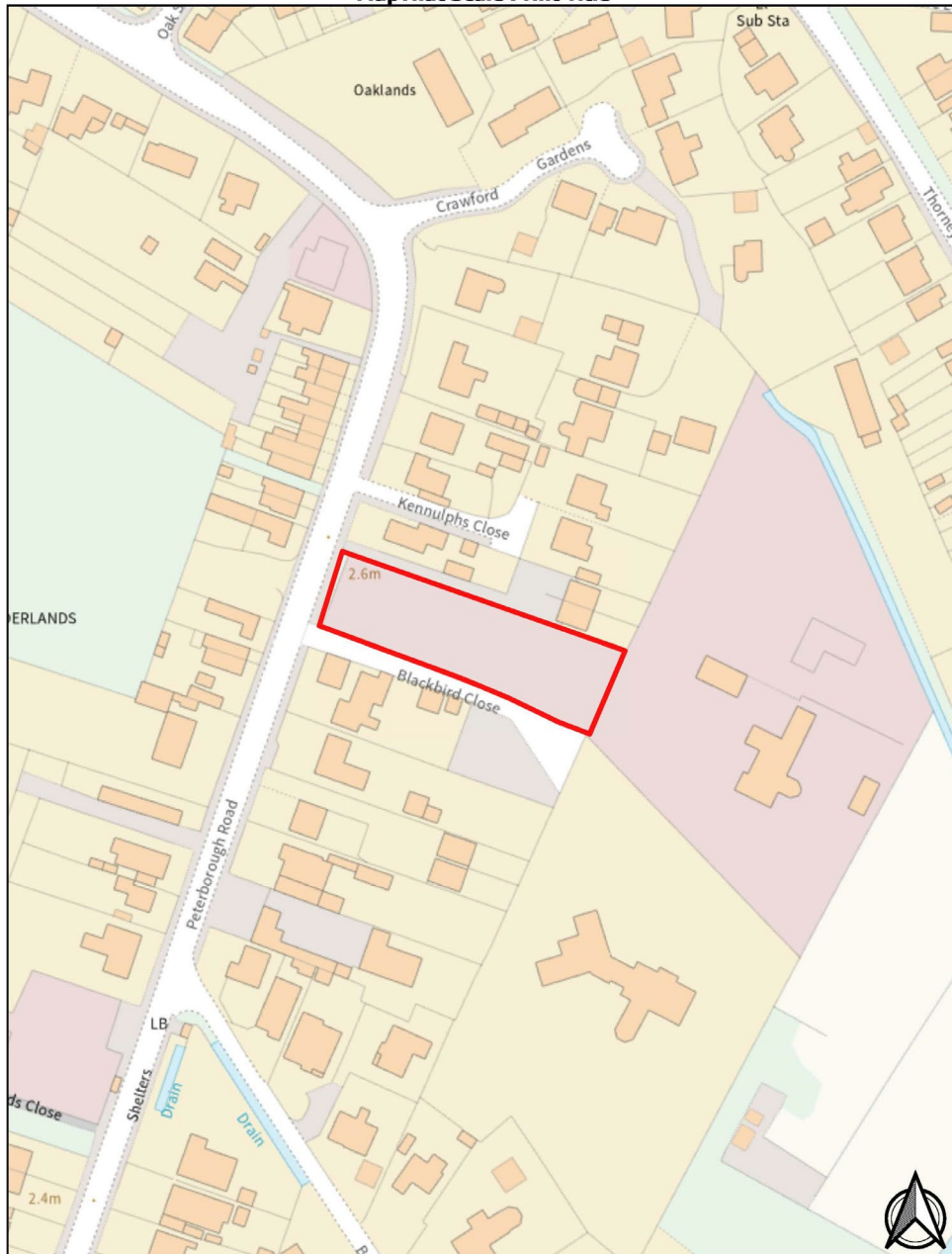






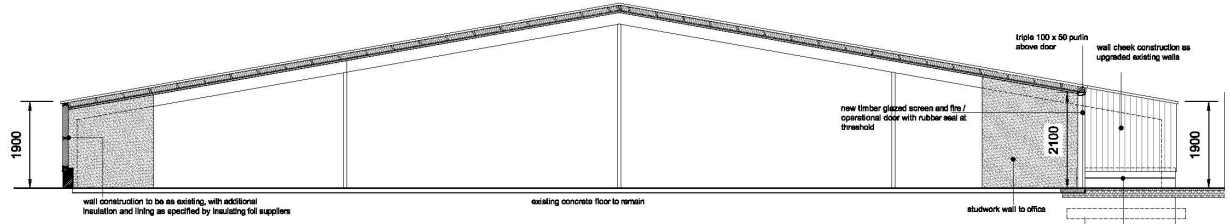








roof construction to be as existing, with additional insulation and underlating as specified by insulating foil suppliers and as reinforced structurally as specified by Structural Engineer



SECTION A-A 1:50

PROPOSED BIOMASS BOILER DETAILS

IMPROVED WALL CONSTRUCTION

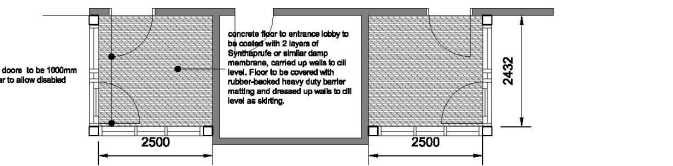
IMPROVED ROOF CONSTRUCTION

HEATING SYSTEM:
Converted building to be heated from HT100R or HT100R Biomass boiler as shown on manufacturer's details above, complete with storage tank for heated water. Heat to be distributed by underground, insulated pipe to two circuit types within the building. The open radiators area is to be heated by means of down hot air units and offflow and sanitary rooms are to be heated by a small-bore pipes radiator system. Temperatures are to be regulated by thermostats and TRVs.

