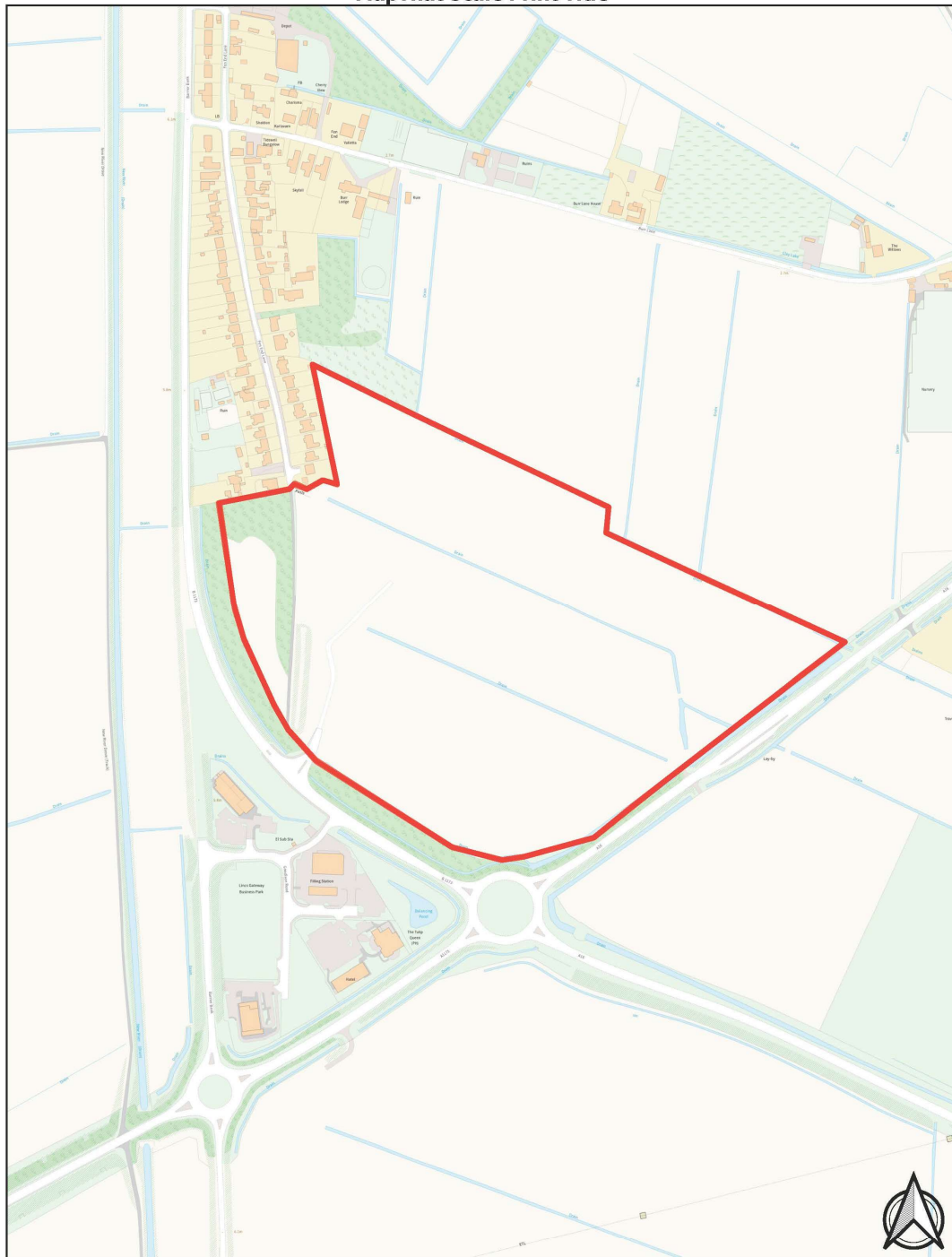
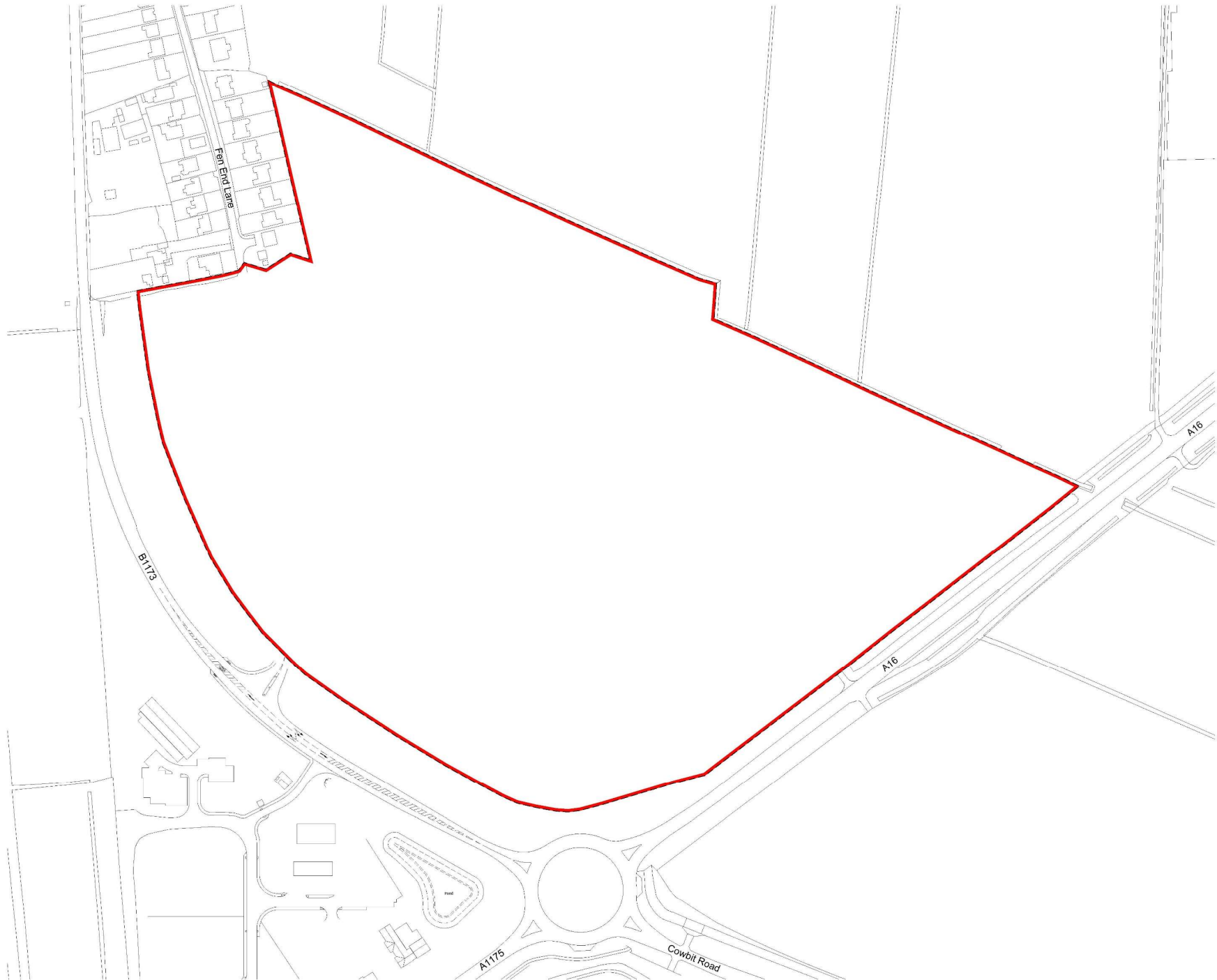


# Welcome to the Planning Committee

MapThat Scale Print Title







- Dimensions are in millimetres unless stated otherwise.  
 - Scaling of this drawing is not recommended.  
 - It is the recipient's responsibility to print this document to the correct scale.  
 - All relevant drawings and specifications should be read in conjunction with this drawing.



— Planning Application Boundary  
 46.01 acres (18.62 acres)

P-01 Initial Issue RS DEB 24.04.22

rev. amendments by | skd | date

Lincs Gateway, Spalding, Lincolnshire

Site Location Plan  
 Information Container LOD: LOD 100

Alcan Properties Ltd



Newark Beacon, Calfeys Way, Newark, Nottinghamshire NG24 2TN  
 +44 (0)1638 652077 info@umcarchitects.com

RIBA PpW Stage:	1 - Preparation & Brief
Document Suitability:	SI
Drawn / Checked:	RS / DEB
Date:	22/04/2022
Scale:	1:250 A1
UMC Project Number:	22119
Document Reference:	Drawing no. P03
22119 - LMC - XXXX - SI - DR - A	0501

25m SCALE 1:250



- Dimensions are in millimeters, unless stated otherwise.  
 - Scaling of this drawing is not recommended.  
 - It is the responsibility of the user to check the drawing to the correct scale.  
 - All relevant drawings and specifications should be read in conjunction with this drawing.



- Commercial Planning Application Boundary**  
18.02 ha (44.01 acres)
- Development Zone - Area for Use Classes:**  
Use Classes: B9 storage and distribution / ancillary offices (Use Class E(g)(1)).  
To comprise buildings up to a maximum height above FFL of 21m, earthworks, hard and soft landscaping, car parking, infrastructure and SuDS features.
- Landscape Buffer**  
To comprise landscaping and areas of bunding / minor earthworks
- Infrastructure Zone**  
To comprise earthworks, hard and soft landscaping, car parking, infrastructure and SuDS features.
- No buildings within this area**
- Maximum building heights limited to 15m above finished floor level within this area.**

**Development Zone A**  
 Max Building Ridge Height Above FFL 21.00 m  
 Max Floorspace: 62,650 m<sup>2</sup>

rev	amendments	by	date
	Lincs Gateway, Spalding, Lincolnshire		

Parameters Plan	
Information Container: LOD	LOD 100

Alcan Properties Ltd



Newark, Boston, Colfords Way, Newark, Nottinghamshire NG24 2TN  
 +44 (0)1638 653027 info@umcarchitects.com

RIBA PwW Stage:	1 - Preparation & Brief
Document Suitability:	SI
Drawn / Checked:	RAM / CA
Date:	24.03.2023
Scale:	1:1000 A1
UMC Project Number:	22119
Document Reference:	Drawing no: 0604
22119 - UMC - ZZZZ - SI - DR - A	Rev: 002

**PLANNING**  
 THIS DRAWING IS TO BE USED FOR THE STATED PURPOSE ONLY AND SHOULD NOT BE USED FOR ANY OTHER









Photo showing start of bridleway at end of Fen End Lane



Photo looking from Burr Lane across the site



Photo looking from in the site towards main entrance



Photo from top of existing bund near to entrance looking NE across the site





Photo looking from entrance of site SE across to recently built services and Gatewa Business Park



Photo looking from entrance of site to north on Cowbit Road



Photo looking directly onto access into the site



Photo looking at access of the site SW onto Cowbit road



Photo looking at access of the site looking north up Cowbit road



Photo looking from Burr Lane across the site to SE





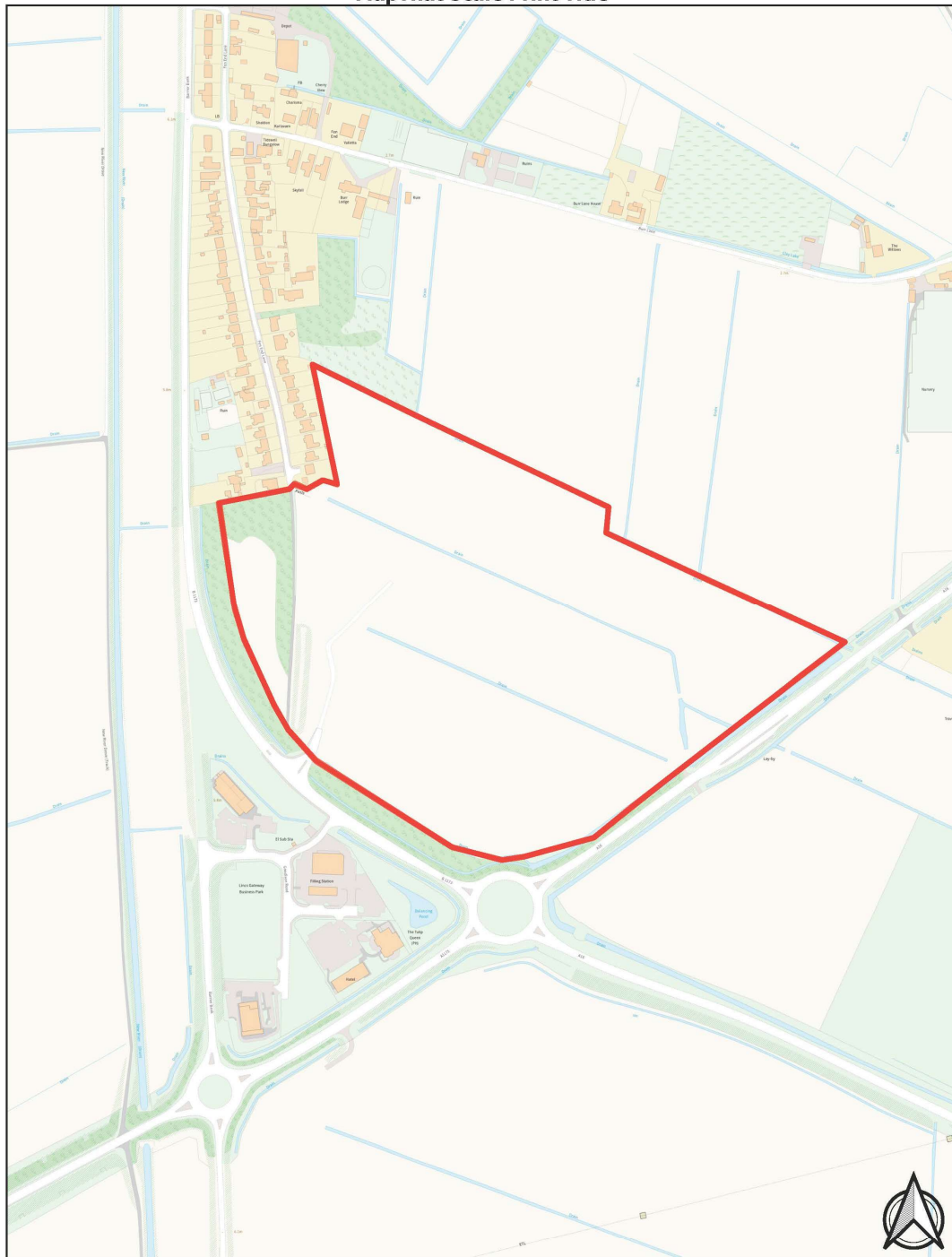
Photo looking from Burr Lane south across the site



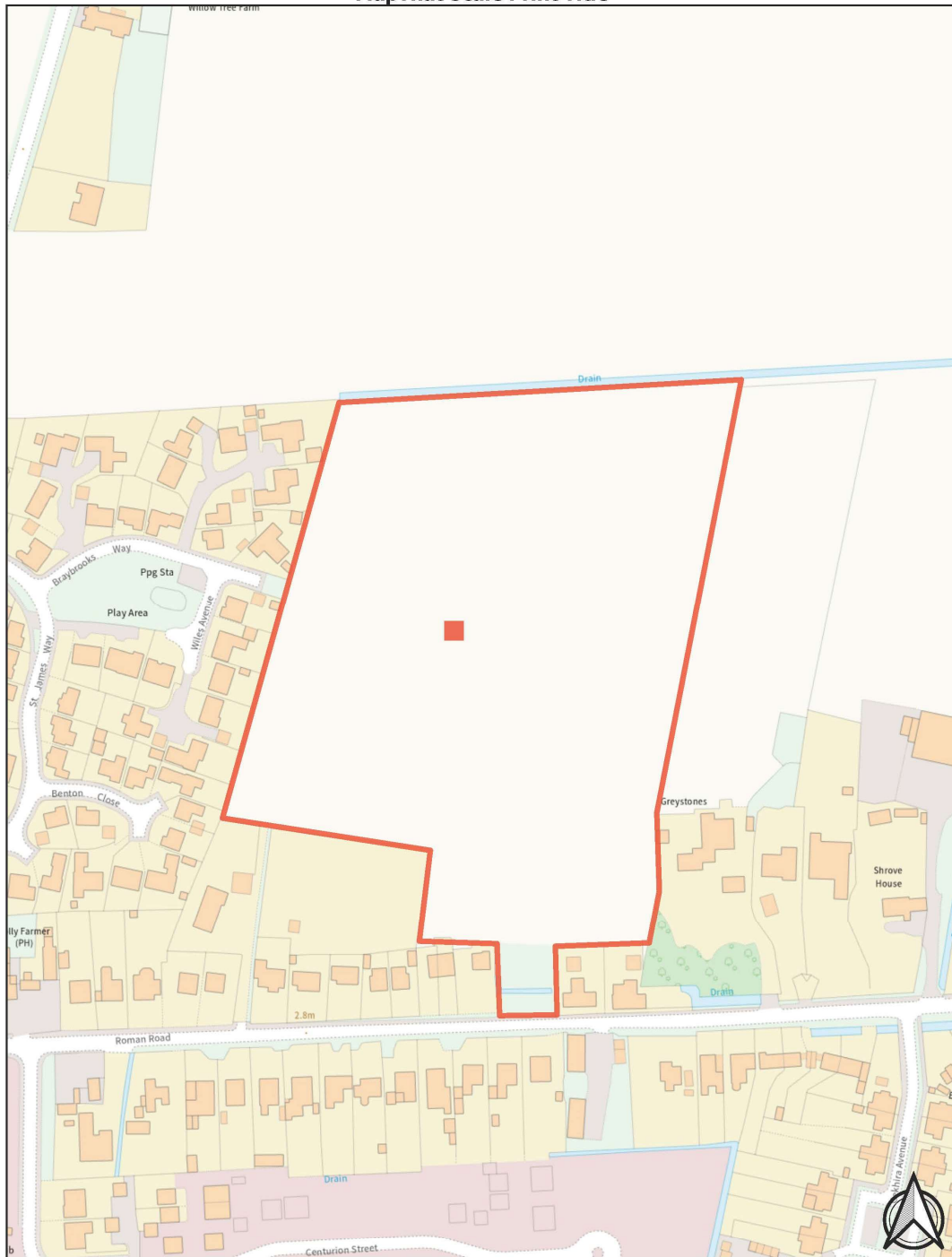
Photo looking from Burr Lane SW across the site



MapThat Scale Print Title











MATERIALS KEY	
<b>FACING BRICKS</b>	<b>ROOF TILES</b>
STAPLEFIELD STOCK	SANDY/TM CALDERALE SLATE
AIR BUFF HANDMADE	GREY
AIR MILDURA BUFF HANDMADE	SANDY/TM DOUBLE RAFFLE
HOLMBURY HANDMADE	BUSTIC
WHITE RENDER	
<b>SERVICES</b>	<b>BOUNDARY TREATMENTS</b>
WATER METER	1.8M LARCH LAP FENCE
GAS BOOM	1.8M CLOUT EDGED FENCE
ELECTRIC BOX	1.2M METAL ESTEY RAILING
DRAINAGE EASEMENT	POST AND RAIL FENCING
<b>SURFACE MATERIALS</b>	
ADOPTED TARMAC HIGHWAY (BS81)	SHEDD OFFSHOOTER APPROVED SOLIDS
PERMEABLE BLOCK PAVING	RETIRED APPROVED PAVES
ADOPTED LANDSCAPING (BS81)	PERSONNEL DOOR
TARMAC	PART W LEVEL ACCESS TO FRONT DOOR (ALL OTHERS MARKED AS OTHERWISE ON DRAWING)
MANAGEMENT COMPANY LANDSCAPING	DATE
PRIVATE LANDSCAPING	
FOOTPATH (WOODEN FENCED SLUR)	
EXTRA FACED MATERIAL	

<p><b>ALLISON HOMES</b></p>	
<p>ROMAN ROAD MOULTON CHAPEL</p>	
<p>CHARTER PLAN</p>	
DATE	BY
15/09/21	07.27.2021
DOE	DOB
DATE	BY
15/09/21	07.27.2021
DOB	DOB



LEGEND  
 Law Drain

GREEN LINE SHOWS THE MAIN WAY AS REQUIRED  
 WITH A MINIMUM WIDTH OF 4M AND A MINIMUM OF 2M CLEARANCE FROM THE PROPERTY AND  
 1M FROM THE ROAD

J	17.00.00	Level 100mm above ground level to be maintained and level to be maintained	1:100
I	21.00.00	100mm above ground level to be maintained	1:100
H	22.00.00	100mm above ground level to be maintained	1:100
G	30.00.00	100mm above ground level to be maintained	1:100
F	37.00.00	100mm above ground level to be maintained	1:100
E	38.00.00	100mm above ground level to be maintained	1:100
D	42.00.00	100mm above ground level to be maintained	1:100
C	47.00.00	100mm above ground level to be maintained	1:100
B	50.00.00	100mm above ground level to be maintained	1:100
A	52.00.00	100mm above ground level to be maintained	1:100