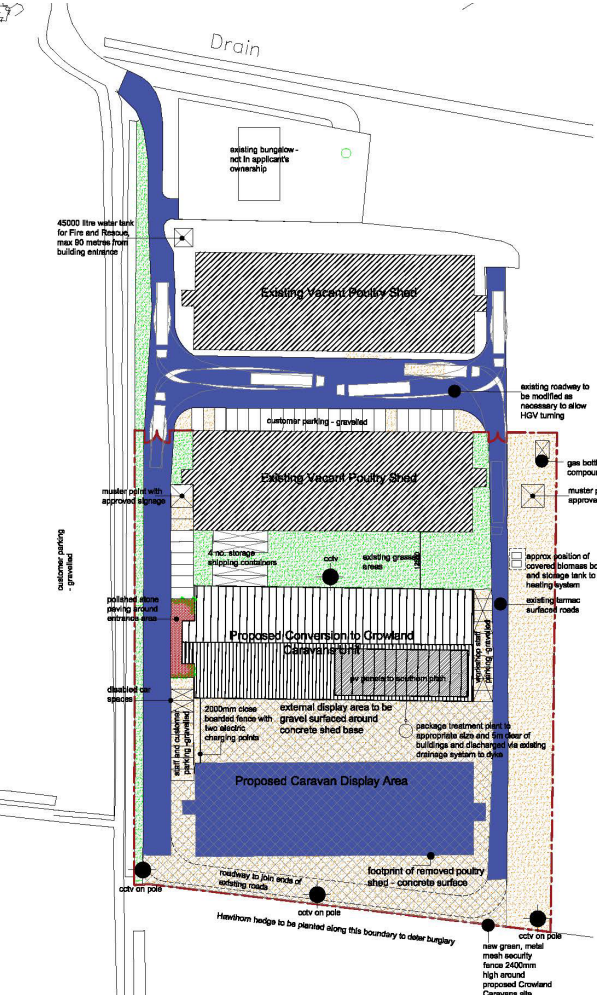
side facade and gable end to entrance lobby to be formed out of 100 x 60 C16 swt, at suitable cantilever to receive profiled metal cladding
glazed screen in 200 x 50 painted or stained timber, glazed with clear safety glass
200 x 200 timber corner posts attached to brickwork below
entrance lobby this side to be built direct of existing concrete slab previously used for heavy steel hopper.

new profiled metal roof deck on 100 x 60 C16 purlins at 800mm centres spanned between 100 x 50 C18 plating floor to existing gable wall, used to new studwork gable to glazed entrance lobby.
New roof to be set down from existing verge board and metal finished up to near of verge board

FRONT ELEV OF NEW ENTRANCE 1:50



FLOOR PLAN OF NEW ENTRANCE 1:50

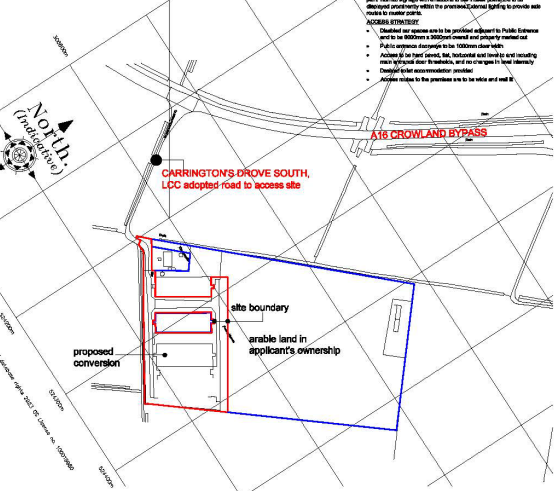


BLOCK PLAN 1:50

WINDSCREEN TO MOUNTED HEAT
All windows to be double-glazed and draught sealed.
To allow a central 3000mm x 1800mm window screen to be 1.4m high for access. 1.4m high for roof screen with a double-glazed window screen for better light levels to allow a screen of 1.800mm x 1.800mm. The double-glazed door to allow a screen of 1.800mm x 1.800mm. The double-glazed door to allow a screen of 1.800mm x 1.800mm. The double-glazed door to allow a screen of 1.800mm x 1.800mm.

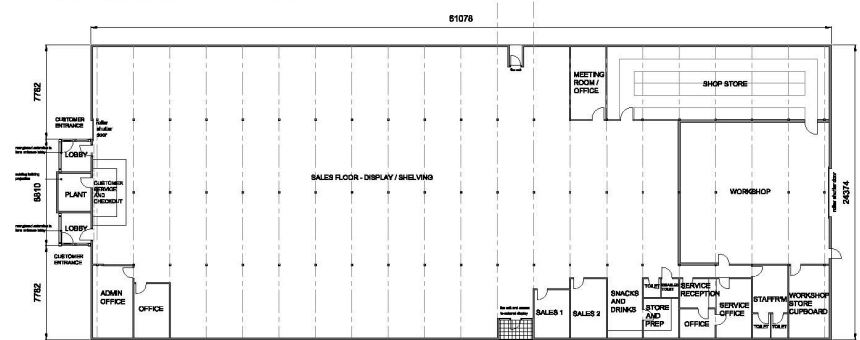
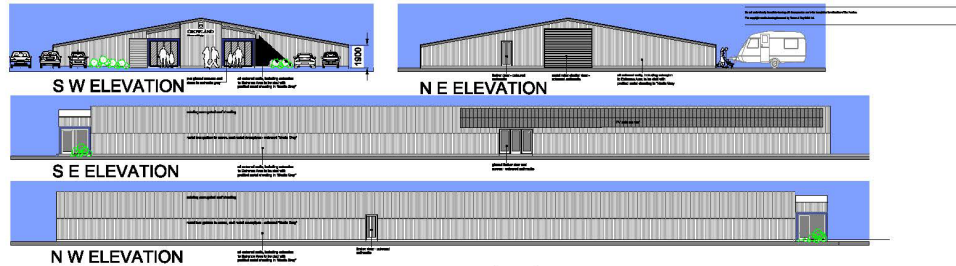
WINDSCREEN TO MOUNTED HEAT
All windows to be double-glazed and draught sealed.
To allow a central 3000mm x 1800mm window screen to be 1.4m high for access. 1.4m high for roof screen with a double-glazed window screen for better light levels to allow a screen of 1.800mm x 1.800mm. The double-glazed door to allow a screen of 1.800mm x 1.800mm. The double-glazed door to allow a screen of 1.800mm x 1.800mm.

WINDSCREEN TO MOUNTED HEAT
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To allow a central 3000mm x 1800mm window screen to be 1.4m high for access. 1.4m high for roof screen with a double-glazed window screen for better light levels to allow a screen of 1.800mm x 1.800mm. The double-glazed door to allow a screen of 1.800mm x 1.800mm. The double-glazed door to allow a screen of 1.800mm x 1.800mm.



LOCATION PLAN 1:2500

A 28 May 2018 TRC
Revision Date TRC Description
Client Rutfyll Ltd
Project Proposed Fenland Caravan Centre at Carrington Drive, Crowland
Drawing Building Regulation Drawing 2
Scale 1:50, 1:500 and 1:2500 @ A1 Drawn TRC Chkd JWH Date 13/04/2018
Trower & Day RIBA Ltd, 14 Old Fenille Road, Weston Hills, Scotling, Lincs. PE326DQ 07778 597975
trower@tacarchitects.co.uk www.tacarchitects.co.uk



FLOOR PLAN OF POULTRY SHED CONVERSION 1:100

Date: 10/10/2018
 Author: Building Ltd
 Title: Poultry Shed Conversion Gates & Cartage Drive, Cranford
 Floor Plan & Elevations
 Scale: 1:100
 Drawn by: Chief Architect
 Checked by: Building Ltd
 Date: 10/10/2018





















| REVISION | DATE | DRAWN | DESCRIPTION |
|----------|------|-------|-------------|
| | | | |

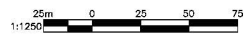


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INNOVATION QUAY, KING'S LYNN,
PE30 3BT
T: 01583 770033
E: enquiry@studio11architecture.co.uk
W: www.studio11architecture.co.uk

CLIENT Mr & Mrs B Alcock
PROJECT Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Crowland
DRAWING Location Plan

| DESIGN | PROJECT DESIGNER | PROJECT DIRECTOR |
|------------|------------------|------------------|
| EG | KB | KB |
| DATE | SCALE | PAPER SIZE |
| 13.03.2023 | 1:1250 | A2 |

DRAWING NUMBER 589.SL.02
Issued in partnership with Royal Chartered Association of Resident Coordinators





North-West Elevation



North-East Elevation



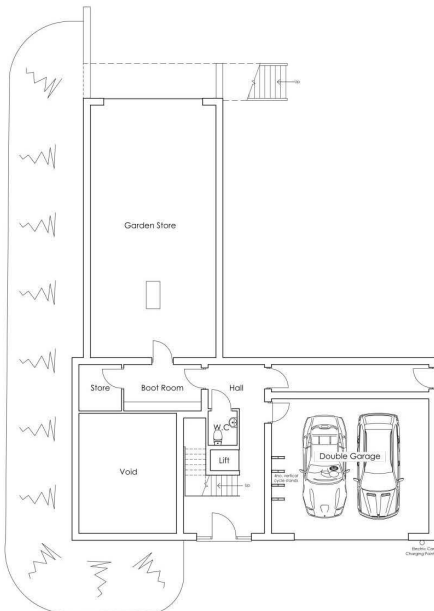
South-East Elevation



South-West Elevation

Materials Key

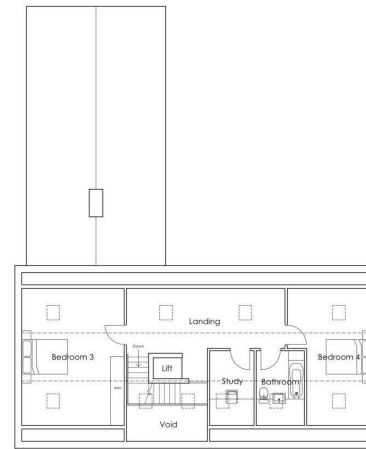
- ① Standing Seam Zinc
- ② Grey Windows/Doors
- ③ Landscaped Bund
- ④ Vertical Non-weathered timber cladding
- ⑤ Black Brickwork



Ground Floor Plan



First Floor Plan



Second Floor Plan



REVISION DATE DRAWN DESCRIPTION



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PE30 5BY
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W: www.studio11architecture.co.uk

CLIENT AD, RM, JM and B Alcock
PROJECT Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Crowland
DRAWING Plot 1 - Floor Plans & Elevations

| DRAWN | PROJECT DESIGNER | PROJECT DIRECTOR |
|------------|------------------|------------------|
| EG | KB | KB |
| DATE | SCALE | PAPER SIZE |
| 21.02.2023 | 1:100 | A1 |

DRAWING NUMBER 589.PD.P1.01
Working in partnership with Knight Chapman Associates & Bevan Consultants



North-West Elevation



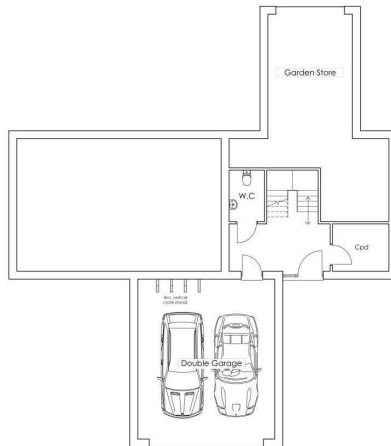
South-West Elevation



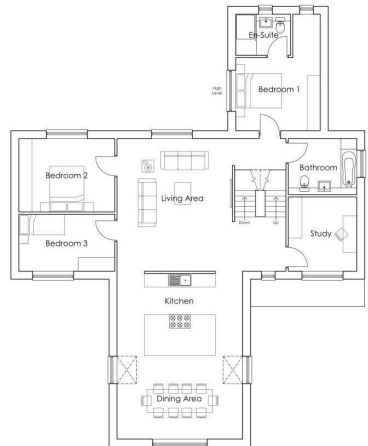
South-East Elevation



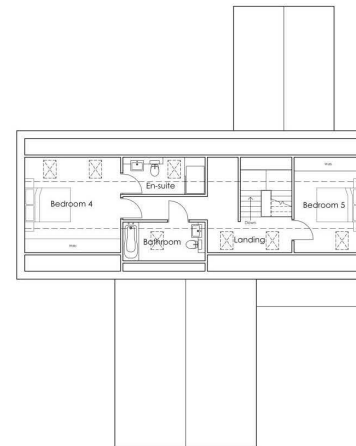
North-East Elevation



Ground Floor



First Floor



Second Floor

All discrepancies are to be brought to the attention of the below office.
The copyright to this drawing is owned by Studio 11 Architecture.