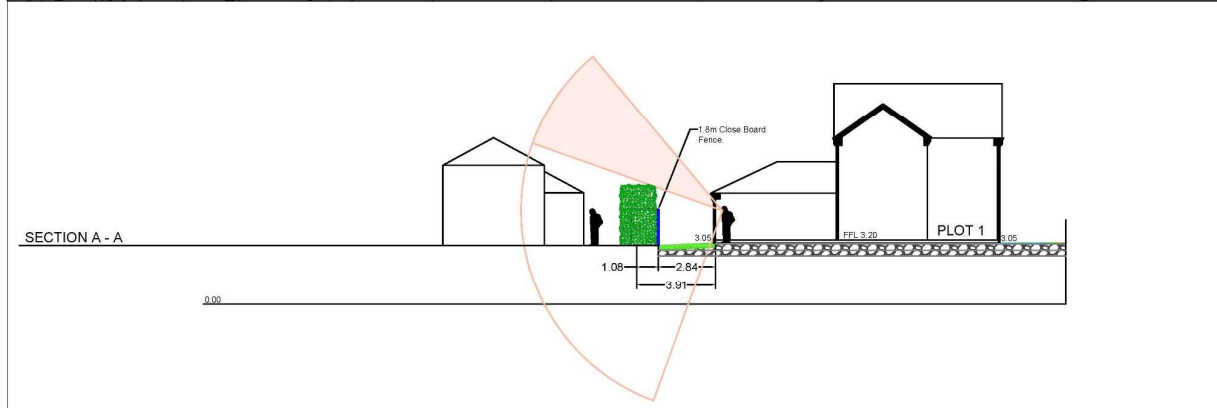
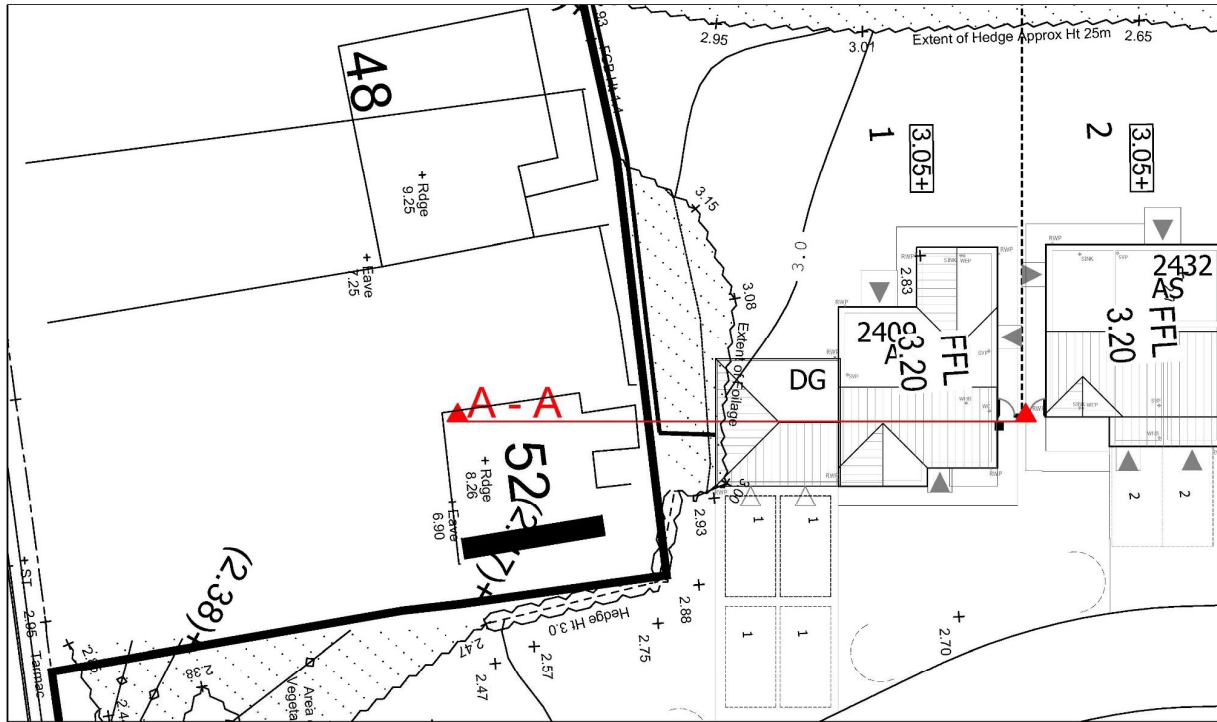
**ALLISON HOMES**  
 14 WILSON ROAD  
 SOUTHVIEW BUSINESS PARK  
 SOUTHVIEW  
 LEICESTERSHIRE  
 LE19 4RQ  
 TEL: 01753 261550

PROJECT  
**ROMAN ROAD  
 MOULTON CHAPEL**

DRAWING TITLE  
**PLANNING SECTIONS**

SCALE	DATE	DRAWN	APPROVED
NTS @ A1	02.08.22	DEM	-

FORM NO: 181/PLAN/SECTION/01  
 REVISION  
 J



NO.	DATE	DESCRIPTION	BY
1	20.09.22	Site levels, eave and ridge profiles issue	DEM
2	21.09.22	Final issue	DEM

ORIGINAL SIZE: 1000 x 1400 mm (A3)  
 NOTE: ALL DIMENSIONS, MATERIALS AND WORKMANSHIP TO BE ACCORDANCE WITH THE BEST PRACTICE AND BUILDING REGULATIONS.  
 DIMENSIONS SHALL PREVAIL OVER ANY DISCREPANCIES TO BE SHOWN ON THE TECHNICAL DRAWING.



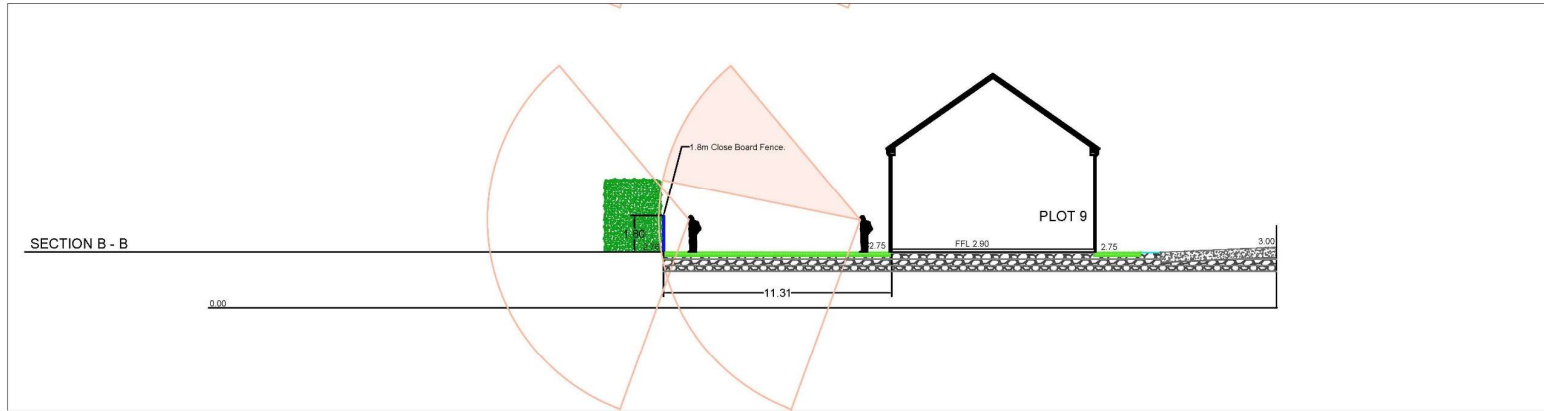
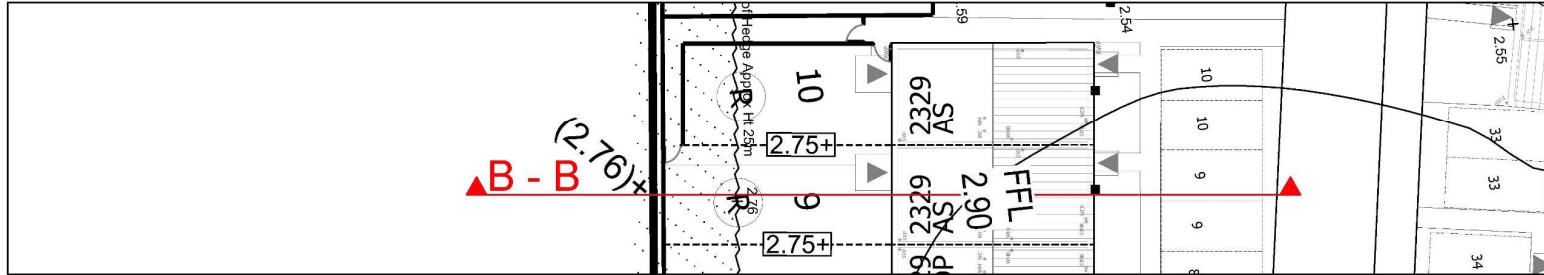
**ALLISON HOMES**

LARKFLEET HOMES  
 LARKFLEET HOUSE  
 SOUTH HILL, LUSCOMBE PARK,  
 SOURE, LINCOLNSHIRE  
 LE10 7JY  
 TEL: 01778 961550

PROJECT: **MOULTON CHAPEL**

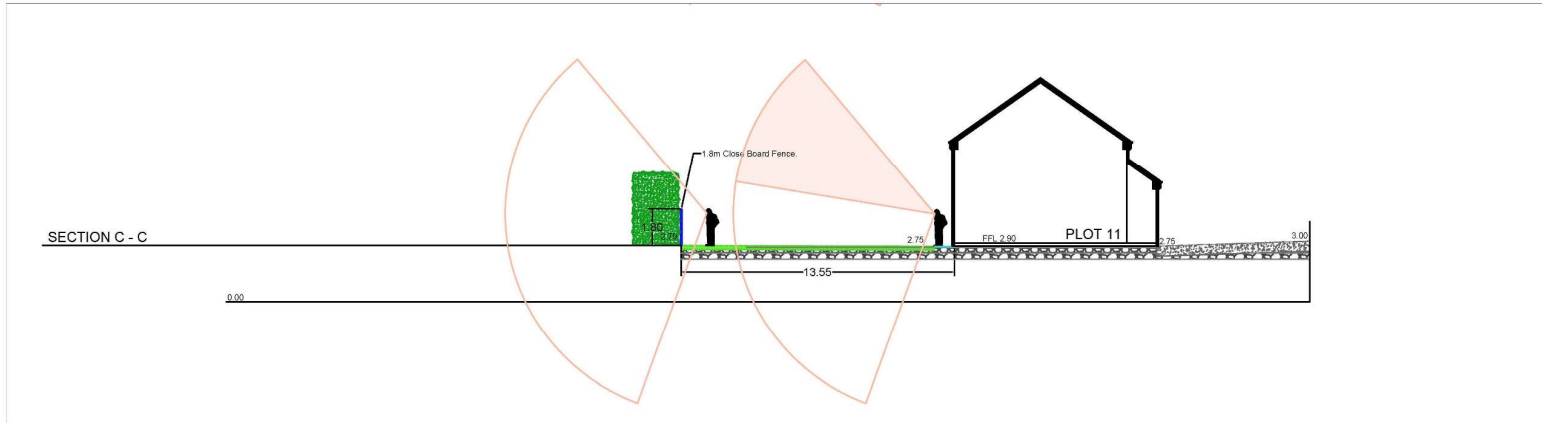
DRAWING TITLE: **SECTION A-A  
 PLOT 1**

SCALE: 1:250 @A3	DATE: 21.09.2022	STATUS: DEM	APPROVED: -
DRAWING NO: L181/SEC/A-A			REVISION: B



REVISION		DATE	DESCRIPTION	BY	CHECKED
1					
<p>NOTE: ALL DIMENSIONS IN METRES UNLESS OTHERWISE STATED. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.</p> <p>ORIGIN: SEE DRAWING TITLE FOR MORE INFORMATION.</p>					
<p><b>ALLISON HOMES</b></p>		<p>LARKFLEET HOMES LARKFLEET HOMES SOUTH BRILL, LUTON, BEDFORDSHIRE ENGLAND TEL: 01753 991550</p>			
<p><b>MOULTON CHAPEL</b></p>					
<p><b>SECTION B-B PLOT 9</b></p>					
SCALE:	1:250 @A3	DATE:	21.09.2022	DRAWN:	DEM
PROJECT NO.:	L181/SEC/B-B	REVISION:		REVISION:	B





NO.	SECTION	DATE	DESCRIPTION	BY	DATE
1					
2					

NOTE: ALL DIMENSIONS IN METERS UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.

ORIGIN: SEC/SEC-C

PROJECT: MOULTON CHAPEL

DRAWING TITLE: SECTION C-C PLOT 11

SCALE: 1:250 @A3 DATE: 21.09.2022 DRAWN: DEM CHECKED: -

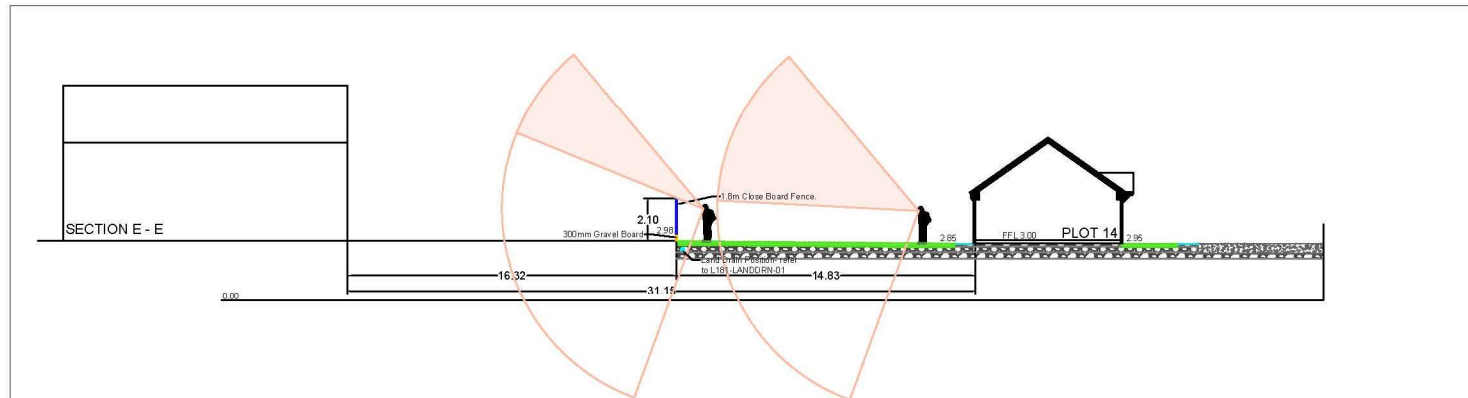
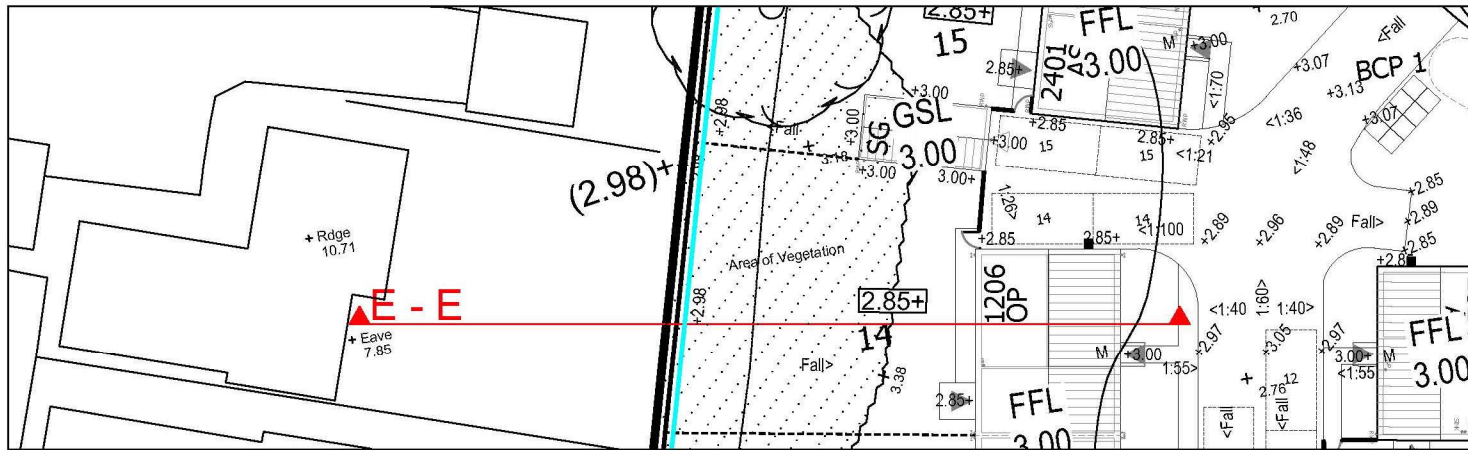
PROJECT NO: L181/SEC/C-C REVISION: B



**ALLISON  
HOMES**

LARKLETT HOMES  
LARKLETT HOUSE  
SCOTTS HILLS DRIVE, SPRING PARK  
SOMERSET  
LINCOLNSHIRE  
NE10 6PT  
TEL: 01773 961550





NO.	DATE	DESCRIPTION	BY
1	20.09.22	Issue plan and 2D/3D views (not for construction)	DM
2	20.09.22	Site visit	DM
3	20.11.22	Issue plan and 2D/3D views (not for construction)	DM
4	13.11.22	Final design and construction details	DM

NOTE: ALL DIMENSIONS REFERRED TO ARE IN METERS UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**ALLISON HOMES**

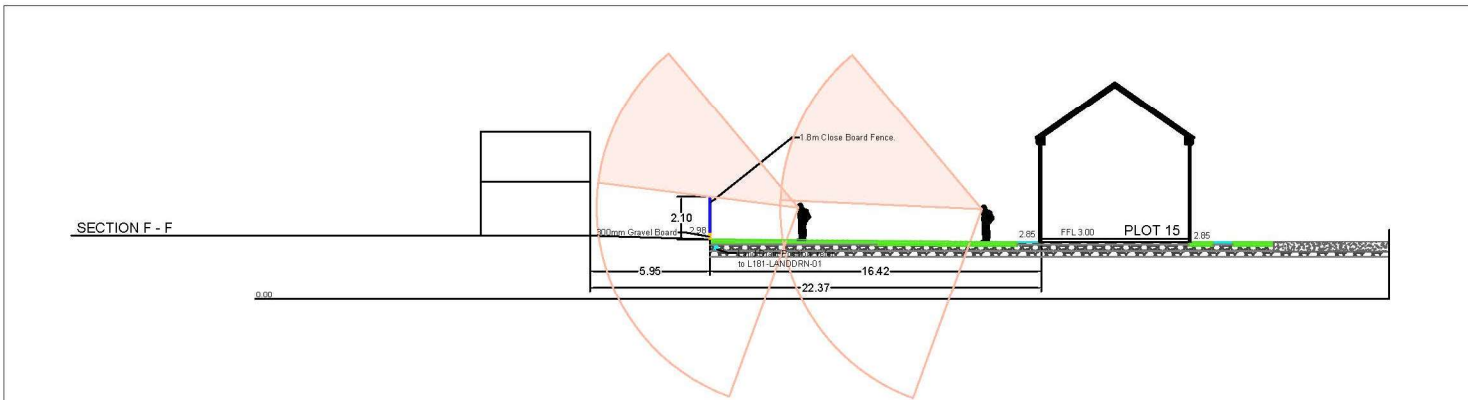
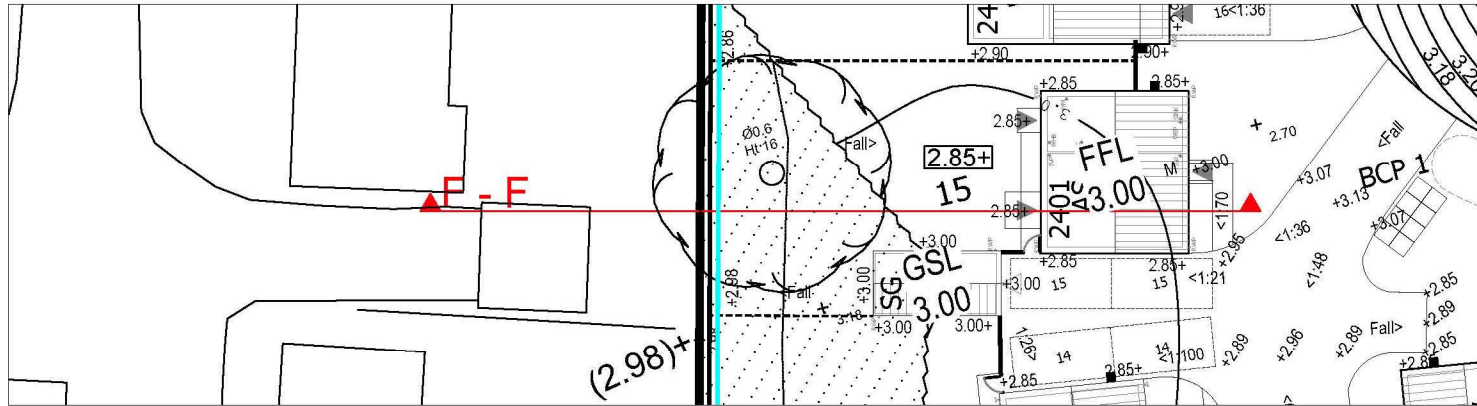
LA RIFLETT HOMES  
LA RIFLETT HOUSE  
SCURFIELD'S BUSINESS PARK  
8 COURSE  
LINCOLNSHIRE  
PE10 0FF  
TEL: 03 778 391 550

PROJECT  
**MOULTON CHAPEL**

SECTION E-E  
PLOT 14

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DM	-

FORMING NO. **L181/SEC/E-E** POSITION **D**



NO	DATE	DESCRIPTION	BY
1	21.09.22	Landmark and 200mm gravel board added to section	DEM
2	20.09.22	Site work updated	DEM
3	20.11.22	Levels amended to match to recent drawings. All existing wall construction to be removed and replaced with new concrete wall and brickwork to match.	DEM
4	18.11.22	Plot changes and structure to plot 15 finalised to date.	DEM

CONTRACT SIZE (MAY VARY FROM THIS PLAN) MAY BE REDUCED

NOTE: ALL DIMENSIONS REFERRED ARE INDICATIVE ONLY AND ACCORDANCE WITH THE INSTRUMENTS AND BOUNDARY SURVEYS.