Materials Key

- ① Charred Timber
- ② Grey Render
- ③ Grey Windows/Doors
- ④ Non-weathered Timber Garage Doors

REVISION DATE DRAWN DESCRIPTION



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CAMBRIDGESHIRE, PE13 3BH
T: 01463 467339
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W: www.studio11architecture.co.uk

| | | | |
|---------|---|------------------|------------------|
| CLIENT | AD, RM, JM and B Alcock | | |
| PROJECT | Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Crowland | | |
| DRAWING | Plot 2 - Floor Plans & Elevations | | |
| DRAWN | OS | PROJECT DESIGNER | PROJECT DIRECTOR |
| DATE | 23.02.2023 | KB | KB |
| | | SCALE | PAPER SIZE |
| | | 1:100 | A1 |

DRAWING NUMBER
589_PD.P2.01

Working in partnership with Ralph Chapman Associates & Bevan Consultants



North-West Elevation



South-West Elevation

Materials Key

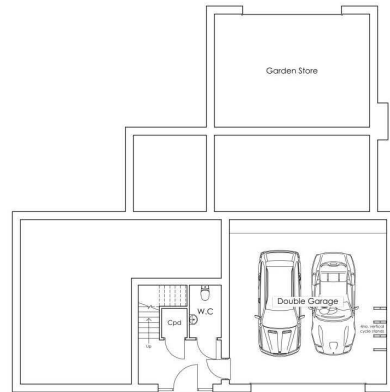
- ① Corrugated Steel
- ② Grey Windows/Doors
- ③ Vertical Non-weathered timber cladding
- ④ Cast Concrete



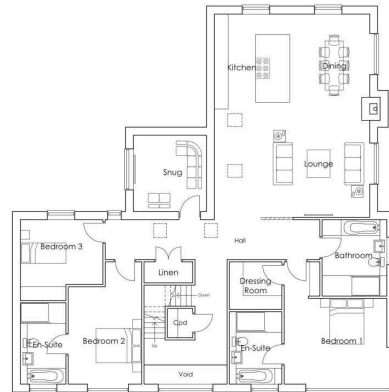
South-East Elevation



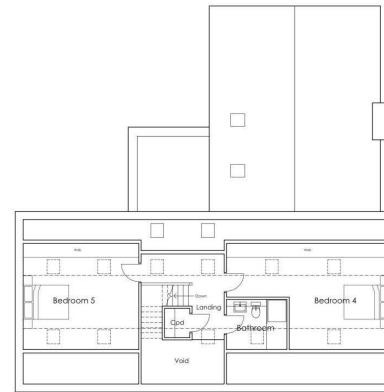
North-East Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan



| | | |
|---|---|------------------------|
| REVISION | DATE | DRAWING DESCRIPTION |
| KINGS LYNN INNOVATION CENTRE INNOVATION DRIVE, KINGS LYNN, PE30 3BY T: 01553 970333 E: design@studio11architecture.co.uk W: www.studio11architecture.co.uk | | |
| CLIENT | AD, RM, JM and B Alcock | |
| PROJECT | Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Crowland | |
| DRAWING | Plot 3 - Floor Plans & Elevations | |
| DRAWN EG | PROJECT DESIGNER KB | PROJECT DIRECTOR KB |
| DATE 27.02.2023 | SCALE 1:100 | PAPER SIZE A1 |
| DRAWING NUMBER 589.PD.P3.01 | | |
| <small>Working in partnership with Knight Chapman Associates & Bevan Consultants</small> | | |



South-East Elevation



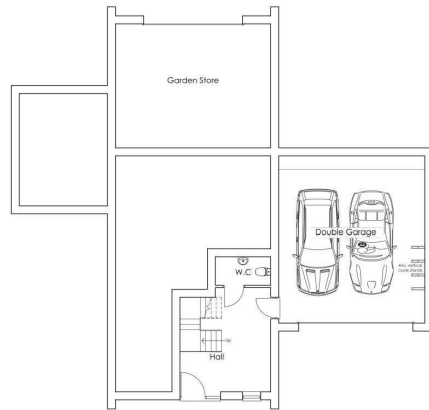
North-East Elevation



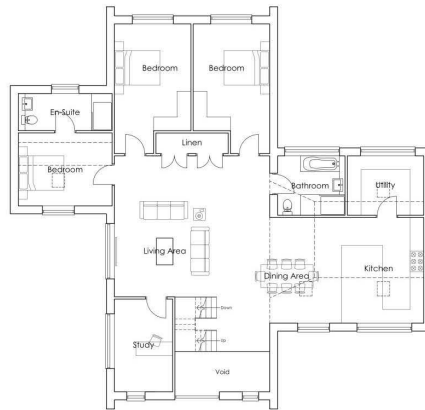
North-West Elevation



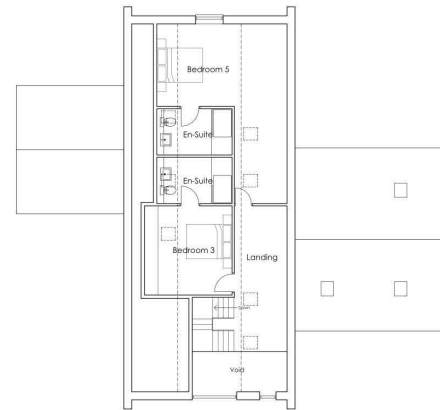
South-West Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan

All discrepancies are to be brought to the attention of the below office.
The copyright to this drawing is owned by Studio 11 Architecture.

Materials Key

- ① Standing Seam Zinc
- ② Black Windows/Doors
- ③ Vertical Non-weathered timber cladding
- ④ Black Brickwork below DPC.
- ⑤ Render

REVISION DATE DRAWN DESCRIPTION



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CLIENT AD, RM, JM and B Alcock
PROJECT Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Crowland
DRAWING Plot 4 - Floor Plans & Elevations

| DRAWN | PROJECT DESIGNER | PROJECT DIRECTOR |
|------------|------------------|------------------|
| EG | KB | KB |
| DATE | SCALE | PAPER SIZE |
| 01.03.2023 | 1:100 | A1 |

DRAWING NUMBER 589.PD.P4.01

Working in partnership with: Ralph Chapman Associates & Bevan Consultants





South-East Elevation



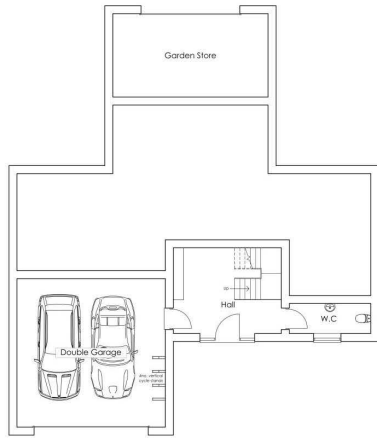
North-East Elevation



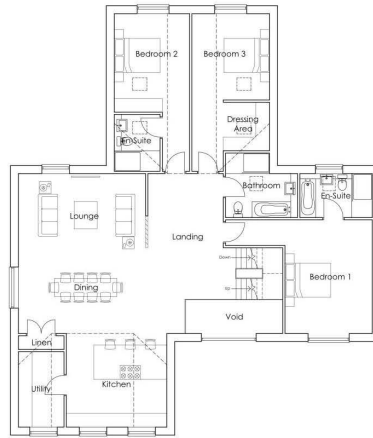
North-West Elevation



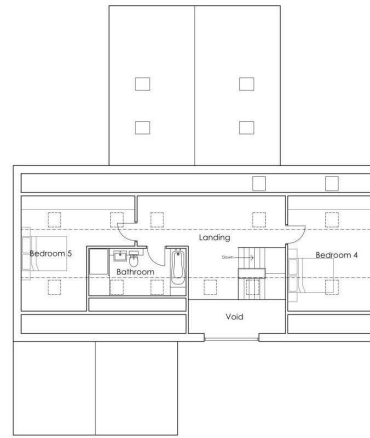
South-West Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan