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED WITH THE TECHNICAL OFFICE.

LAFFLETT HOMES  
LAFFLETT HOUSE  
SOURFIELD BUSINESS PARK,  
BOURNE  
LINCOLNSHIRE  
PE10 0FF  
TEL: 01778 391550

PROJECT

**MOULTON CHAPEL**

DRAWING TITLE

**SECTION F-F  
PLOT 15**

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DEM	-

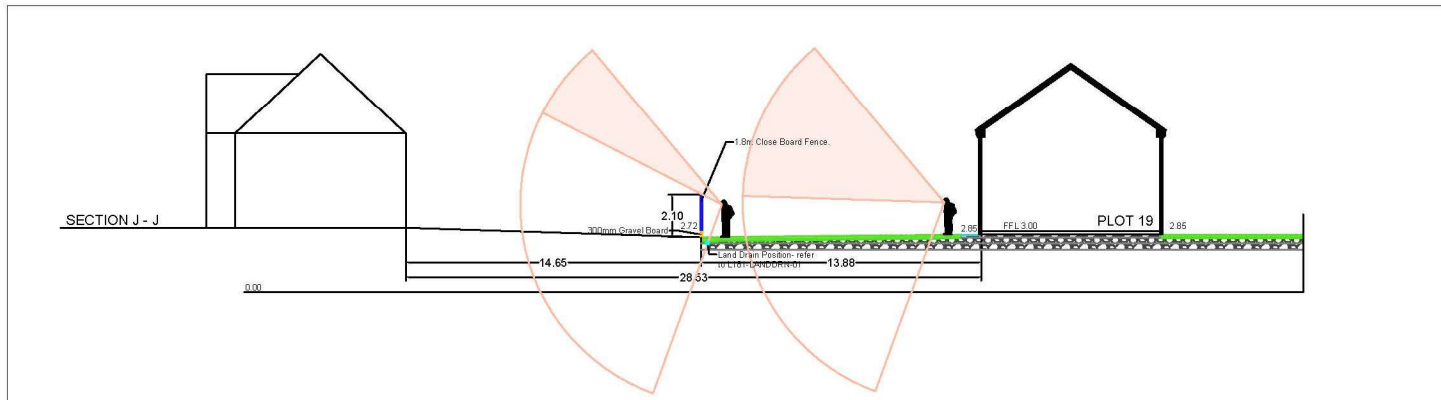
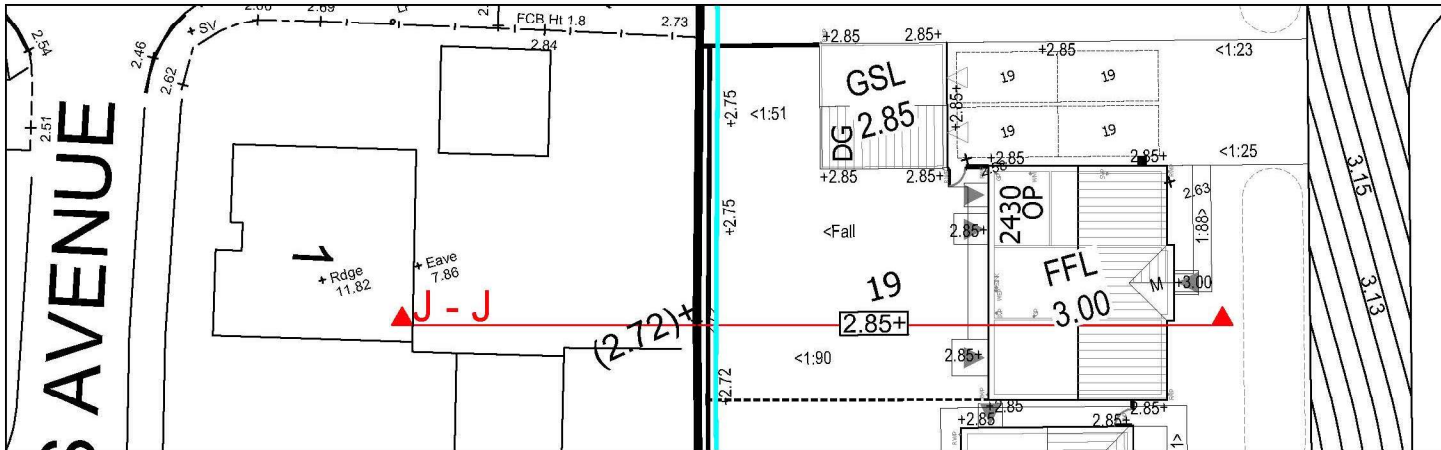
FORMING NO.	FOURTH
L181/SEC/F-F	D











0	21.08.21	Land Drain and 200mm Gravel Board added to section.	DEM
1	20.09.21	Site plan updated	DEM
2	20.11.21	Plans prepared for review by client drawing. All drawings are for information only.	DEM
3	13.11.22	Final changes and materials to provide final approved to suit.	DEM
REVISION	DATE	DESCRIPTION	STATUS

ORIGINAL SIZE (1000mm) - THIS PLAN MAY BE REDUCED

NOTE: ALL DIMENSIONS REFERRED ARE INDICATIVE ONLY AND ACCORDANCE WITH THE STANDARD OF AND BOUNDARY REQUIREMENTS.

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED WITH THE TECHNICAL OFFICE.

LA RIVER FLEET HOMES  
LA RIVER FLEET HOUSE  
SOUTHFIELDS BUSINESS PARK,  
8 COURNE  
LINCOLNSHIRE  
PE10 0FF  
TEL: 01778 391550

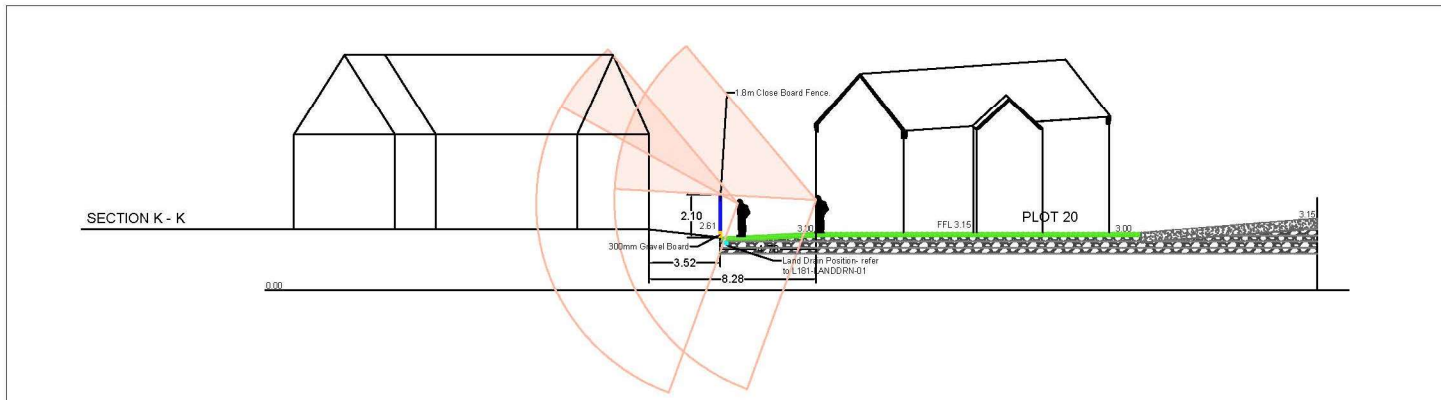
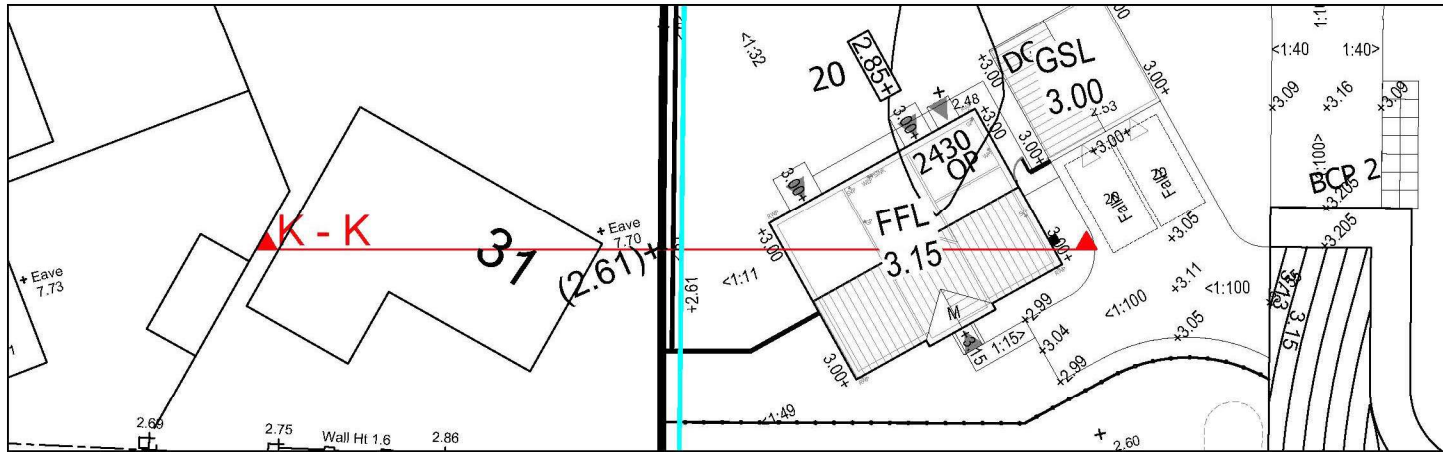
PROJECT

**MOULTON CHAPEL**

SECTION J-J  
PLOT 19

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DEM	-
FORMING NO.	FOUNDER		DESIGN
L181/SEC/J-J			D





0	20.08.20	Land Drain and 200mm gravel board added to elevation.	DEM
1	20.09.20	Site plan updated.	DEM
2	20.11.20	Notes prepared to match to final drawings. All drawings now complete.	DEM
3	13.12.22	Final changes and materials to provide final elevation to client.	DEM
REVISION	DATE	DESCRIPTION	BY

ORDINARY SIZE LINES - THIS PLAN MAY BE REDUCED

NOTE: ALL DIMENSIONS REFERRED ARE INDICATED BY AN ACCORDANCE WITH A VERTICALITY OF AND  
 BOUNDARY REQUIREMENTS.  
 DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE VERIFIED WITH THE TECHNICIAN OFFICE.

LA FLEET HOMES  
 LA FLEET HOUSE  
 SCURFIELD'S BUSINESS PARK,  
 8 COURNE  
 LINCOLNSHIRE  
 PE10 0FF  
 TEL: 03 778 391 550

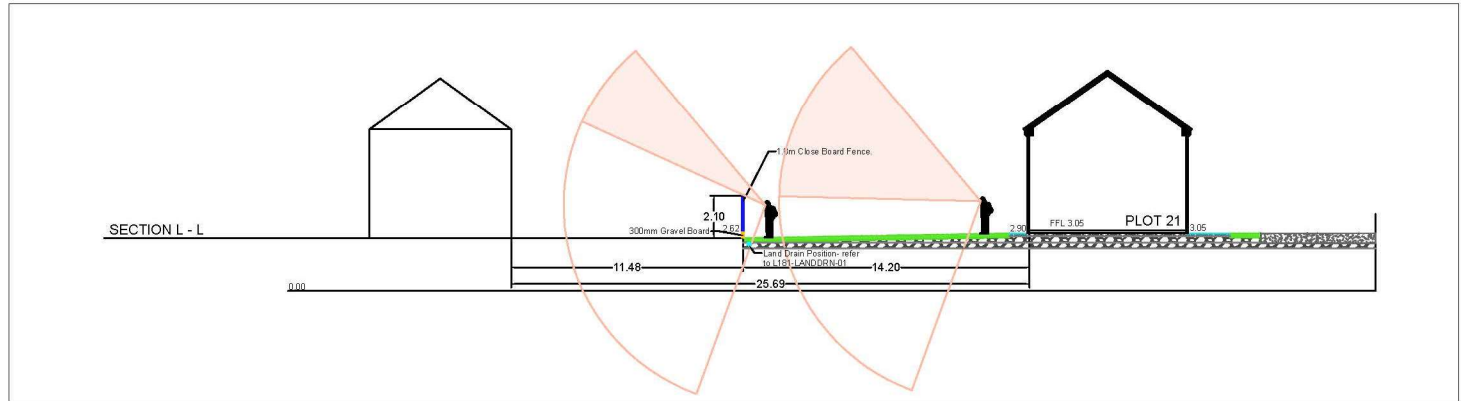
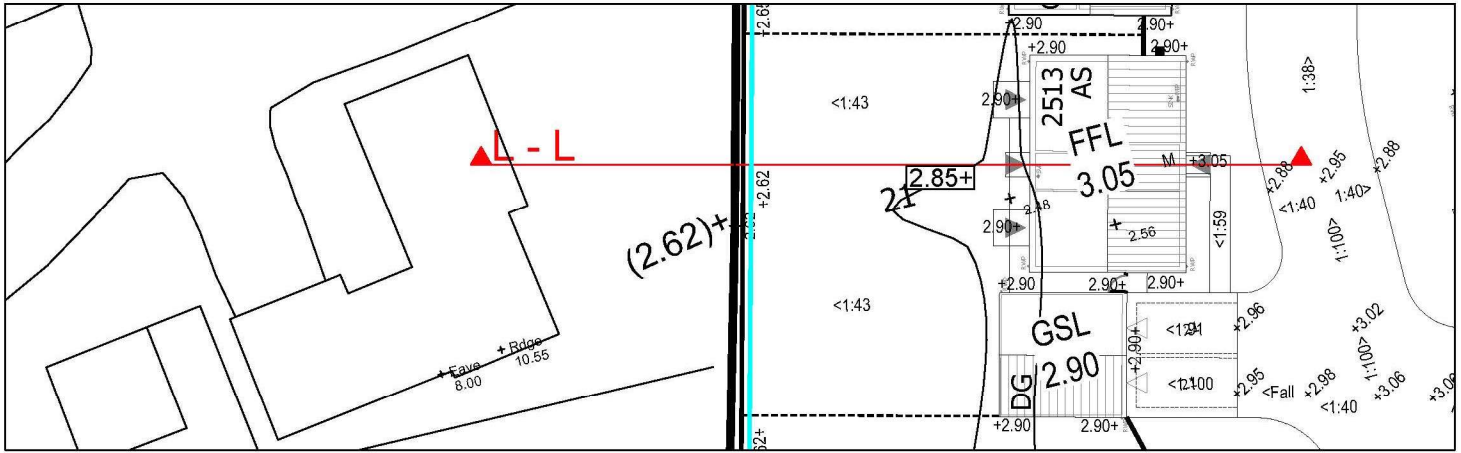
PROJECT

**MOULTON CHAPEL**

**SECTION K-K  
 PLOT 20**

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DEM	-

FORMING NO.	FOUNDER
L181/SEC/K-K	D



1	21.08.22	Land Mark and 2513 AS point must adhere to existing	DEM
2	20.06.22	Site Mark updated	DEM
3	20.11.22	Levels amended to match to recent surveying. Including final measurement from corner of 2513 AS and 2513 AS to existing	DEM
4	13.11.22	File changed and marked to provide final level available to plot	DEM
REVISION	DATE	DESCRIPTION	ISSUED

NOTE: ALL DIMENSIONS REFERRED TO ARE IN ACCORDANCE WITH THE METRIC SYSTEM AND SHOULD BE USED AS SUCH. THE PLAN MAY BE REDUCED.

NOTE: ALL DIMENSIONS REFERRED TO ARE IN ACCORDANCE WITH THE METRIC SYSTEM AND SHOULD BE USED AS SUCH. THE PLAN MAY BE REDUCED.

LA RIFLETT HOMES  
LA RIFLETT HOUSE  
SOURFIELD BUSINESS PARK  
8 COURNE  
UNINCORPORATED  
PERD OFF  
TEL: 03 778 391 550

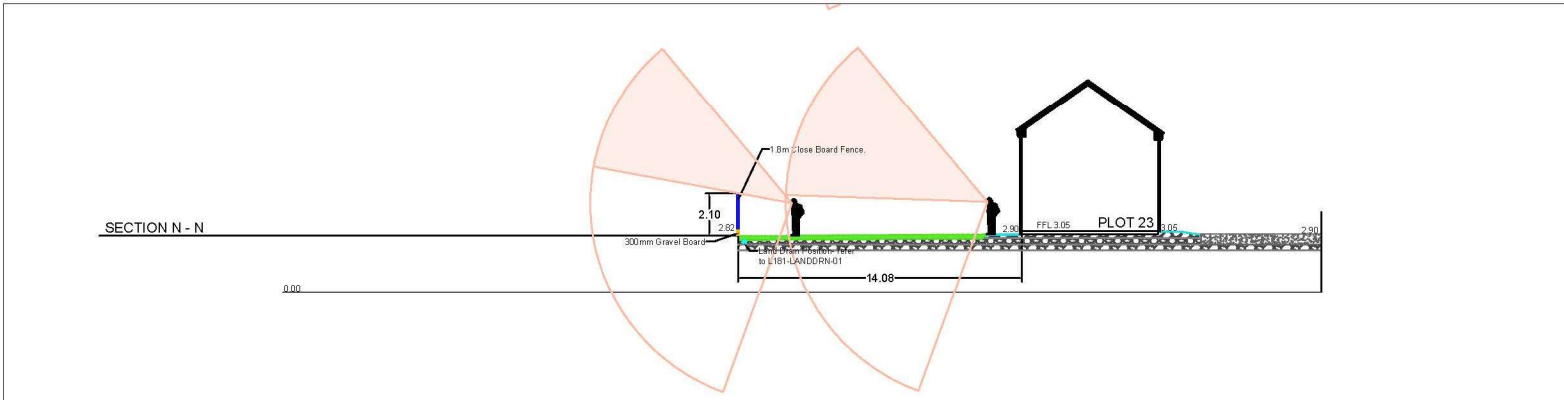
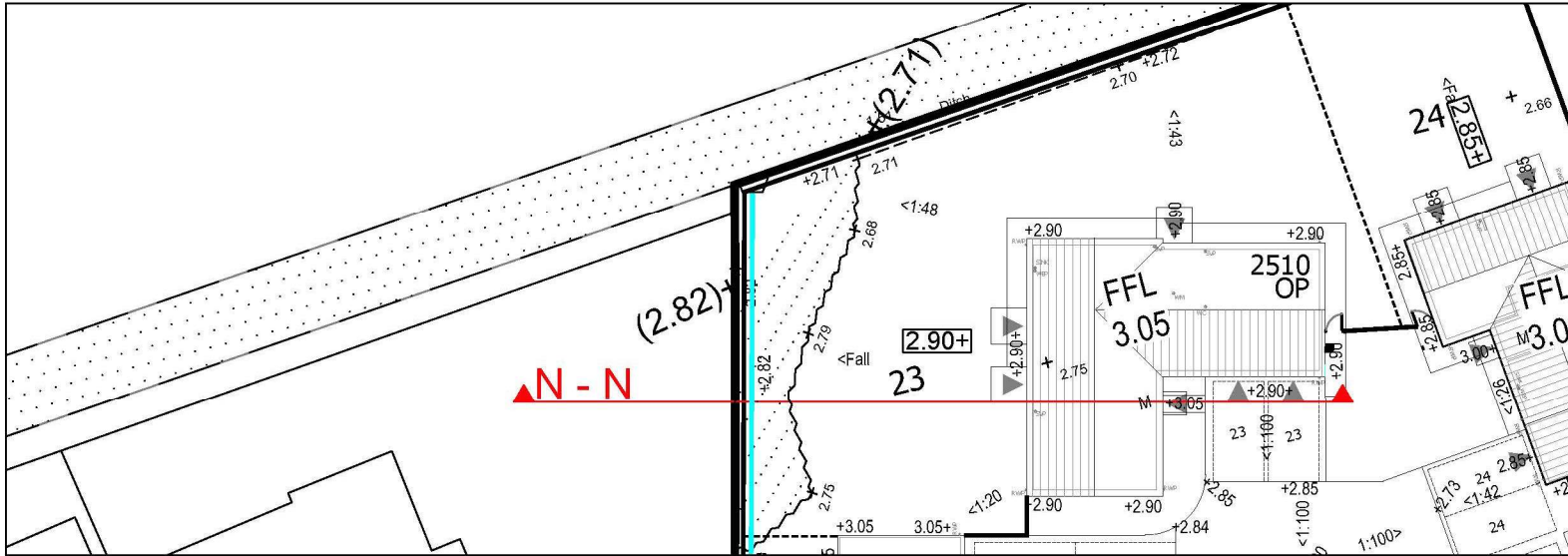
PROJECT  
**MOULTON CHAPEL**

SECTION L-L  
PLOT 21

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DEM	-

FORMING NO. **L181/SEC/L-L**      POSITION **D**





1	21.08.22	Land Drain and Storm Water Board added to existing	DRN
2	20.06.22	Site plan updated	DRN
3	20.11.22	Levels amended to match to final drainage, including roof overwater tank	DRN
4	13.11.22	Levels of ground level and final drainage amended	DRN
5	13.11.22	FFL changed and corrected to ground level amended to suit	DRN
REVISION	DATE	DESCRIPTION	ISSUED

ORDINARY SIZE LINES - THIS PLAN MAY BE REDUCED

NOTE: ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE TO FACE UNLESS STATED OTHERWISE AND UNLESS OTHERWISE SPECIFIED.

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED WITH THE TECHNICIAN OFFICE.

ALLISON  
HOMES

LA RIVER HOMES  
LA RIVER FLEET HOUSE  
SOURFIELD BUSINESS PARK  
8 COURNE  
LINCOLNSHIRE  
PE10 0FF  
TEL: 03 778 391 550

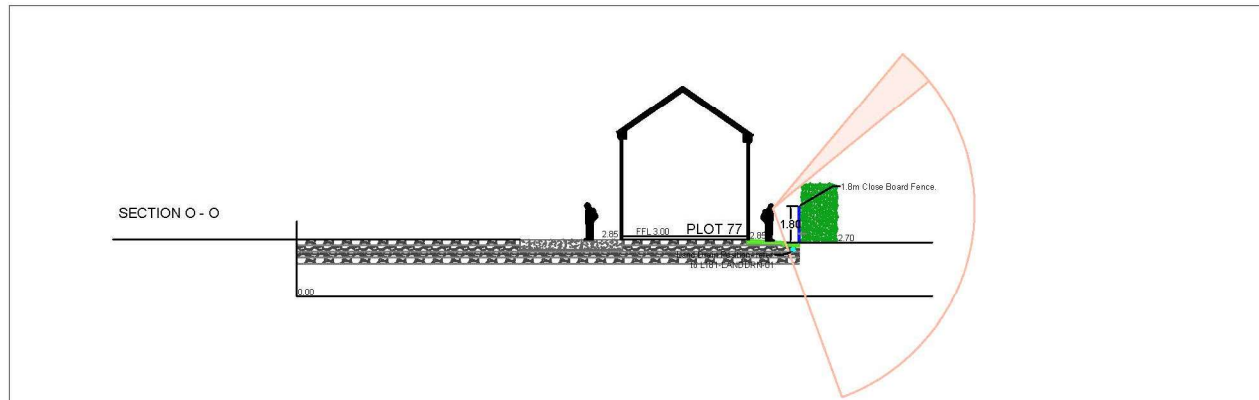
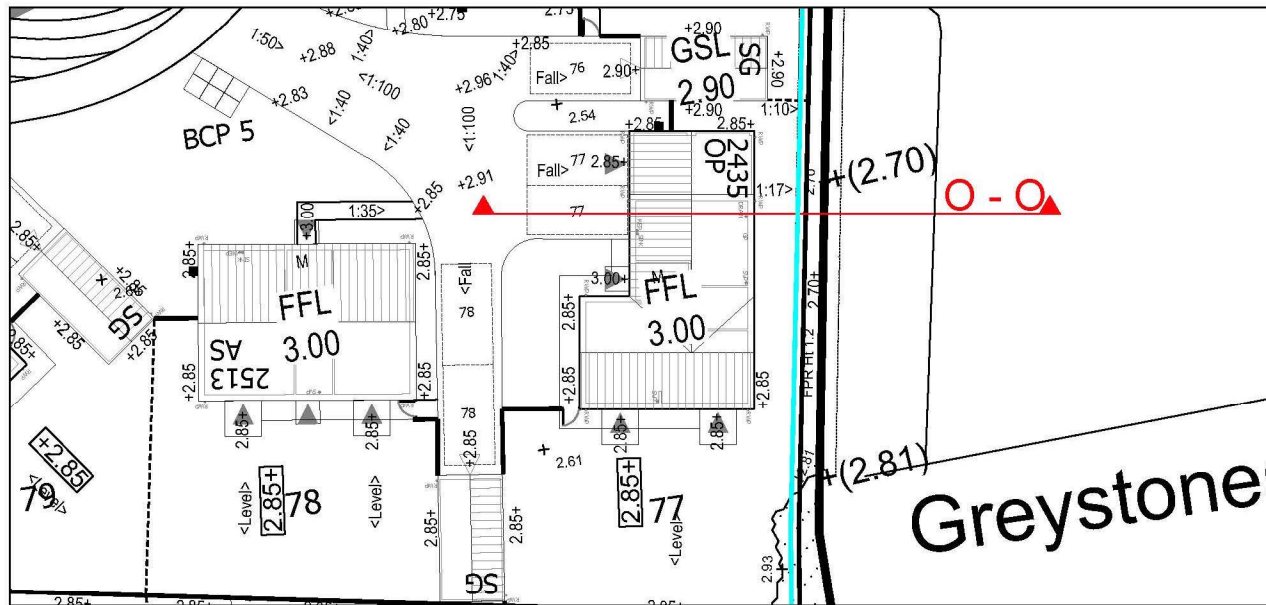
PROJECT


**MOULTON CHAPEL**

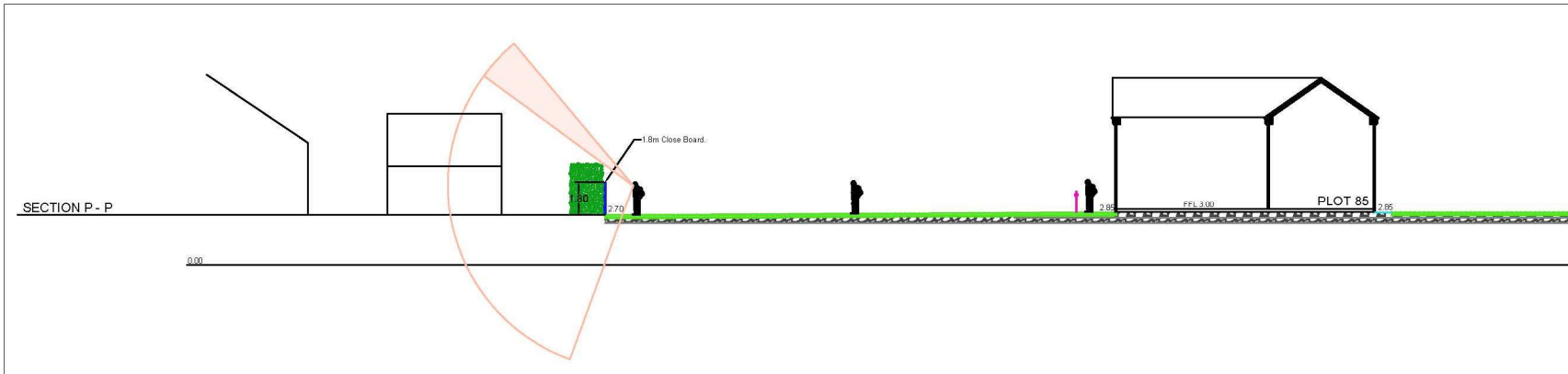
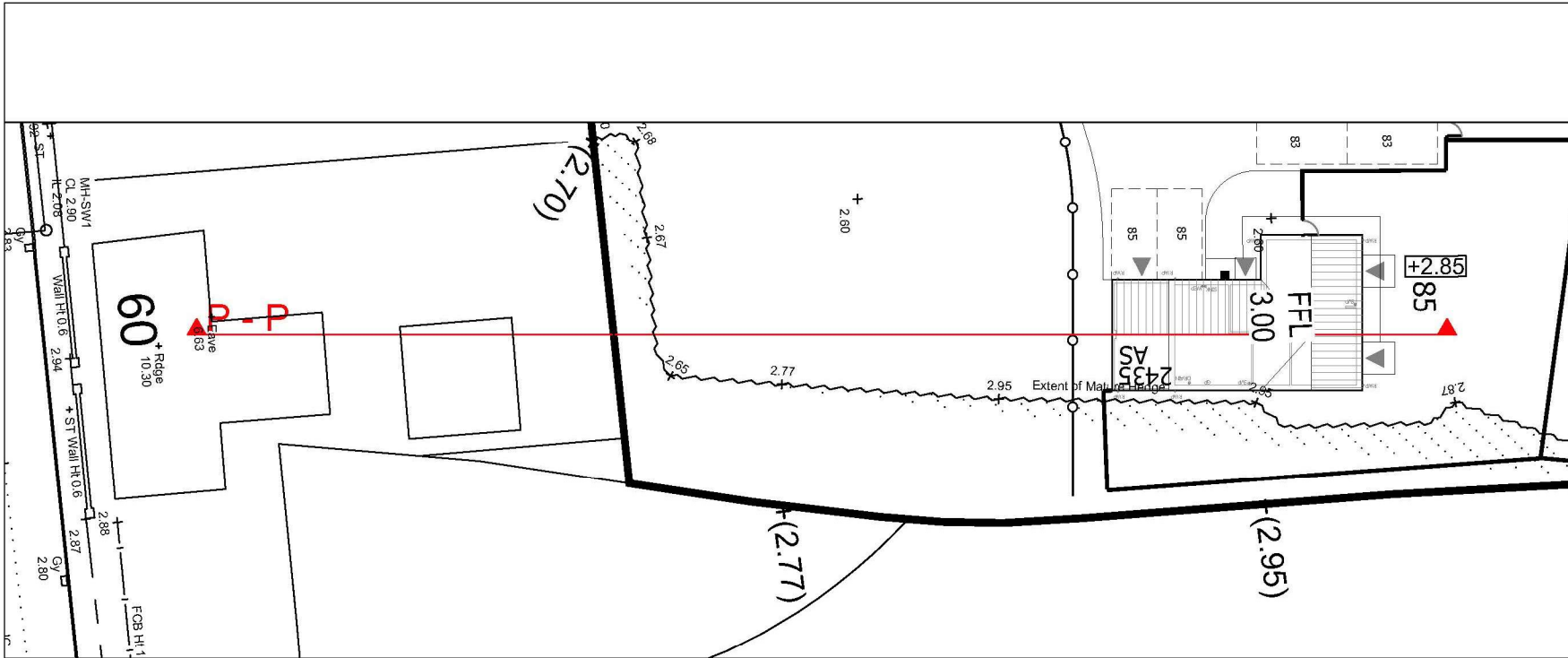
FRAMING TITLE

**SECTION N-N  
PLOT 23**

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DEM	-
FRAMING NO.	PROJECT NO.		STATUS
L181/SEC/N-N	D		



2	20.09.22	LAND RAIL, APPROVAL TRACKS & BRIDGES	DEM
1	20.09.22	SOA WITH LANDRAIL	DEM
1	20.11.22	LAND RAIL APPROVAL TRACKS	DEM
REVISION	DATE	DESCRIPTION	BY/APP
<small>ORIGINAL SIZE (A3) - THIS PLAN MAY BE REDUCED</small>			
<small>NOTE: ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE TO FACE UNLESS STATED OTHERWISE AND SHALL BE TO FACE UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.</small>			
 <b>ALLISON HOMES</b>		LAIRFLEET HOMES LAIRFLEET HOUSE SOUTHFIELDS BUSINESS PARK, 8 COURSE LINCOLNSHIRE PE10 0FF TEL: 03 778 391 550	
<b>PROJECT</b> MOULTON CHAPEL			
<b>SECTION O-O</b> PLOT 77			
SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DEM	-
FORMING NO.	FOOTING NO.		FOOTING
L181/SEC/O-O			C



REV	DATE	DESCRIPTION	BY
1	20.09.22	Site Work Update	DEM
2	20.11.22	Landmark and Street Name	DEM

ORIGINAL SIZE (A3) - THIS PLAN MAY BE REDUCED  
 NOTE: ALL DIMENSIONS REFER TO FACE UNLESS OTHERWISE STATED. VERTICAL DIMENSIONS OF PAVED AREAS REFER TO FINISH LEVEL.  
 DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE VERIFIED WITH THE TOWN PLANNING OFFICE.



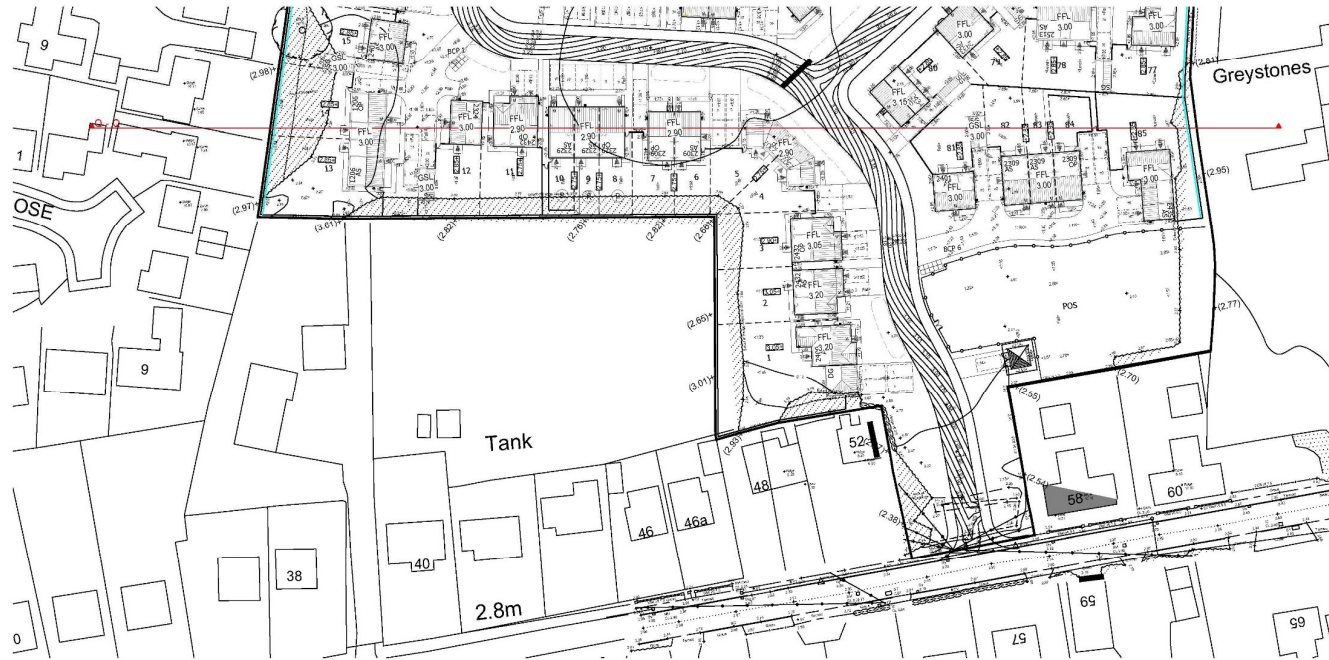
LAFFLEET HOMES  
 LAFFLEET HOUSE  
 SOUTHFIELDS BUSINESS PARK,  
 BOURNE  
 LINCOLNSHIRE  
 PE10 0FF  
 TEL: 01778 391550


PROJECT  
**MOULTON CHAPEL**

SECTION P-P  
 PLOT 85

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	21.09.2022	DEM	-
PERMITS NO.	L181/SEC/P-P		REVISION
			B



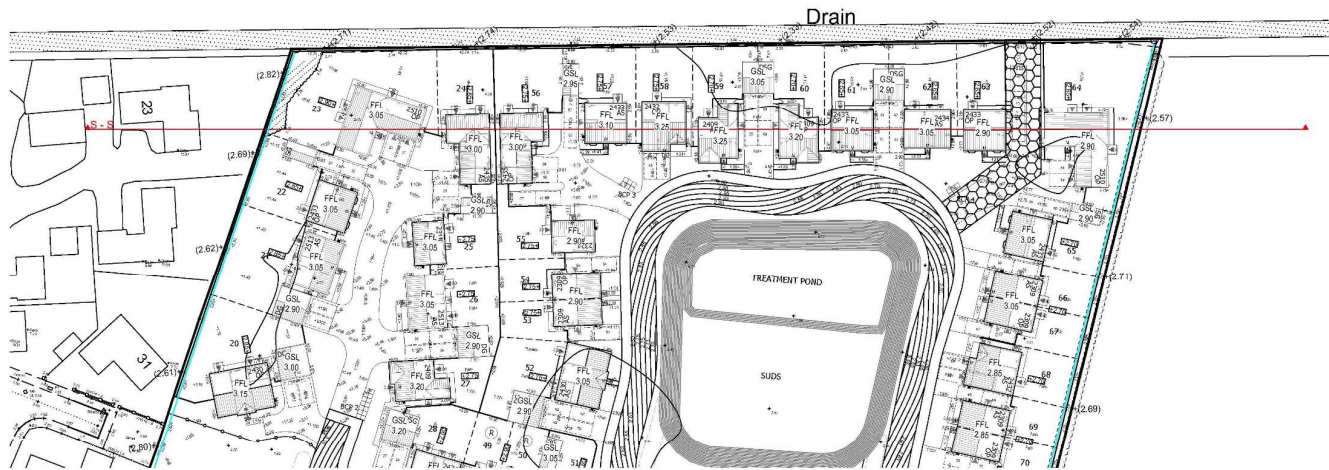


<small>ORIGINAL SIZE: 200mm x 297mm (A1)</small> <small>THIS DRAWING IS THE PROPERTY OF ALLISON HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALLISON HOMES.</small>			
 <b>ALLISON HOMES</b>		ALLISON HOMES LARRESEE HOMES SOUTHFIELDS BUSINESS PARK BURNHURST UNICOMBRIE PE10 0FF TEL: 01778 391500	
PROJECT <b>MOULTON CHAPEL</b>			
DRAWING TITLE <b>SECTION Q-Q          SITE WIDE FRONT</b>			
SCALE	DATE	DRAWN	APPROVED
1:125 @ A1	28.09.22	DEM	-
DRAWING NO.			REVISION
L181/SEC/Q-Q			D

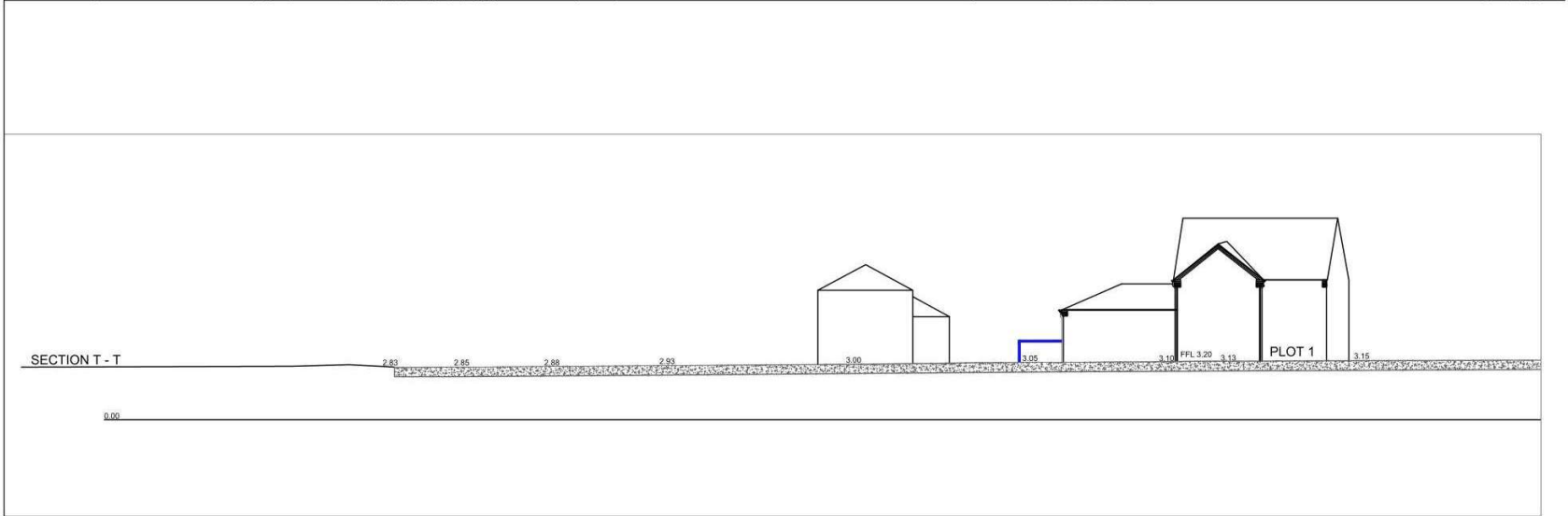
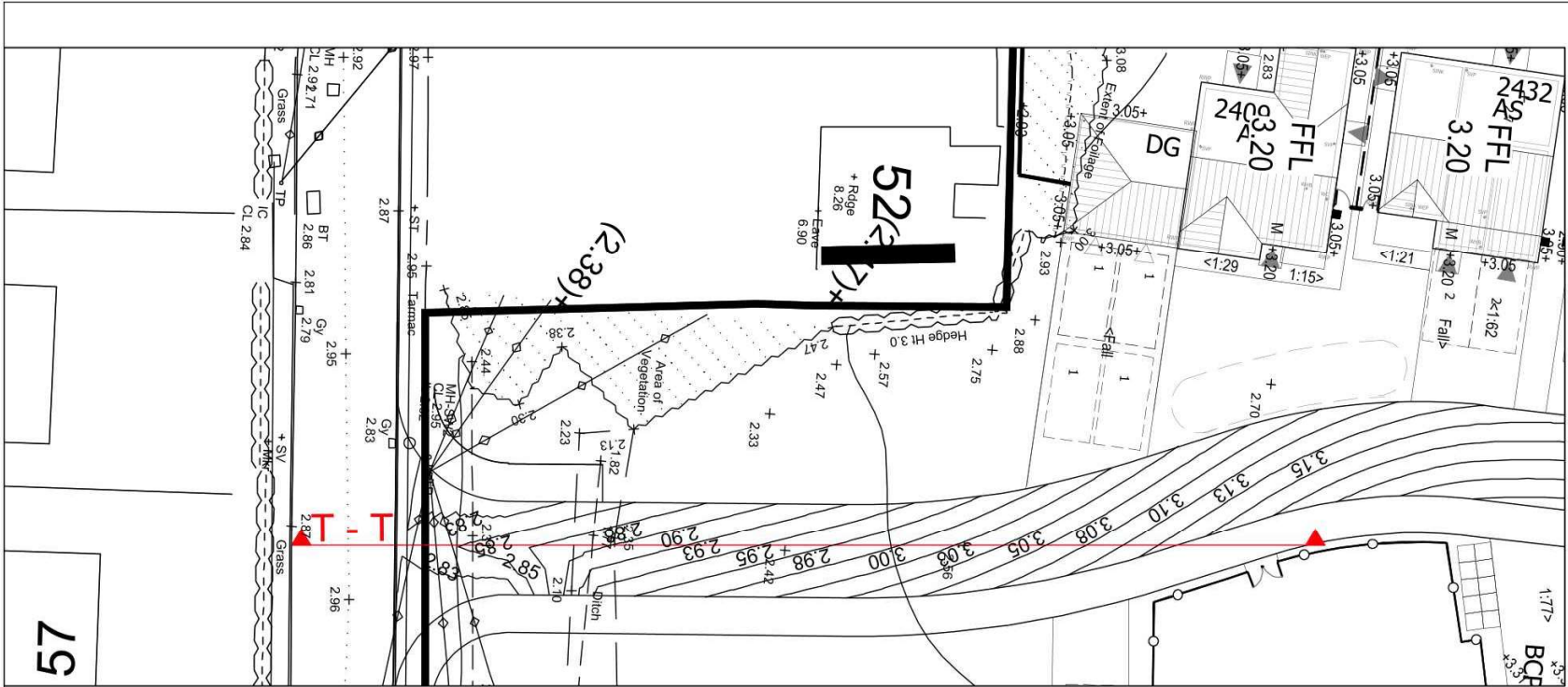