All discrepancies are to be brought to the attention of the below office.
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Materials Key

- ① Zinc Shingles
- ② Grey Windows/Doors
- ③ Grey Brickwork
- ④ Slate Roof

REVISION DATE DRAWN DESCRIPTION



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CLIENT AD, RM, JM and B Alcock
PROJECT Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Crowland
DRAWING Plot 5 - Floor Plans & Elevations

| DRAWN | PROJECT DESIGNER | PROJECT DIRECTOR |
|------------|------------------|------------------|
| EG | KB | KB |
| DATE | SCALE | PAPER SIZE |
| 06.03.2023 | 1:100 | A1 |

DRAWING NUMBER 589.PD.P5.01

Working in partnership with: Knight Chapman Associates & Bevan Consultants





South-East Elevation



North-East Elevation



North-West Elevation

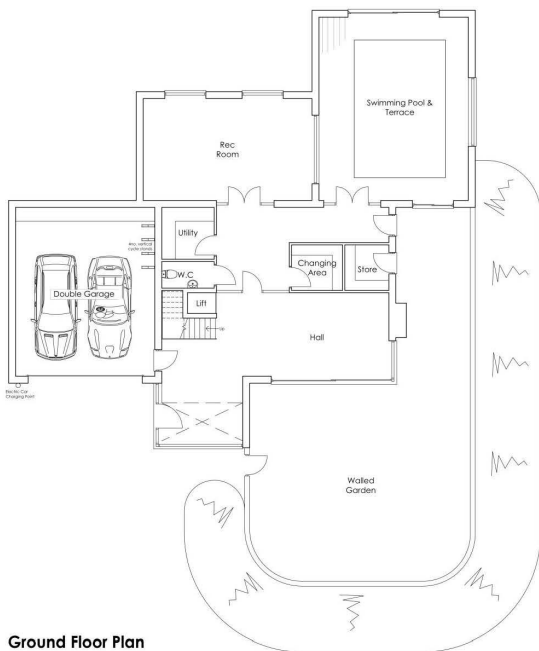


South-West Elevation

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Materials Key

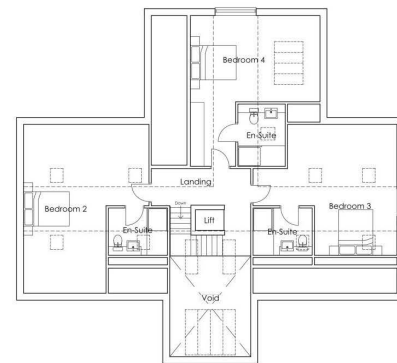
- ① Corrugated Steel
- ② Grey Windows/Doors
- ③ Cast Concrete



Ground Floor Plan



First Floor Plan



Second Floor Plan

REVISION DATE DRAWN DESCRIPTION



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CLIENT AD, RM, JM and B Alcock

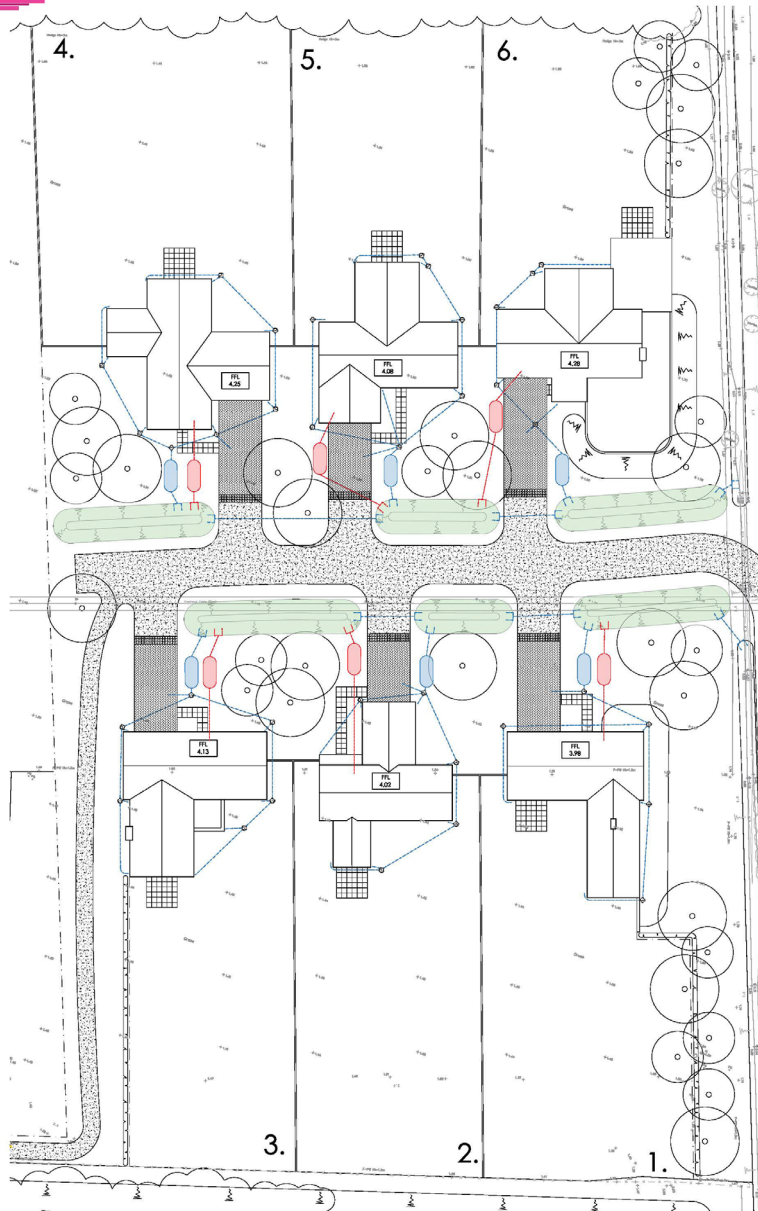
PROJECT Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Crowland

DRAWING Plot 6 - Floor Plans & Elevations

| DRAWN | PROJECT DESIGNER | PROJECT DIRECTOR |
|------------|------------------|------------------|
| EG | KB | KB |
| DATE | SCALE | PAPER SIZE |
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Working in partnership with: Regis Chartered Accountants & Survey Consultants



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Key

- Proposed Surface Water Drainage Run
- Proposed Foul Drainage Run
- Estimated EFL (Flat Floor) Habitable Rooms
- Rain Water Harvesting
- Foul Treatment Plant
- Existing Spot Levels
- Permeable gravel drive
- Permeable black paving
- SuDS drainage dyke

SEARCH DATE: DRAWN: PREPARED BY:

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CLIENT: AD, WA, JM and B Alcock

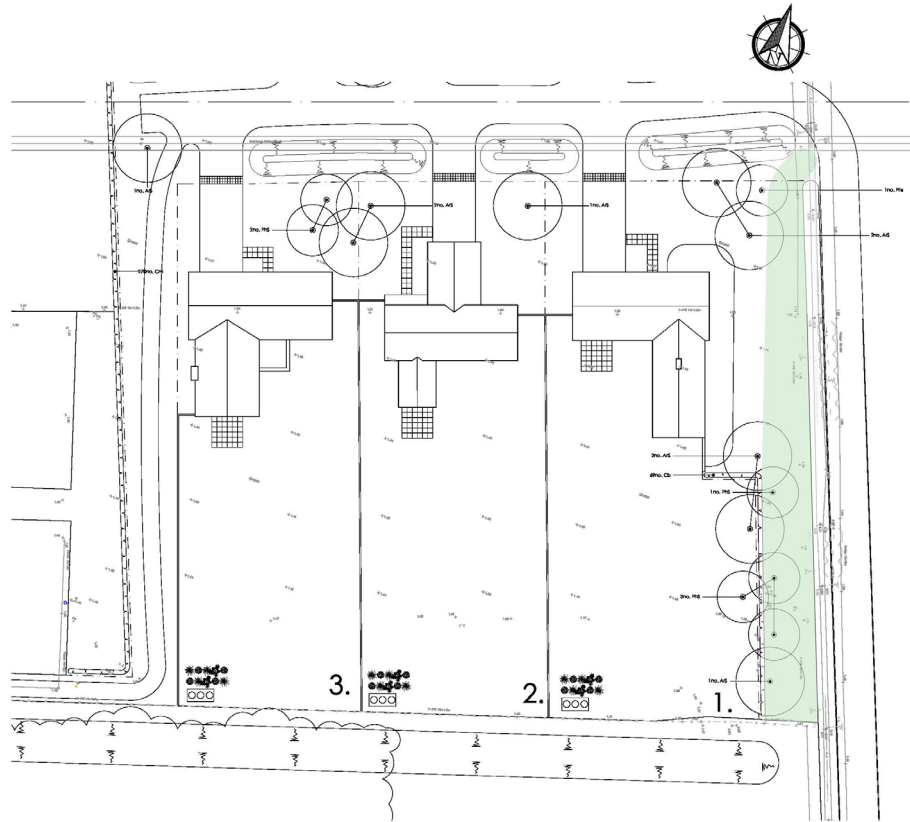
PROJECT: Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Cotswold

DRAWING: Drainage Strategy Design












| | | |
|--------------------------|-----------------|------------------|
| DESIGN | PROJECT MANAGER | PROJECT DIRECTOR |
| EG | KS | KS |
| DATE | SCALE | PAPER SIZE |
| 14.03.2023 | 1:200 | A1 |
| DRAWING NUMBER: SPP_DS01 | | |

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KEY

-  Proposed Tree
-  Proposed shrub planting
-  600mm x 600mm buff riven paving slabs to rear
-  1.8m close board fence
-  1.2m astate & rail fence
-  Proposed hedge
-  2 x 600mm x 600mm buff riven paving slabs to front
-  Refuse Collection Points
-  1.8m garden wall
-  Wildflower mix grass margin
-  Kitchen Garden & Composting Facilities

Specification Notes:

1. **General Notes**
 - All planting and grading to be carried out to 10:30SL.
2. **Tree Planting**
 - Reference tree pits to the following size:
 - Species 1000 x 1000 x 100mm depth
 - Species 1000 x 1000 x 100mm depth
 - Species 1000 x 1000 x 100mm depth
 - Species 1000 x 1000 x 100mm depth
 - Soak liquid to be used and removed about 100mm from pits to designated adjacent drains.
 - Rootball trees with 80 litres of tree planting compost incorporated into topsoil.
 - Tree support - 20mm x 20mm. 500mm high above ground. One support on each side. Trees to be supported by means of a support system to be designed to the species and to the species. One support on each side.
 - Mark all trees to 700mm depth with 'Tree Support' over each of the pits.
 - Check all trees, tree and species regularly to prevent damage to tree trunks and remove when trees are judged to be well established and well supporting.
3. **Hedge Planting**
 - Cultivate 300mm wide x 300mm deep and plant in a single row.
4. **Grass and Seed Planting**
 - Cultivate all areas planting grass to a depth of 300mm and plant in a single row.
 - Mark all areas back with 70mm 'Tree Support'.
 - Install all planting areas to be used free of all other materials for grasses outside treatment or necessary and grasses to be used for new planting. 100mm wide ball works as necessary and mark all in a single row.
5. **Grass Seed Areas**
 - Cultivate to a depth of 100mm and prepare ground in accordance with specification. Use seed mix appropriate to grass species or areas of grasses.

TREES

| Tree | Species | DBH | Height | Spread | Planting | Notes |
|------|-------------|-----|--------|--------|----------|------------|
| 1 | Red Alder | 100 | 2.0m | 4.0m | Tree | See Note 1 |
| 2 | Black Alder | 100 | 2.0m | 4.0m | Tree | See Note 1 |

HEDGE PLANTING

| Species | No. Plants | Planting | Notes |
|---------|------------|----------|------------|
| 1 | 10 | 10 | See Note 1 |
| 2 | 10 | 10 | See Note 1 |