<small>NO. 1. ALL INFORMATION, FIGURES AND PERFORMANCE OF PERFORMANCE, THE DESIGNER'S WORKS AND THE DESIGNER'S WORKS. DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY INFORMATION NOT REPORTED TO THE RELEVANT OFFICE.</small>			
A	LAYOUT OF THE SITE AND THE GENERAL DESIGN OF THE BUILDING	E/C	
B	FFL CORRECTED	E/C	
C	<b>Site levels updated</b>	DEM	
D	LEVELS DETERMINED FROM THE SITE SURVEY AND THE SURVEYING DATA	DEM	
E	<b>Notes 12.22 FFL changed and maximum ground level amended to suit</b>	DEM	
REVISION	DATE	DESIGNER	DATE
			25/09/21
		ALLISON HOMES LARREY ROAD SOUTHFIELDS BUSINESS PARK BOURNE LINCOLNSHIRE PE10 0FF TEL: 01778 391500	
PROJECT			
<h2>MOULTON CHAPEL</h2>			
DRAWING TITLE			
<h3>SECTION R-R SITE WIDE CENTER</h3>			
SCALE	DATE	DRAWN	APPROVED
1:125 @ A1	28.09.22	DEM	-
DRAWING NO.			REVISION
<h3>L181/SEC/R-R</h3>			<h3>E</h3>





<small>THIS PLAN AND ALL INFORMATION HEREON IS THE PROPERTY OF ALLISON HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ALL INFORMATION IS TO BE USED AS A GUIDE ONLY. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.</small>			
C	31.08.22	Final site and driveway layout based on JCR.	EC1
D	30.09.20	As completed.	EC1
C	30.09.20	Site level updated.	EC1
B	28.09.22	Final site and driveway layout based on JCR.	EC1
A	28.09.22	Final site and driveway layout based on JCR.	EC1
REVISION	DATE	DESCRIPTION	BY/APP
		ALLISON HOMES LARSEN HOUSE SOUTHFIELDS BUSINESS PARK BOURNE LINCOLNSHIRE PE10 0FF TEL: 01778 391500	
PROJECT			
MOULTON CHAPEL			
DRAWING TITLE			
SECTION S-S SITE WIDE BACK			
SCALE	DATE	DRAWN	APPROVED
1:125 @ A1	28.09.22	DEM	-
DRAWING NO.			REVISION
L181/SEC/S-S			E



59

0	15.08.22	Site work complete	DEM
1	03.06.21	Site work complete	DEM
2	01.12.22	Final design issued	DEM
3	26.11.22	Final design issued	DEM
REVISION	DATE	DESCRIPTION	DRAWN

ORIGINAL SIZE (SCALE) THIS PRINT MAY BE REDUCED

NOTE: ALL DIMENSIONS, MATERIALS AND WORKMANSHIP TO BE ACCORDANCE WITH BRICK VETERANAGE AND BUILDING REGULATIONS.

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE VERIFIED WITH THE TECHNICAL OFFICE

LARKLEET HOMES  
LARKLEET HOUSE  
SOUTHFIELDS BUSINESS PARK  
BOURNE  
LINCOLNSHIRE  
PE10 0FF  
TEL: 01778 391550

PROJECT

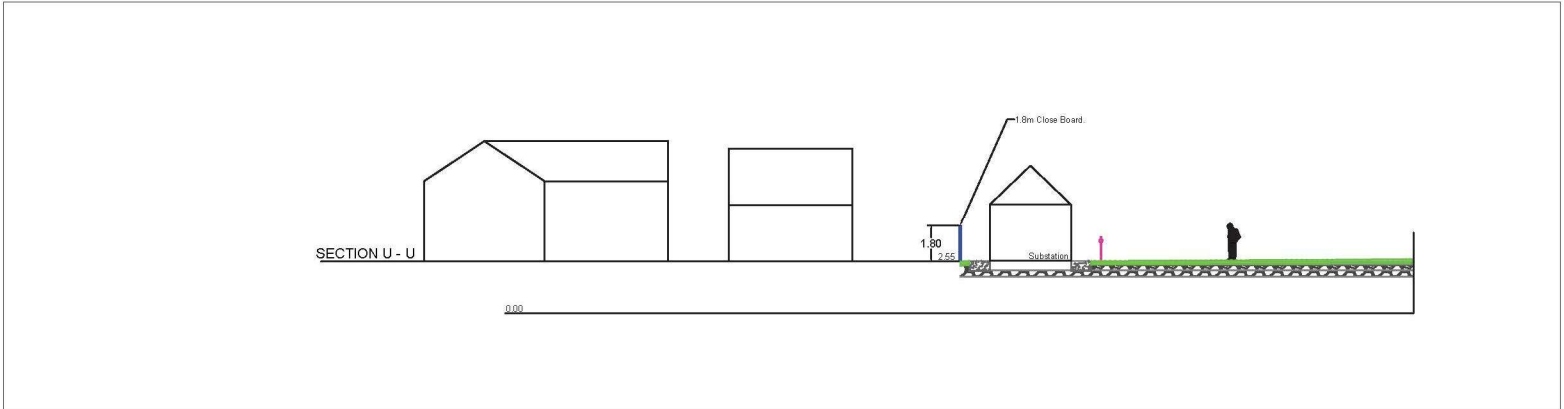
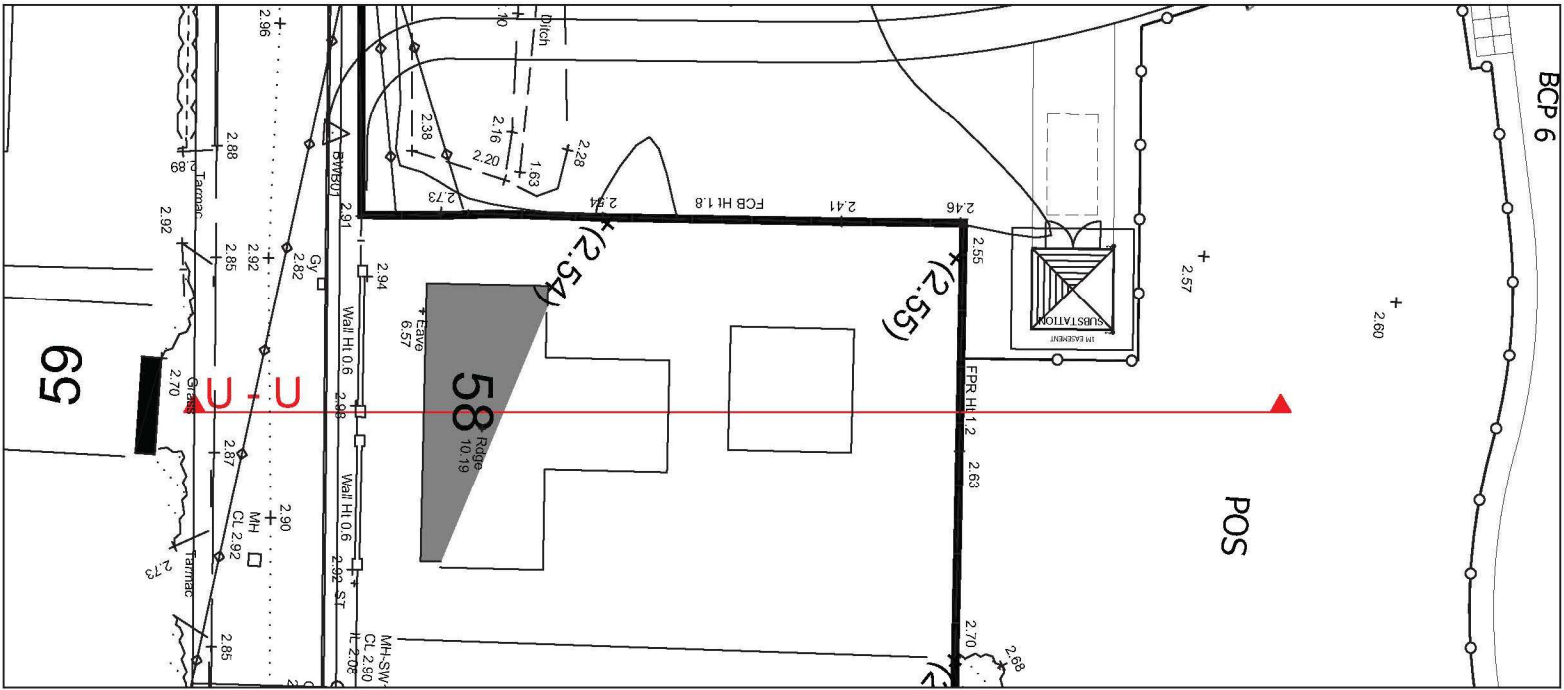
**MOULTON CHAPEL**


DRAWING TITLE

**SECTION T-T  
ENTRANCE ROAD**

SCALE	DATE	DRAWN	APPROVED
1:250 @A3	28.09.2022	DEM	-

DRAWING NO.	REVISION
L181/SEC/T-T	D



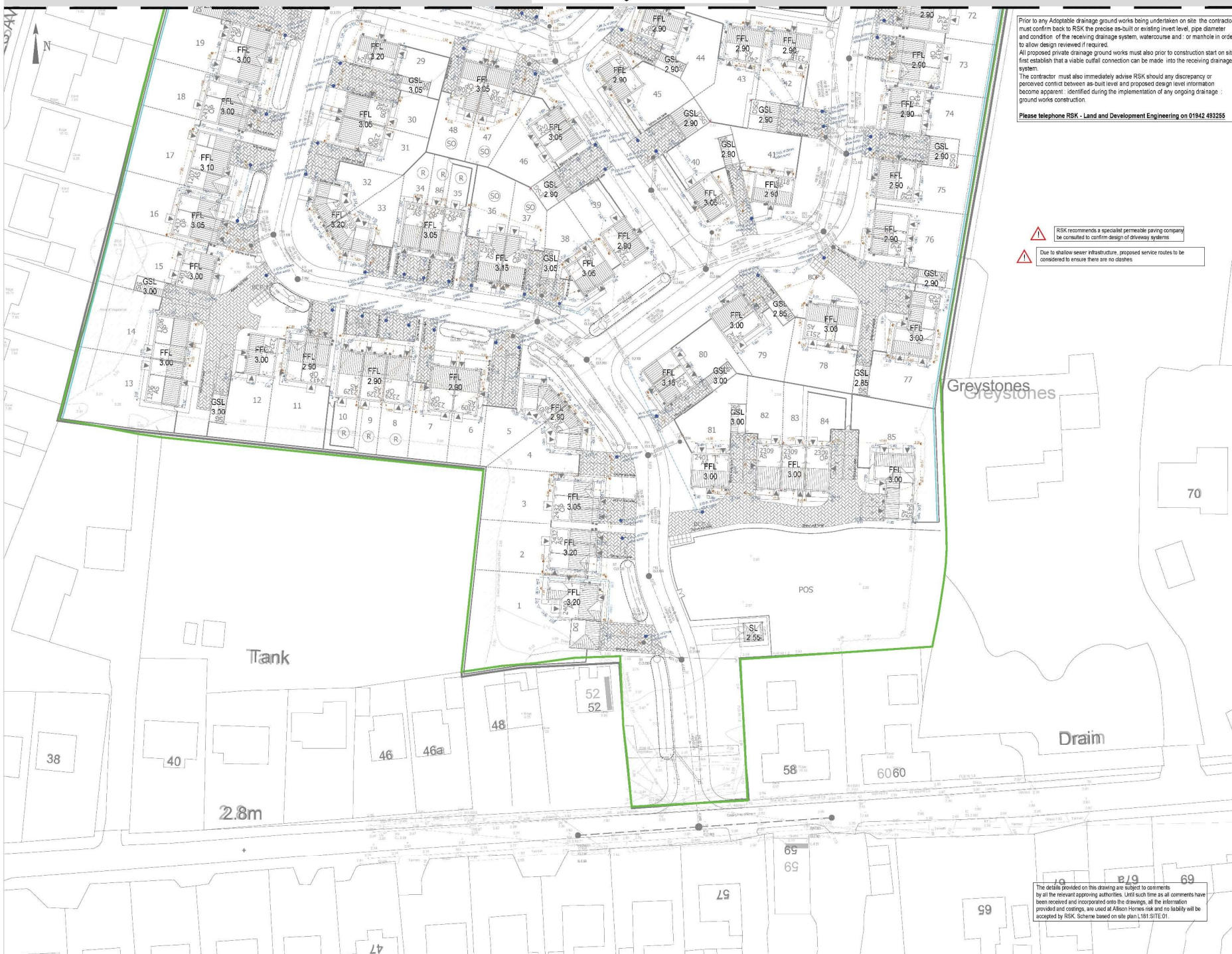
NO.	30.923	She with layout	CHK
REVISION	DATE	DESCRIPTION	BY
<small>ORIGINAL SIZE ONLY - THIS PLAN MAY BE REDUCED</small>			
<small>NOTE: ALL DIMENSIONS, UNLESS OTHERWISE SPECIFIED, ARE IN ACCORDANCE WITH THE DIMENSIONS OF ANY          RELEVANT REGULATIONS.          DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE PROVIDED WITH THE TECHNICAL OFFICE.</small>			
 <b>ALLISON HOMES</b>		LAIRFLEET HOMES LAIRFLEET HOUSE SOUTHFIELDS BUSHES PARK, BOURNE LINCOLNSHIRE PE10 0FF TEL: 07 778 391 550	
PROJECT			
MOULTON CHAPEL			
DRAWING TITLE			
SECTION U-U SUBSTATION			
SCALE	DATE	DRAWN	APPROVED
1:250 @A3	07.12.2022	DEM	-
DRAWING NO.			POSITION
L181/SEC/U-U			A











Prior to any Adoptable drainage ground works being undertaken on site the contractor must confirm back to RSK the precise as-built or existing invert level, pipe diameter and condition of the receiving drainage system, watercourse and/or manhole in order to allow design reviewed if required.  
All proposed private drainage ground works must also prior to construction start on site first establish that a viable outfall connection can be made into the receiving drainage system.  
The contractor must also immediately advise RSK should any discrepancy or perceived conflict between as-built level and proposed design level information become apparent: identified during the implementation of any ongoing drainage ground works construction.

Please telephone RSK - Land and Development Engineering on 01942 493255

- RSK recommends a specialist permeable paving company be consulted to confirm design of driveway systems
- Due to shallow sewer infrastructure, proposed service routes to be considered to ensure there are no clashes

CIVIL: STRUCTURAL DESIGN RISK MANAGEMENT

Approved in accordance with RSK associated with the design, including a copy of the drawings and any associated documents.

RSK Civil Ltd has followed Design Risk Management process for Final Design Review and has confirmed the design is suitable for construction. It is acknowledged that any errors or omissions are the responsibility of the client and RSK is not liable for any errors or omissions.

Notes:

1. The drawings to be read in conjunction with all engineering drawings, specifications and standards for the project.
2. This drawing has been prepared for design purposes only, and must not be used for construction.
3. All drains are connections to be 100mm diameter unless otherwise stated.
4. The drawings are made to scale, and where possible are shown to scale. All dimensions are given in millimetres and rounded up to the nearest millimetre.
5. Where pipes cross over buildings, unless stated, they are to be supported in concrete.
6. All drains shall be constructed, and to be subject to the contractor's design, and in the absence of any other information, they are to be constructed in accordance with the following:
7. House levels are Finished Floor Levels (FFL).
8. Figures quoted next to inspection chambers, rodding eyes or level lines in the drawings.
9. Private sewers are to be laid with a gradient to allow drainage to suit the proposed areas.
10. Where possible all design runs shall be a minimum of 10m from any existing road or footpath.
11. All drainage designs are subject to technical approval by the local authority. It is the responsibility of the contractor to ensure that the design is approved by the relevant authority.
12. The drawings are for design purposes only and are not to be used for construction.

Legend:

- Land Drain
- Development Boundary
- Finished Floor Level
- FFL 188.00
- Proposed 80mm rodding eye & drain
- Proposed 80mm inspection chamber & drain
- Surface water course graded aggregate
- Other unit
- Private Property subject to design by specialist
- Proposed 100mm access chamber
- Proposed 100mm inspection chamber & drain
- Proposed 100mm 1/2" water course and manhole
- Proposed 100mm 1/2" water course and manhole
- Proposed full water disposal connection
- Proposed surface water disposal connection

All private drainage to be 100mm diameter unless stated otherwise.

Notes:

1. The information on all aspects shall be in accordance with the Lincolnshire County Council Development Flood and Sustainable Drainage Design and Construction.
2. Where the contractor is required to design, the minimum length of all drains shall be 10m, unless stated otherwise in the drawings and with them all drains to be 100mm diameter.
3. General information of the existing highway drainage system shown through the site of the development shall be obtained from the Highway Authority and the contractor shall be responsible for obtaining the necessary information from the Highway Authority and the contractor shall be responsible for obtaining the necessary information from the Highway Authority.
4. No private floor water and discharge into the adjacent highway.
5. No private floor water and discharge into the adjacent highway.
6. No existing walls existing 1.5m or more shall be within 3.0m of the highway boundary.

Ref	Description	Rev	Date
01	Issue for Design	1	19/07/19
02	Issue for Construction	1	19/07/19
03	Issue for Construction	1	19/07/19
04	Issue for Construction	1	19/07/19
05	Issue for Construction	1	19/07/19
06	Issue for Construction	1	19/07/19
07	Issue for Construction	1	19/07/19
08	Issue for Construction	1	19/07/19
09	Issue for Construction	1	19/07/19
10	Issue for Construction	1	19/07/19

**RSK**  
LAND & DEVELOPMENT ENGINEERING LTD  
112 Church Road, Lincoln, Lincolnshire, LN4 1JH  
Tel: 01522 493255  
Fax: 01522 493256  
Email: rsk@rsk.co.uk  
www.rsk.co.uk

Client: Allison Homes  
Project Title: Moulton Chapel Spalding  
Status: DETAILED DESIGN  
Drawing Title: Private Drainage Sheet 2 of 2

Drawn	Check	Checked	Date	Approved	Date
JW	JUL 19	MAR	JUL 19		
Scale	1:250	City Size	A3	Drawn	
Project No:	881565	Sheet No:			
Drawing No:	40-15-02	Sheet	P7		

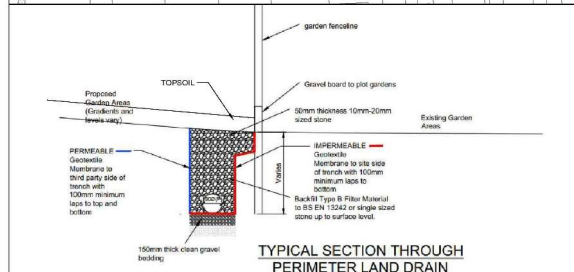
The details provided on this drawing are subject to comments by all the relevant approving authorities. Until such time as all comments have been received and incorporated onto the drawings, all the information provided and drawings, are used at Allison Homes risk and no liability will be accepted by RSK. Scheme based on site plan L181 SITE 01.



KEY

 LAND DRAIN POSITION

 IDB APPROVED OUTFALL



<p>ALLISON HOMES                  ROMAN ROAD                  MOULTON CHAPEL</p>			
<p>ROMAN ROAD                  MOULTON CHAPEL</p>		<p>DATE: 06/10/22                  DRAWN: DOB                  CHECKED: C</p>	
<p>PROJECT: L181/LANDDRN/01</p>			























Present site entrance



East of present entrance



West of present entrance



Present internal roadway





View to east from entrance roadway to No 58 Roman Road.



View to west from entrance roadway to No. 52 Roman Bank and Plot 1



Plots near entrance under construction



Proposed location of Plots 4-12





Southern boundary



Western boundary (Plots 13-15)



Western boundary (Plots 15-18)



Western boundary (Plots 18-19)





Western boundary (Plots 20-21)



Western boundary (Plots 22-23)



Internal roadway facing east



Eastern boundary

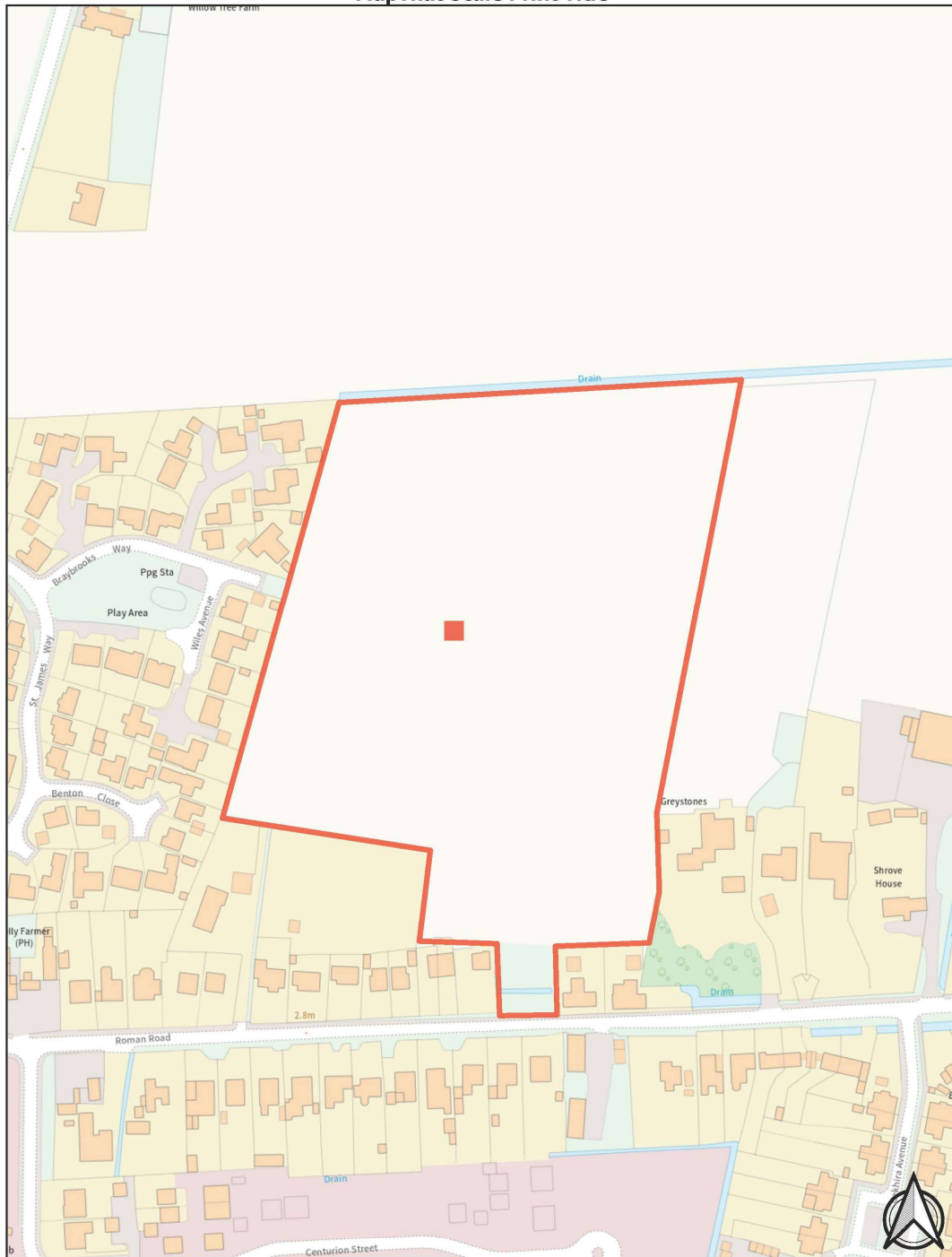




Eastern boundary facing Greystones



Entrance roadway facing Roman Road

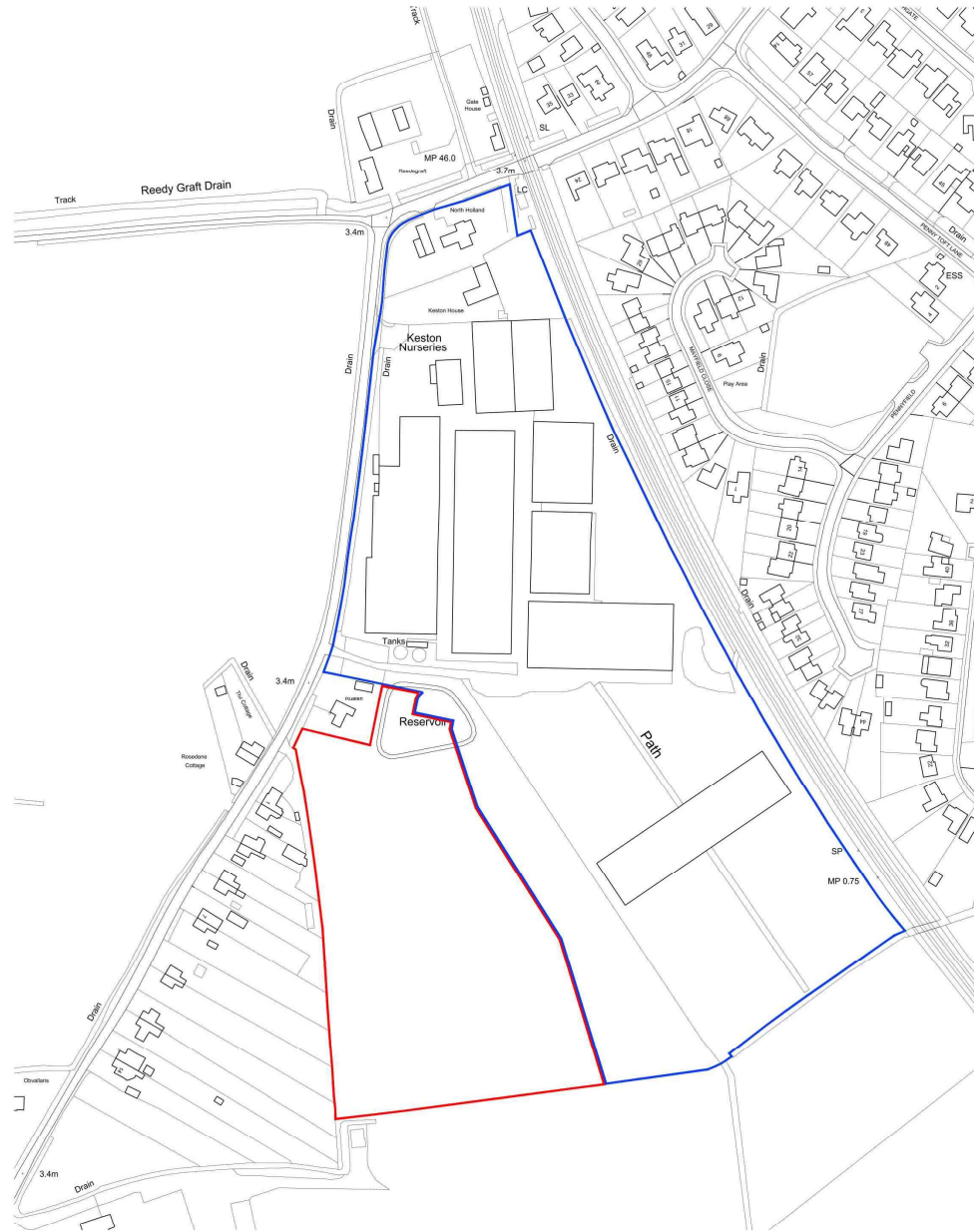






# MapThat Scale Print Title





**DRAWING ISSUES AND REVISIONS**  
 1. Issue: Design, 01/11/2022  
 2. Issue: Revise, 01/11/2022  
 3. Issue: Revise, 01/11/2022

**ldc** LANDSCAPE DESIGN CONSULTANTS  
 PROJECT | Phase 2 Development

DATE | September 2022  
 TITLE | Site Location Plan  
 SCALE | 1:1250  
 ORIGINAL SIZE | A1 (landscape)  
 DRAWING NUMBER | LDC2902g-PL-01

This drawing is the property of LDC and shall not be reproduced or used in any way without the written consent of LDC. The client shall be responsible for checking and verifying all dimensions, site data, and specifications and ensuring that the information is correct and up-to-date. All work shall be carried out in accordance with the current Building Regulations and other applicable legislation and standards. All drawings and specifications shall be subject to the current Building Regulations and other applicable legislation and standards. All drawings and specifications shall be subject to the current Building Regulations and other applicable legislation and standards.







REV A ADDITIONAL PLOTS 20.06.2023

**DRAWING ISSUES AND REVISIONS**  
 1. Issue: Design Corrections | 12 Midland Lane | South  
 2. Issue: Revise | 12 Midland Lane | South  
 3. Issue: Revise | 12 Midland Lane | South



DATE: September 2022  
 TITLE: Indicative Site Plan  
 SCALE: 1:500  
 ORIGINAL SIZE: A1 (Landscape)  
 DRAWING NUMBER: LDC2902a-PL-03a

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**Existing boundary landscaping visible through neighbouring garden**





**Dwellings constructed on main site**





**View over swale and existing dwellings in main site.**



**View of affordable housing on main site already constructed**





**Boundary landscaping**





**Neighbouring property**





**Existing dwellings constructed on main site.**





**Boundary landscaping when viewed from road. Part of neighbouring property's drive visible**

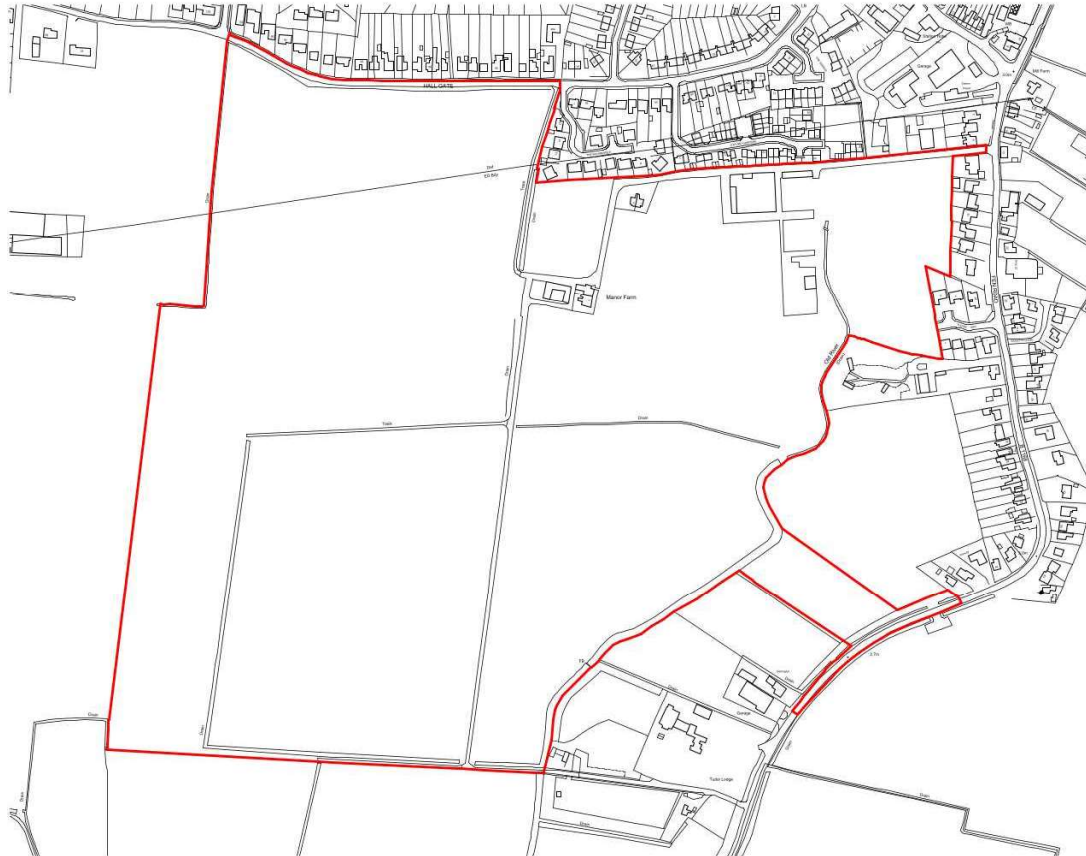


# MapThat Scale Print Title





Revision: \_\_\_\_\_ Date: \_\_\_\_\_



Architects - Project Managers - Quantity Surveyors  
130 New Walk  
Leicester, LE1 7JA  
Tel: 0116 204 5800, Fax: 0116 204 5801  
email: design@rg-p.co.uk, www.rg-p.co.uk

Project: Land South of Hall Gate,  
Holbeach, Lincolnshire

Client: Ashley King Developments

Sheet title: Location Plan @ A3

Ref: 7884 019

Scale: 1:5000 @ A3

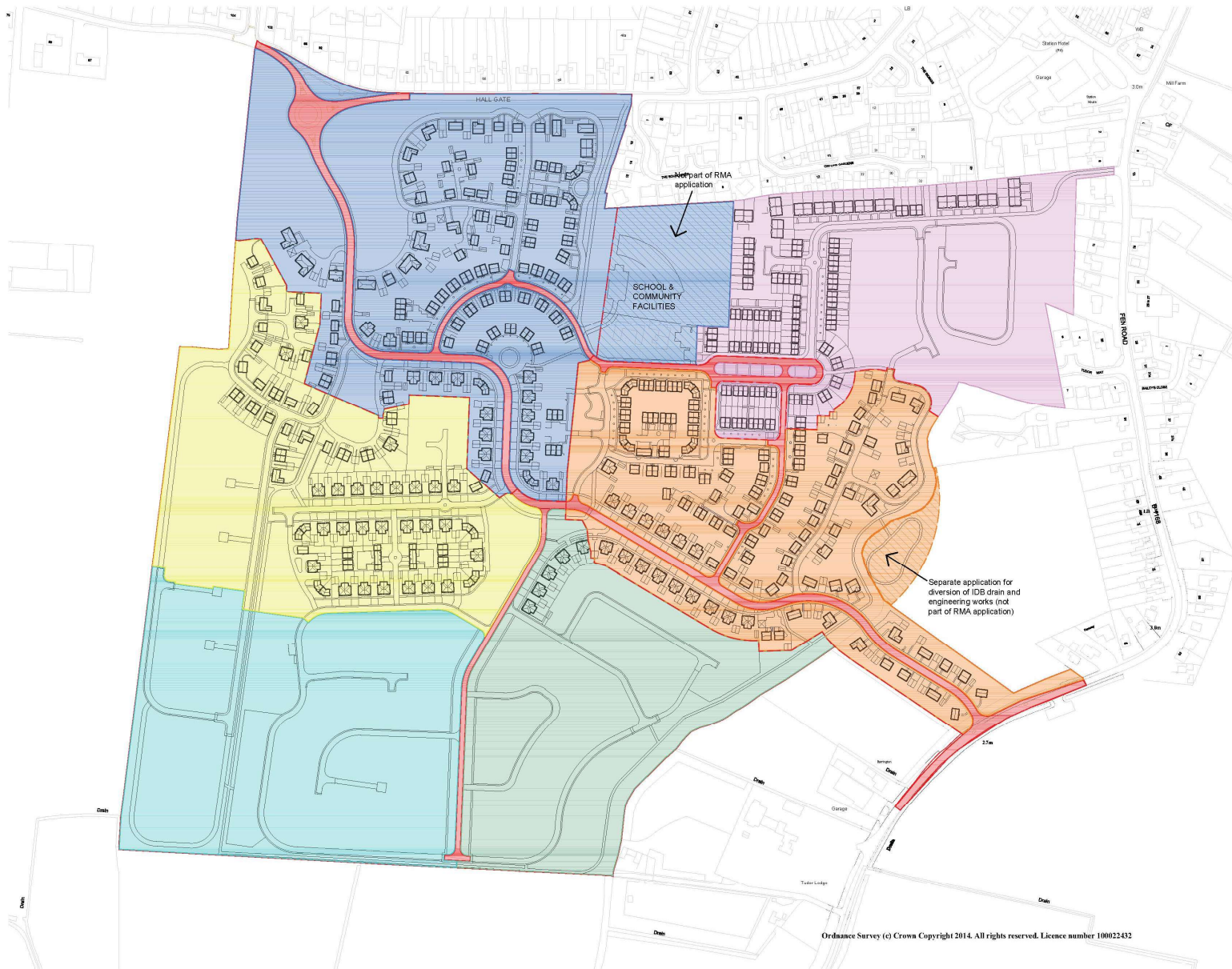
Date: May 2014

Drawn: PK Checked: \_\_\_\_\_



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Phasing	
<span style="display:inline-block; width:15px; height:10px; background-color:red; border:1px solid black;"></span>	Phase 1A - highways & associated infrastructure (excluding footpath)
<span style="display:inline-block; width:15px; height:10px; background-color:orange; border:1px solid black;"></span>	Phase 1B - residential (including engineering works subject to separate application)
<span style="display:inline-block; width:15px; height:10px; background-color:blue; border:1px solid black;"></span>	Phase 2 - residential (including school & community facilities)
<span style="display:inline-block; width:15px; height:10px; background-color:purple; border:1px solid black;"></span>	Phase 3 - residential
<span style="display:inline-block; width:15px; height:10px; background-color:green; border:1px solid black;"></span>	Phase 4 - residential
<span style="display:inline-block; width:15px; height:10px; background-color:yellow; border:1px solid black;"></span>	Phase 5 - residential
<span style="display:inline-block; width:15px; height:10px; background-color:cyan; border:1px solid black;"></span>	Phase 6 - residential

REV	DATE	DESCRIPTION	DRAWN	CHECKED BY
<b>Revisions</b>				

**CF**

Architects Engineers Quantity Surveyors

**Chaplin Farrant Limited**

51 Yarmouth Road  
Norwich  
NR7 0ET  
Tel: 01603 700000  
Fax: 01603 700001  
office@chaplinfarrant.com  
www.chaplinfarrant.com

Also at:  
London  
Winchester  
Southampton  
Great Yarmouth

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## PLANNING

**Ashwood Homes Ltd**

**Holbeach Meadows**  
Hall Gate / Fen Road  
Holbeach

**Phasing Plan**

**5244**

**60**

**22/03/2017**     **1:2500 @ A2**

**pb**

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Views of the front of Holbeach Meadows (Part of first houses constructed)











Views from the south looking northwards to Daisy Road



**Daisy road**



**Views from the south looking north east**







**View along existing tree line which runs east west across part of the site**







**View looking east towards southern extent of building currently taking place**









View of southern most building plot that has begun



View looking south across open fields.