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CLIENT: AD, RA, JA, and S Alcock
PROJECT: Proposed Residential development of Self-Build/ Custom Build Homes off James Road, Edgbaston
DRAWING: Landscaping 2 of 2

| | | |
|----------------------------------|----------------------------|-----------------------------|
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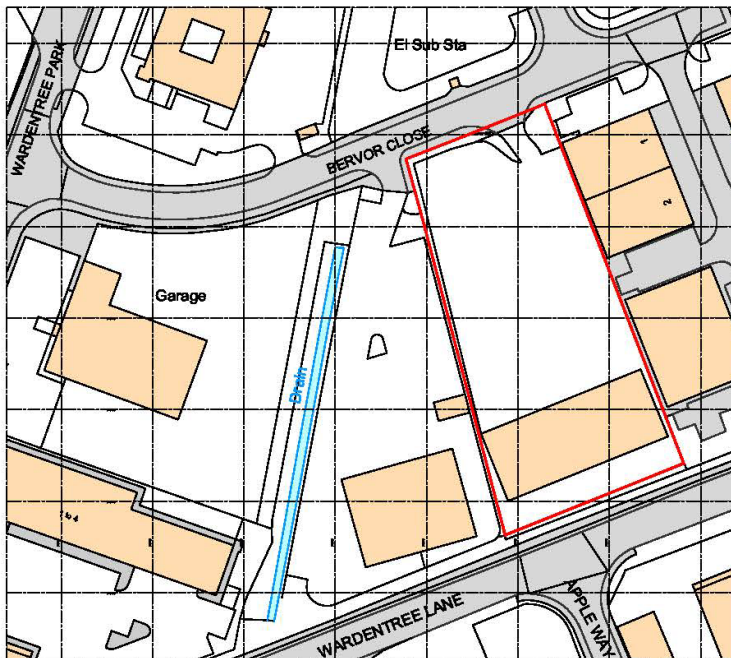






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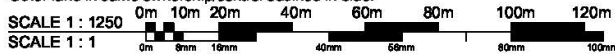


Site Location Plan

Scale 1:1250 @ A3

Site of works proposal outlined in red.

Other land in same ownership/control outlined in blue.



SCALE 1 : 1250

SCALE 1 : 1

Client:
South Holland District Council

Project:
**Proposed change of use to Council Depot
Bervor Close, Pinchbeck, Spalding, PE11 3UG**

Date: June 2023

Scale: As shown @ A3

Drawn by: AJO

Checked by: CLS

Drawing Title:
**Site Location Plan
as existing**

PLANNING APPLICATION ISSUE

Drawing Number:
A1681-01

Rev:
P1

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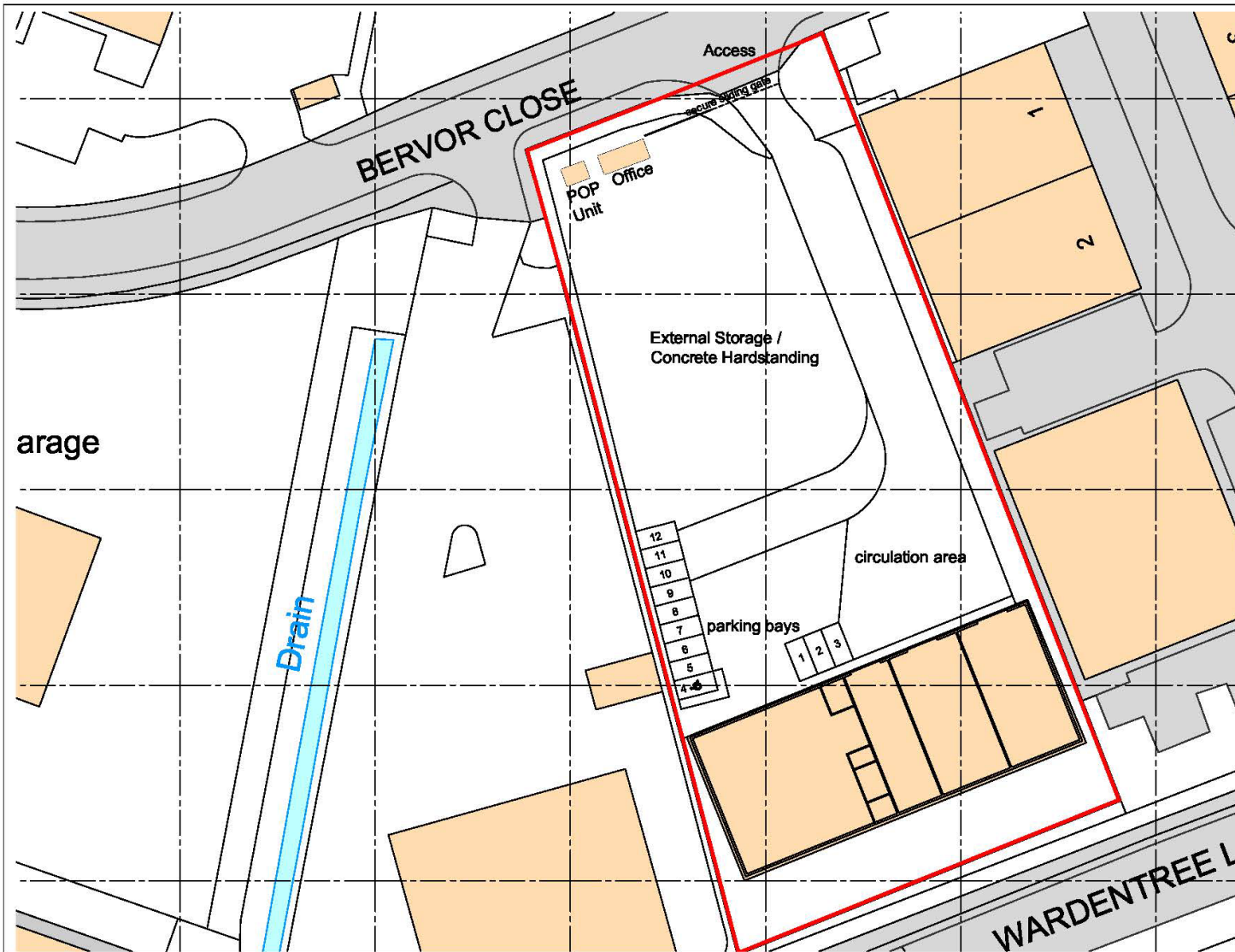
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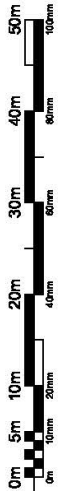
Site Block Plan - as existing

Scale 1:500 @ A3

Proposal site outlined in red

SCALE 1:500

SCALE 1:1



Client:
South Holland District Council

Project:
**Proposed change of use to Council Depot
Bervor Close, Pinchbeck, Spalding, PE11 3UG**

Drawing Number:
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Date: June 2023
Drawn by: AJO