Wildflower Close



Jasmine Crescent



Corner Plot







**Tulip Drive**













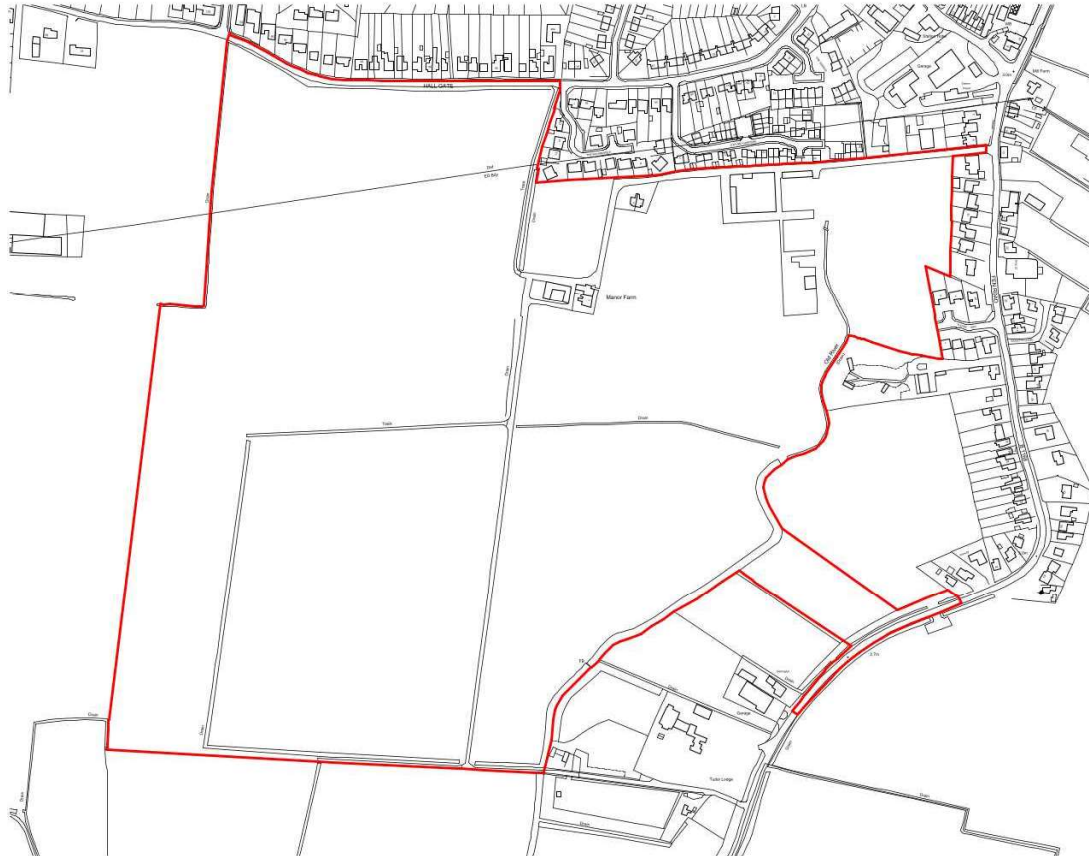








Revision: \_\_\_\_\_ Date: \_\_\_\_\_



Architects - Project Managers - Quantity Surveyors  
130 New Walk  
Leicester, LE1 7JA  
Tel: 0116 204 5800, Fax: 0116 204 5801  
email: design@rg-p.co.uk, www.rg-p.co.uk

**Project:** Land South of Hall Gate,  
Holbeach, Lincolnshire

**Client:** Ashley King Developments

**Sheet title:** Location Plan @ A3

**Ref:** 7884 019

**Scale:** 1:5000 @ A3

**Date:** May 2014

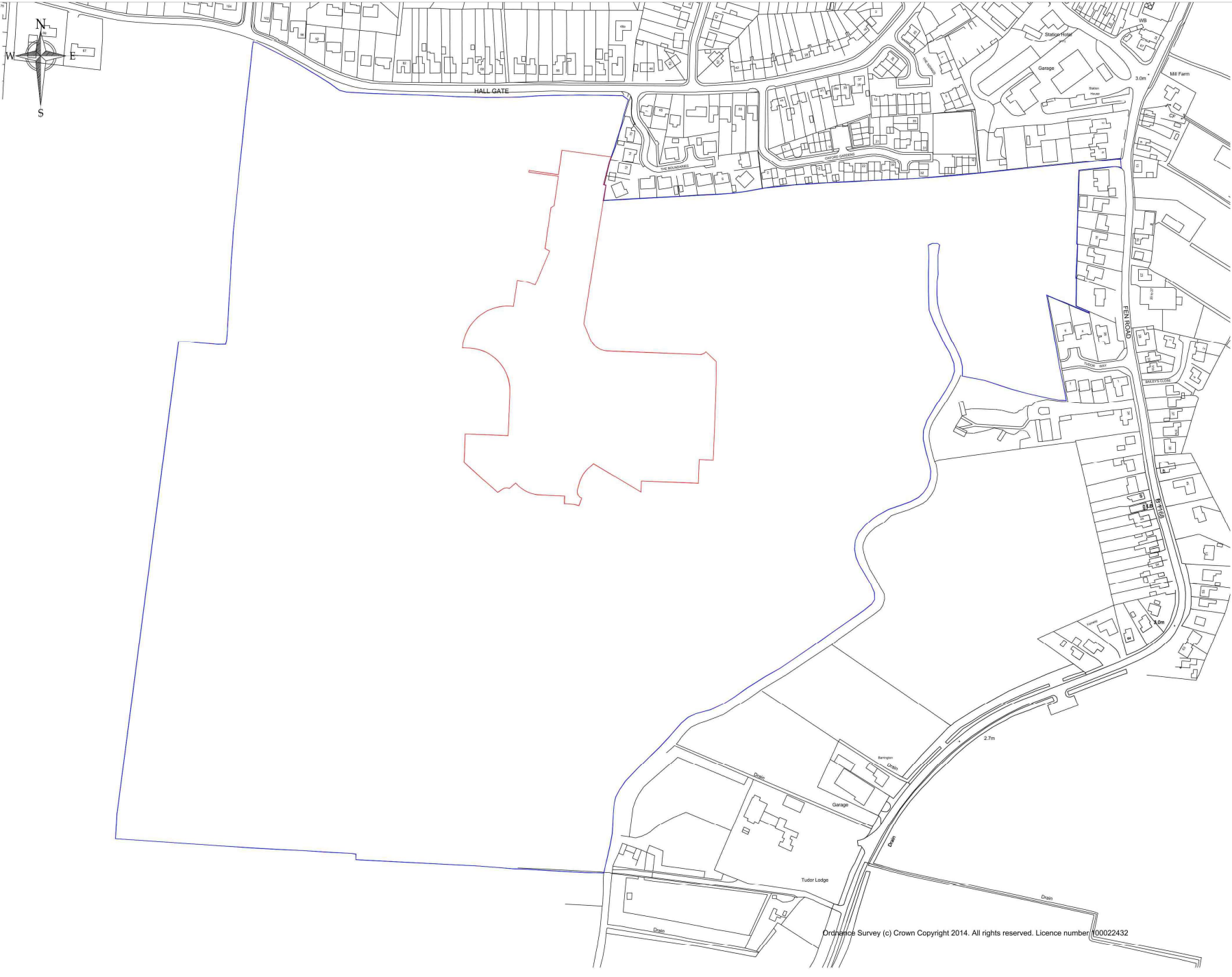
**Drawn:** PK **Checked:** \_\_\_\_\_



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**KEY**

- Site Boundary
- Extent of further land in Applicant's Ownership

Rev	Date	Description
A.	19.04.2023	Red Line Boundary Amended

**ASHWOOD HOMES**  
 1 Goodison Road, Lincs Gateway Business Park,  
 Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT: Proposed Residential Development at Holbeach Meadows (Phase 2A)

DRAWING: Location Plan (Phase 2A)

SCALE: 1:1500@A1 DRAWN: GB  
 DATE: OCT.2022 REVISION: A

DRAWING No: 135-LP-01

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**House Type Schedule - Phase 2A**

House Type	Sqft	Stores	Beds	Phase 2A
Dea	732	2	29-3p	52
Holland	774	2	29-3p	1
Cylde	783	2	30-3p	10
Huntington	799	2	30-4p	4
Sparta	879	2	30-5p	14
Avon	919	2	30-5p	16
Concoration	952	2	30-5p	14
Lock	1079	2	30-5p	1
Wilde	1283	2	40-7p	1
Savem	1345	2	40-8p	1
<b>Total</b>				<b>94</b>

**Plot Schedule**

Plot No	House Type	Phase
74	Concoration	Phase 2A
75	Concoration	Phase 2A
84	Concoration	Phase 2A
85	Concoration	Phase 2A
86	Dea	Phase 2A
87	Dea	Phase 2A
88	Dea	Phase 2A
89	Dea	Phase 2A
90	Dea	Phase 2A
91	Dea	Phase 2A
92	Dea	Phase 2A
93	Dea	Phase 2A
94	Dea	Phase 2A
95	Dea	Phase 2A
112	Sparta	Phase 2A
113	Sparta	Phase 2A
114	Sparta	Phase 2A
115	Sparta	Phase 2A
116	Sparta	Phase 2A
117	Sparta	Phase 2A
118	Sparta	Phase 2A
119	Sparta	Phase 2A
120	Cylde	Phase 2A
121	Cylde	Phase 2A
122	Cylde	Phase 2A
123	Cylde	Phase 2A
124	Cylde	Phase 2A
125	Cylde	Phase 2A
126	Cylde	Phase 2A
127	Cylde	Phase 2A
128	Cylde	Phase 2A
129	Cylde	Phase 2A
145	Avon	Phase 2A
146	Avon	Phase 2A
147	Lock	Phase 2A
148	Avon	Phase 2A
149	Avon	Phase 2A
150	Avon	Phase 2A
151	Avon	Phase 2A
152	Avon	Phase 2A
153	Avon	Phase 2A
154	Avon	Phase 2A
155	Avon	Phase 2A
156	Avon	Phase 2A
157	Avon	Phase 2A
158	Concoration	Phase 2A
159	Concoration	Phase 2A

**Plot Schedule**

Plot No	House Type	Phase
160	Avon	Phase 2A
161	Avon	Phase 2A
162	Dea	Phase 2A
163	Dea	Phase 2A
164	Dea	Phase 2A
165	Dea	Phase 2A
166	Dea	Phase 2A
167	Dea	Phase 2A
168	Concoration	Phase 2A
169	Dea	Phase 2A
170	Dea	Phase 2A
171	Dea	Phase 2A
172	Dea	Phase 2A
173	Dea	Phase 2A
174	Dea	Phase 2A
175	Concoration	Phase 2A
176	Concoration	Phase 2A
177	Huntington	Phase 2A
178	Dea	Phase 2A
179	Dea	Phase 2A
180	Huntington	Phase 2A
181	Concoration	Phase 2A
182	Concoration	Phase 2A
183	Ribals	Phase 2A
185	Dea	Phase 2A
186	Dea	Phase 2A
187	Dea	Phase 2A
188	Dea	Phase 2A
189	Dea	Phase 2A
190	Holland	Phase 2A
191	Concoration	Phase 2A
192	Concoration	Phase 2A
193	Huntington	Phase 2A
194	Dea	Phase 2A
195	Dea	Phase 2A
196	Huntington	Phase 2A
197	Concoration	Phase 2A
205	Avon	Phase 2A
206	Avon	Phase 2A
207	Savem	Phase 2A
208	Sparta	Phase 2A
209	Sparta	Phase 2A
210	Sparta	Phase 2A
211	Sparta	Phase 2A
212	Sparta	Phase 2A
213	Sparta	Phase 2A

- KEY**
- Site Boundary
  - Phase 1 Boundary
  - Wall Type A
  - Wall 1.8m High Brick Wall
  - Anglian Water Drainage Easement
  - Proposed Trees
  - RFB Refuse Collection Areas
  - LED dusk to dawn Solid Lights

**ASHWOOD HOMES**  
 1 Goodwin Road, Lincs Gateway, Business Park,  
 Spalding, Lincs, PE12 6FY. T: 01406 490996

PROJECT: Proposed Residential Development at Holbeach Meadows (Phase 2A)

DRAWING: Site Layout (Phase 2A)

SCALE: 1:500(BA) DRAWN: HBI  
 DATE: SEP 2022 PERSON: F  
 DRAWING No: 135-SL-01

F 15/04/2023 Red Line Boundary Amendment  
 E 12/01/2023 Red Line Boundary Amendment - Add 237 residential units  
 D 22/11/2022 Red Line Boundary Amendment - Add 237 residential units  
 C 01/11/2022 Red Line Boundary Amendment - Add 237 residential units  
 B 23/09/2022 Red Line Boundary Amendment - Add 237 residential units  
 A 22/07/2022 Red Line Boundary Amendment - Add 237 residential units





**House Type Schedule - Phase 2A**

House Type	Sqft	Stores	Beds	Phase 1
Dea	732	2	2b-4p	32
Holland	794	2	2b-3p	1
Clyde	753	2	3b-5p	10
Huntington	796	2	2b-4p	4
Sparta	870	2	2b-5p	14
Avon	910	2	3b-5p	16
Coronation	832	2	3b-5p	14
Lock	1039	2	3b-5p	1
Wilde	1283	2	4b-7p	1
Seren	1345	2	4b-6p	1
<b>Total</b>				<b>94</b>



**Plot Schedule**

Plot No	House Type	Phase
74	Coronation	Phase 2A
75	Coronation	Phase 2A
84	Coronation	Phase 2A
85	Coronation	Phase 2A
86	Dea	Phase 2A
87	Dea	Phase 2A
88	Dea	Phase 2A
89	Dea	Phase 2A
90	Dea	Phase 2A
91	Dea	Phase 2A
92	Dea	Phase 2A
93	Dea	Phase 2A
94	Dea	Phase 2A
95	Dea	Phase 2A
112	Sparta	Phase 2A
113	Sparta	Phase 2A
114	Sparta	Phase 2A
115	Sparta	Phase 2A
116	Sparta	Phase 2A
117	Sparta	Phase 2A
118	Sparta	Phase 2A
119	Sparta	Phase 2A
120	Clyde	Phase 2A
121	Clyde	Phase 2A
122	Clyde	Phase 2A
123	Clyde	Phase 2A
124	Clyde	Phase 2A
125	Clyde	Phase 2A
126	Clyde	Phase 2A
127	Clyde	Phase 2A
128	Clyde	Phase 2A
129	Clyde	Phase 2A
145	Avon	Phase 2A
146	Avon	Phase 2A
147	Lock	Phase 2A
148	Avon	Phase 2A
149	Avon	Phase 2A
150	Avon	Phase 2A
151	Avon	Phase 2A
152	Avon	Phase 2A
153	Avon	Phase 2A
154	Avon	Phase 2A
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156	Avon	Phase 2A
157	Avon	Phase 2A
158	Coronation	Phase 2A
159	Coronation	Phase 2A




**Plot Schedule**

Plot No	House Type	Phase
160	Avon	Phase 2A
161	Avon	Phase 2A
162	Dea	Phase 2A
163	Dea	Phase 2A
164	Dea	Phase 2A
165	Dea	Phase 2A
166	Dea	Phase 2A
167	Dea	Phase 2A
168	Coronation	Phase 2A
169	Dea	Phase 2A
170	Dea	Phase 2A
171	Dea	Phase 2A
172	Dea	Phase 2A
173	Dea	Phase 2A
174	Dea	Phase 2A
175	Coronation	Phase 2A
176	Coronation	Phase 2A
177	Huntington	Phase 2A
178	Dea	Phase 2A
179	Dea	Phase 2A
180	Huntington	Phase 2A
181	Coronation	Phase 2A
182	Coronation	Phase 2A
183	Ribbles	Phase 2A
184	Dea	Phase 2A
185	Dea	Phase 2A
186	Dea	Phase 2A
187	Dea	Phase 2A
188	Dea	Phase 2A
189	Dea	Phase 2A
190	Holland	Phase 2A
191	Coronation	Phase 2A
192	Coronation	Phase 2A
193	Huntington	Phase 2A
194	Dea	Phase 2A
195	Dea	Phase 2A
196	Huntington	Phase 2A
197	Coronation	Phase 2A
205	Avon	Phase 2A
206	Avon	Phase 2A
207	Seren	Phase 2A
208	Sparta	Phase 2A
209	Sparta	Phase 2A
210	Sparta	Phase 2A
211	Sparta	Phase 2A
212	Sparta	Phase 2A
213	Sparta	Phase 2A

**Consented Layout**

-  Consented House Types and Garages
-  Consented House Types removed

**Proposed Layout**

-  Consented House Types and Garages repositioned
-  House Types substitute
-  Garages added



**ASHWOOD HOMES**  
 1 Goodwin Road, Liss Greenway, Burslem Park, Sudding, Liss, PE12 6FY. T: 01465 490396

PROJECT: Proposed Residential Development of Holbeach Meadows (Phase 2A)

DRAWING: Overlay of Site Layout and Consented Layout (Phase 2A)

SCALE: 1:500(BA) DRAWN: MBI  
 DATE: OCT 2022 REVISION: A

DRAWING No: 135-OL-01



**LEGEND**

	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED BROWN GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 88MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: LEICESTER MULTI CREAM
	BRICK TYPE B: LEICESTER RED STOCK
	BRICK TYPE C: IVANHOE WESTMINSTER
	BRICK TYPE D: OAKMOOR CREAM
	ROOF TILE A: CONDRON CONCRETE SLATE: BLACK
	ROOF TILE B: CONDRON CONCRETE PANTILE: TERRACOTTA
	ROOF TILE C: CONDRON CONCRETE SLATE: COUNTRY RED
	ROOF TILE D: WIENERBERGER NEW CASSIUS ANTIQUE SLATE
	ROOF TILE E: MARLEY LINCOLN CLAY SINGLE PANTILE



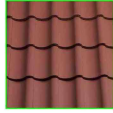
ROOF TILE D:  
WIENERBERGER NEW CASSIUS  
ANTIQUE SLATE



ROOF TILE A:  
CONDRON CONCRETE SLATE -  
BLACK



ROOF TILE E:  
MARLEY LINCOLN CLAY  
SINGLE PANTILE



ROOF TILE B:  
CONDRON CONCRETE PANTILE -  
TERRACOTTA



ROOF TILE C:  
CONDRON CONCRETE SLATE -  
COUNTRY RED



BRICK TYPE A:  
LEICESTER MULTI CREAM



BRICK TYPE B:  
LEICESTER RED STOCK



BRICK TYPE C:  
IVANHOE WESTMINSTER



BRICK TYPE D:  
OAKMOOR CREAM

Rev.	Date	Description
1	13.09.2022	Issue issued for approval
2	13.09.2022	Issue issued for approval
3	13.09.2022	Issue issued for approval
4	13.09.2022	Issue issued for approval
5	13.09.2022	Issue issued for approval
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100	13.09.2022	Issue issued for approval



1 Goodson Road, Lincs Gateway, Business Park, Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT: Proposed Residential Development of Habersbach Meadows (Phase 2A)

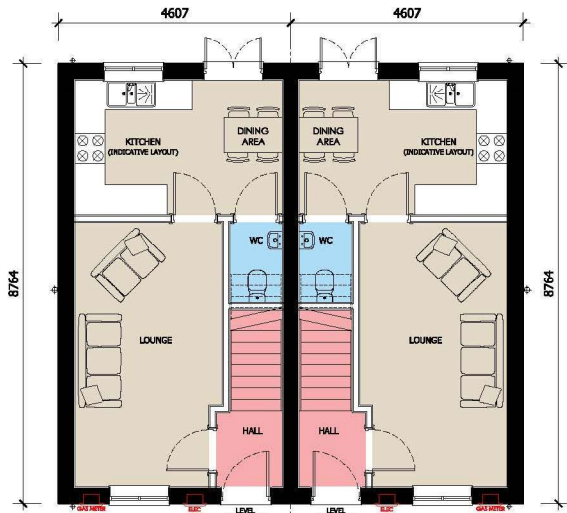
DRAWING: Material Schedule Layout. (Phase 2A)

SCALE: 1:500@A1 DRAWN: MII

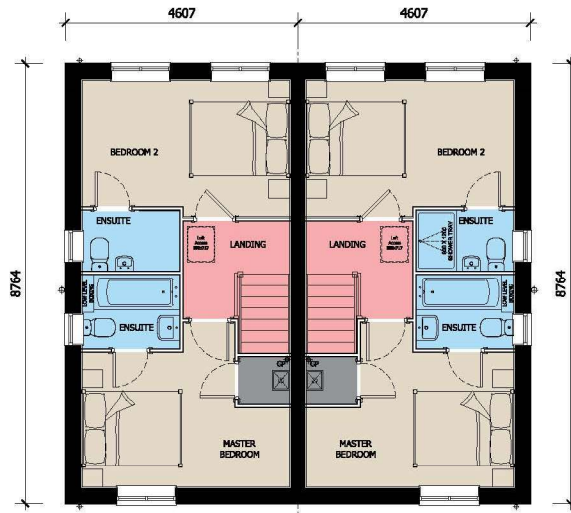
DATE: SEP-2022 REVISION: F

DRAWING No: 135-MSL-01





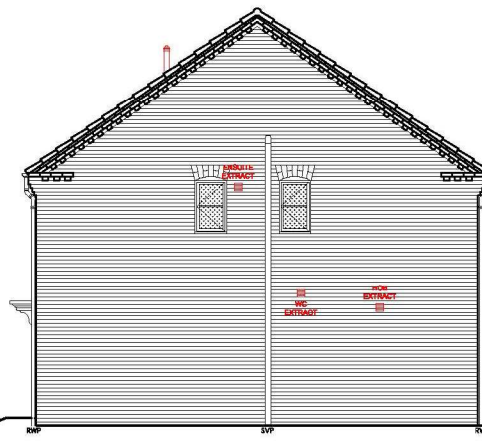
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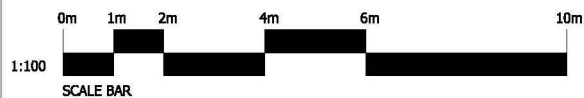
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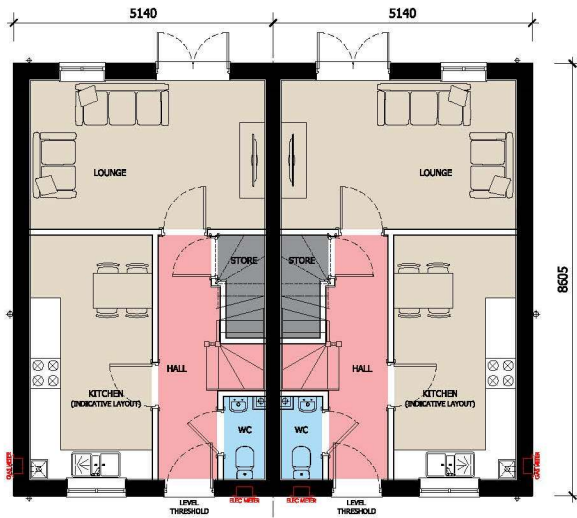
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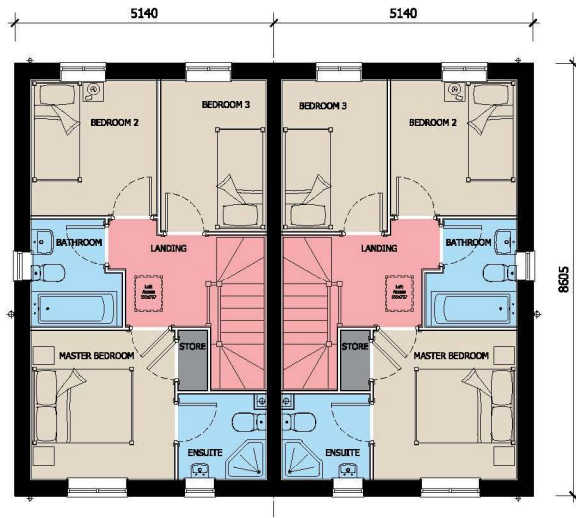
REAR ELEVATION



HOUSE TYPE:	DEE (732 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	DEE-001