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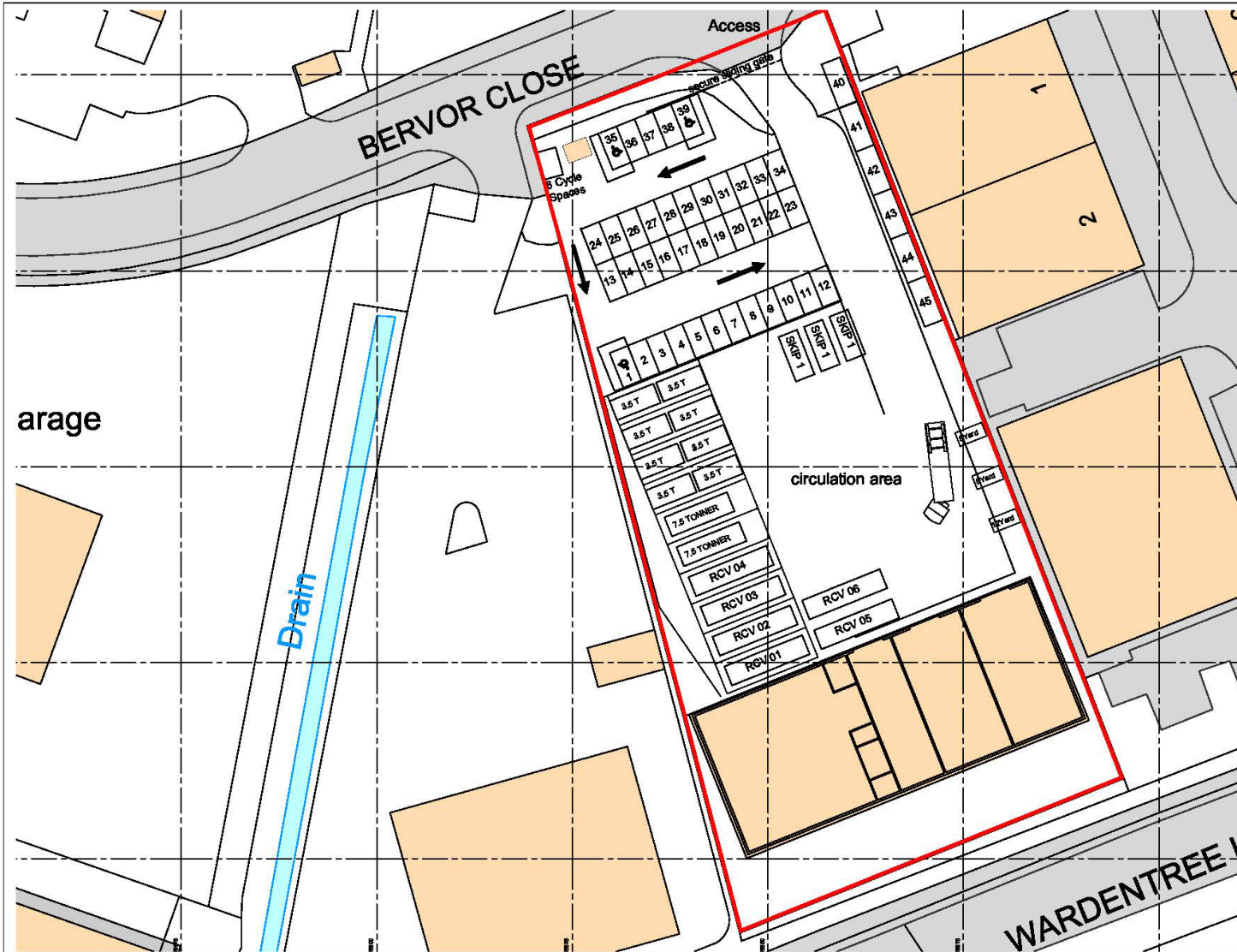
Drawing Title:
**Site Block Plan
as existing**

PLANNING APPLICATION ISSUE

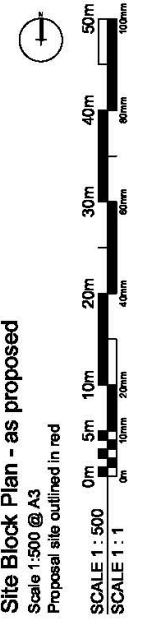
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LAYOUT FOR ILLUSTRATIVE PURPOSES ONLY:



Site Block Plan - as proposed

Scale 1:500 @ A3

Proposal site outlined in red

SCALE 1 : 500

SCALE 1 : 1

Client:
South Holland District Council

Project:
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Drawing Number:
A1681-03

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P1

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**Site Block Plan
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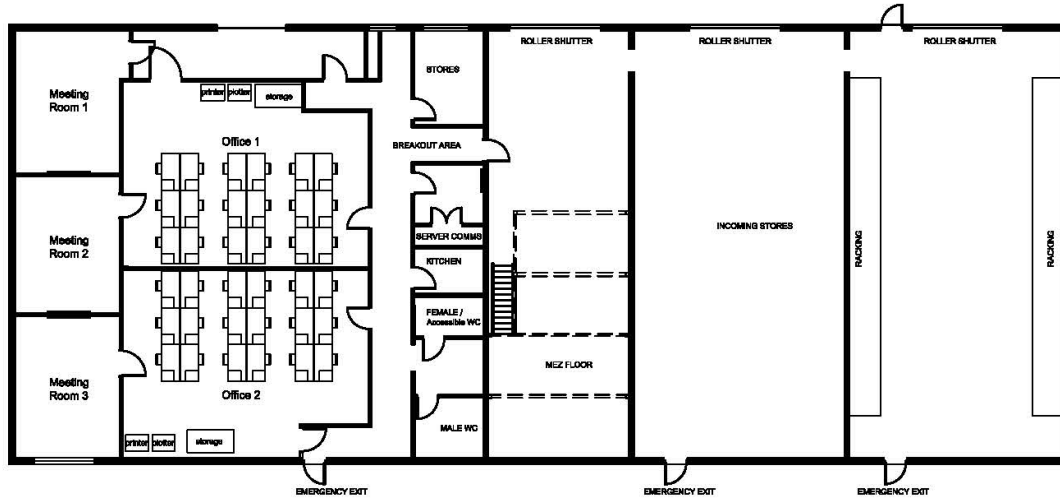
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LAYOUT FOR ILLUSTRATIVE PURPOSES ONLY:



Ground Floor Layout - as existing

Scale 1:200 @ A3



Client:
South Holland District Council

Project:
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Drawing Number:
A1681-04

Date: June 2023

Drawn by: AJO

Rev:
P1

Scale: As shown @ A3

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Drawing Title:
**Ground floor plan
as existing (illustrative only)**

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