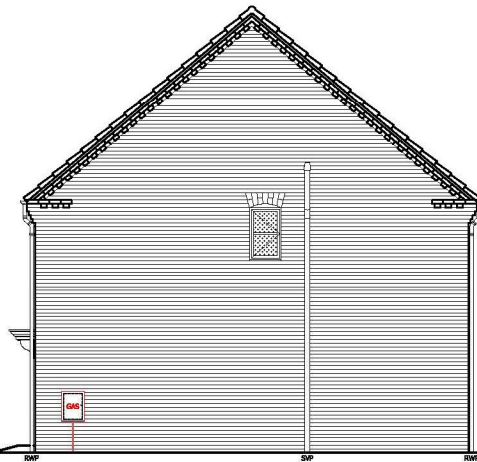
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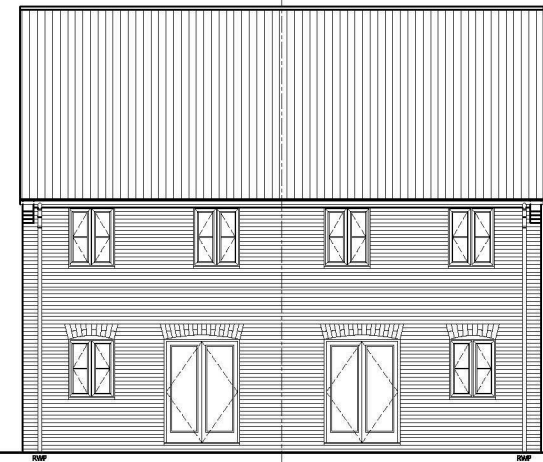
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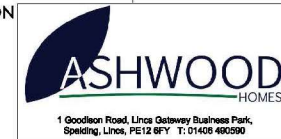
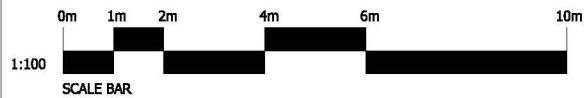
FRONT ELEVATION



SIDE ELEVATION

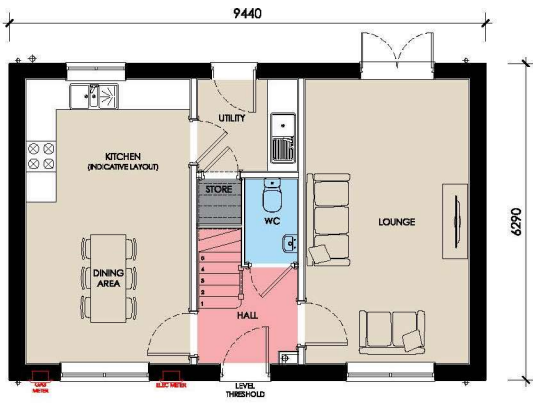


REAR ELEVATION

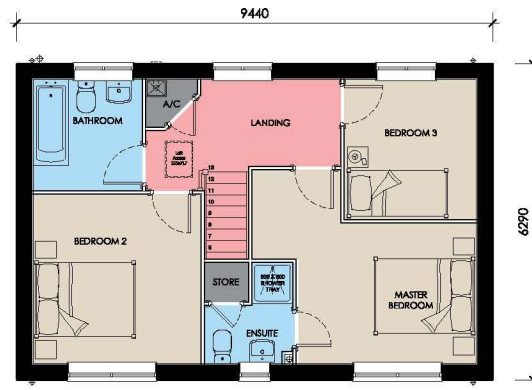


HOUSE TYPE:	HUNTINGDON (796 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	HUNTINGDON-001





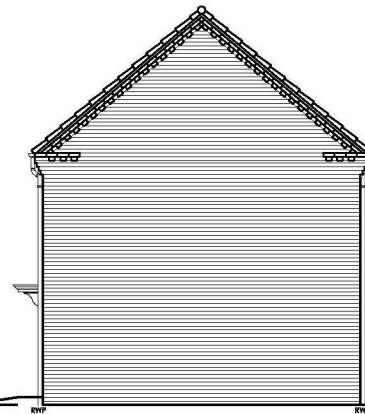
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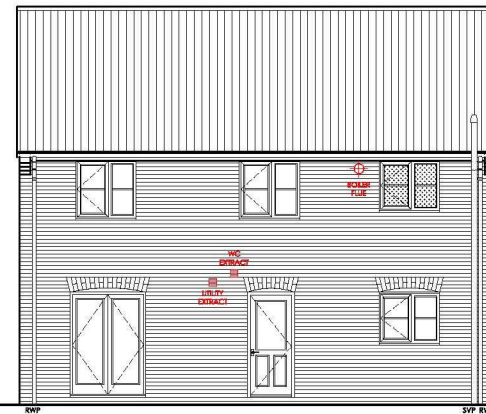
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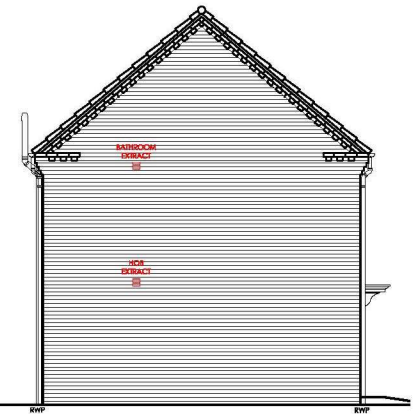
FRONT ELEVATION



SIDE ELEVATION




REAR ELEVATION



SIDE ELEVATION



 1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01408 480590	HOUSE TYPE:	LOCK (1079 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	LOCK-001



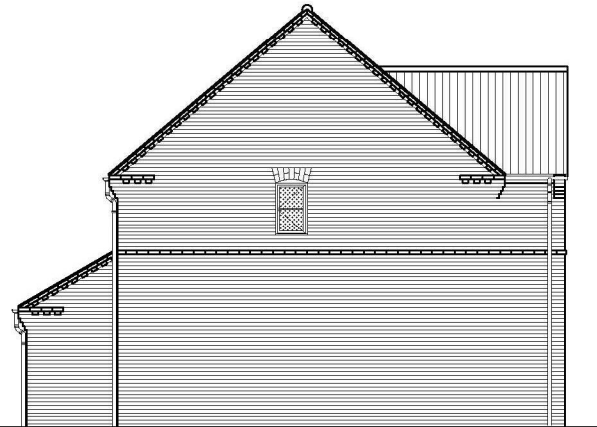
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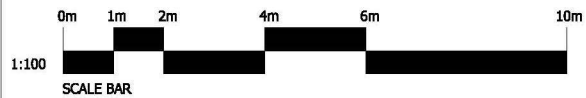
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REAR ELEVATION

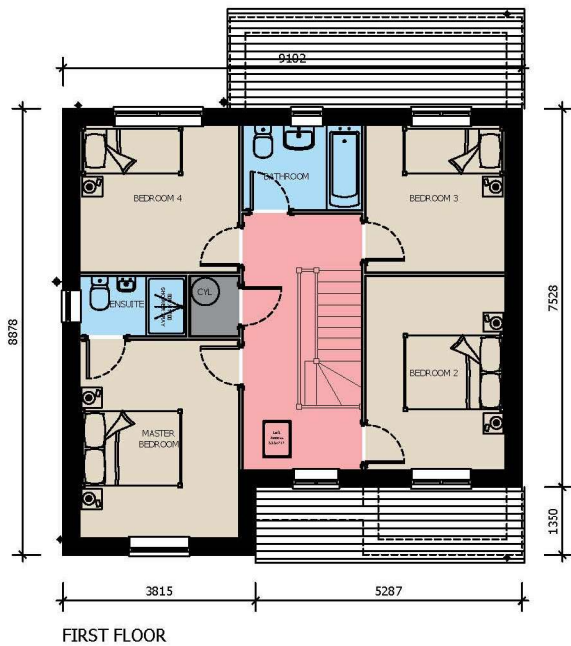
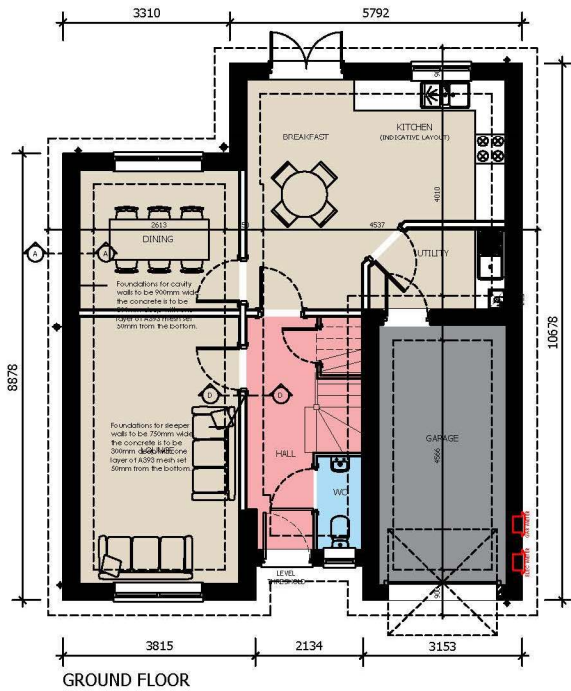


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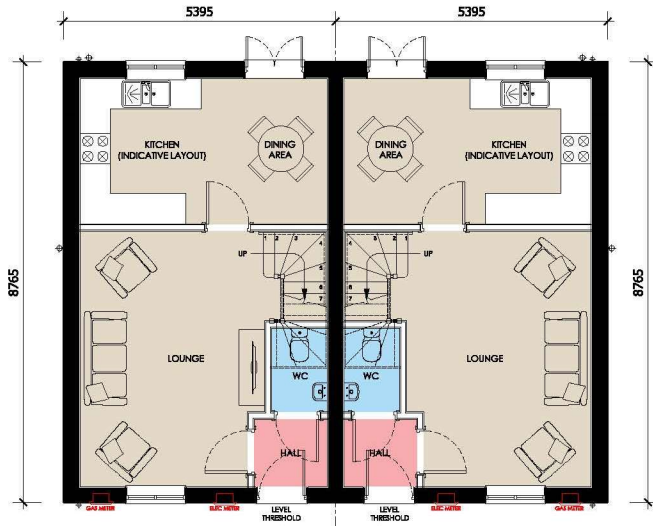


 1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490590	HOUSE TYPE:	SEVERN (1345 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
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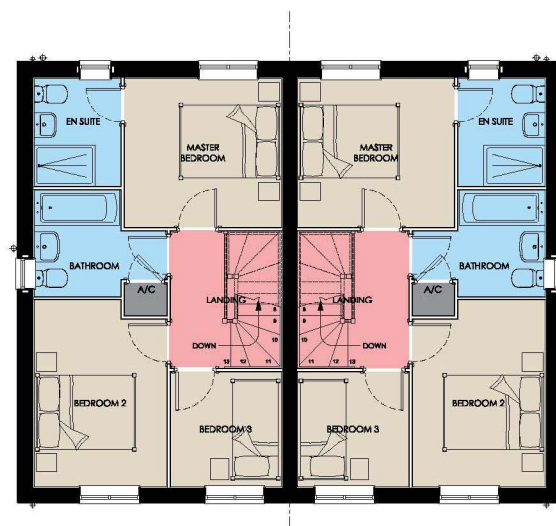




<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY. T: 01406 490990</p>	HOUSE TYPE: SEVERN (1345 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: SEVERN-001



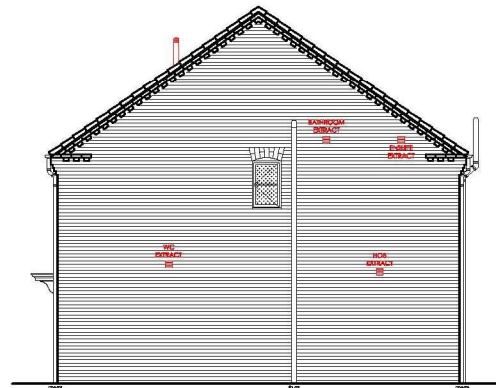
GROUND FLOOR



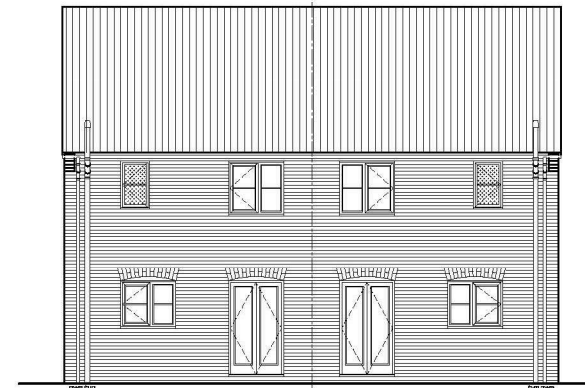
FIRST FLOOR



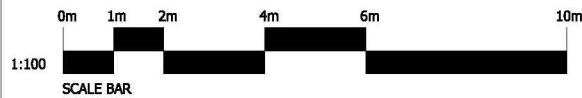
FRONT ELEVATION




SIDE ELEVATION

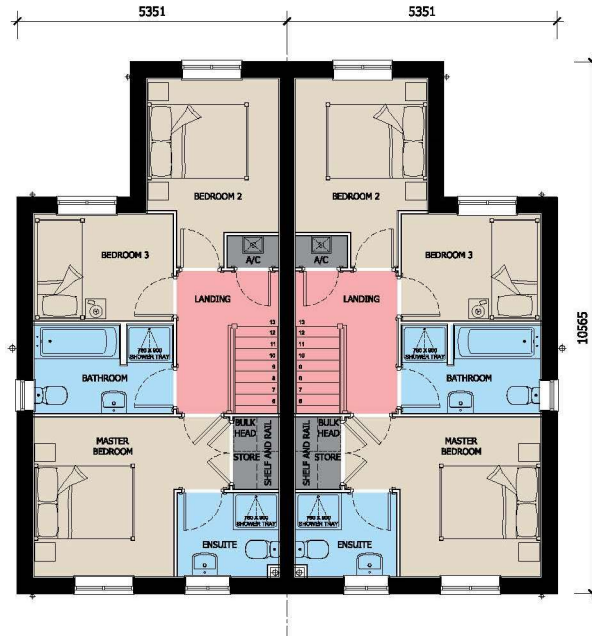
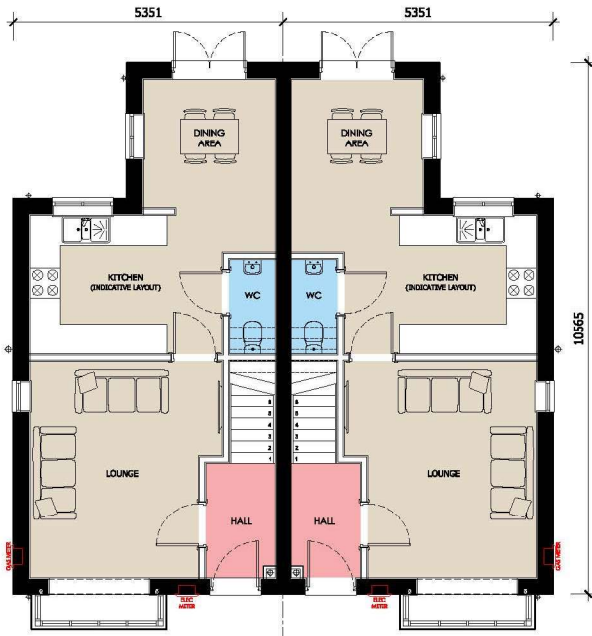


REAR ELEVATION



 <p>1 Goodison Road, Lincs Getway Business Park, Spalding, Lincs, PE12 8FY T: 01406 480590</p>	HOUSE TYPE:	SPARTA (870 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	SPARTA-001





GROUND FLOOR

FIRST FLOOR




FRONT ELEVATION

SIDE ELEVATION

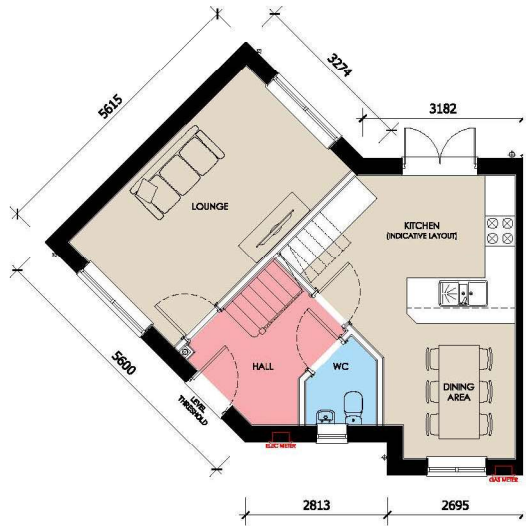
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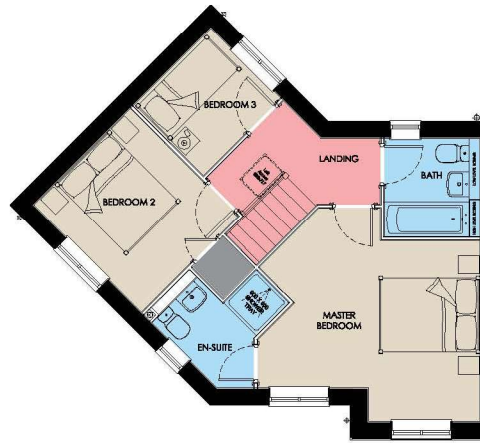
 <p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 480590</p>	HOUSE TYPE: <b>AVON (910 FT<sup>2</sup>)</b>
	DRAWING TITLE: <b>DESIGN SHEET</b>
	DRAWING NUMBER: <b>AVON-001</b>







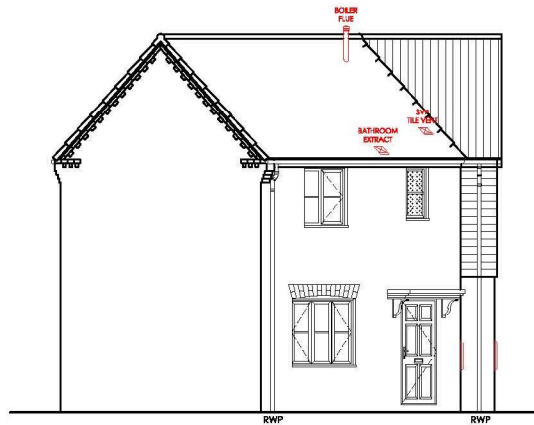
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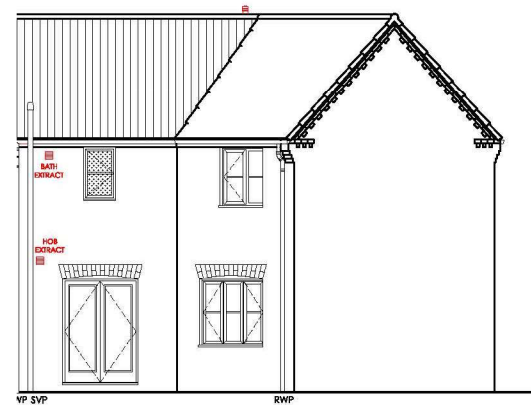
FIRST FLOOR




FRONT ELEVATION



SIDE ELEVATION

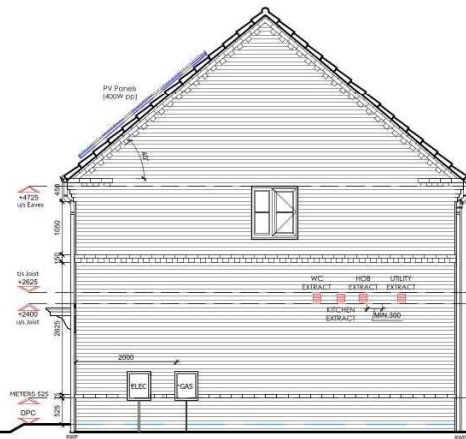
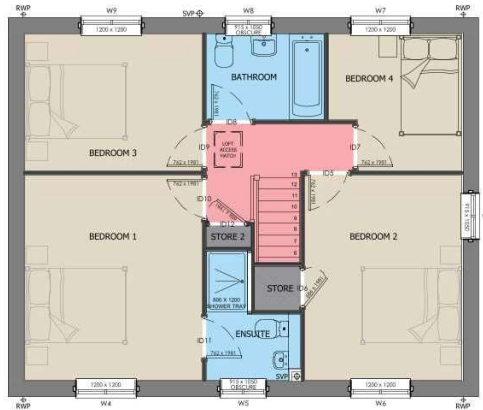


 <p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01408 480590</p>	HOUSE TYPE:	CORONATION (932 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	CORONATION-001

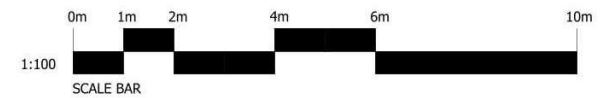


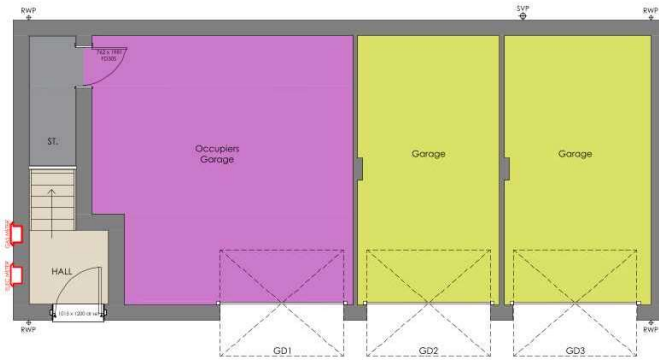


4 Bed 1283Sqft/119.19Sqm



HOUSE TYPE:	Ribble (1283 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Ribble - 001 - 183





GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



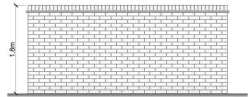
HOUSE TYPE:	Holland (774 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Holland -001 - A







**KEY**



**BOUNDARY TYPE - A**  
1.8m High Brick Wall



**BOUNDARY TYPE - B**  
1.8m Close Boarded Fence



**BOUNDARY TYPE - C**  
1.2m high railing fence with an 'anti-trip-bow' RUGPA approved.  
Gates to play area are to be matching, painted black RUGPA approved and self-closing.



**BOUNDARY TYPE - D**  
Knee Rail

C	13/02/2022	Self-Review	Approved
R	13/02/2022	100% 100% 100% 100%	Complete
A	13/02/2022	100% 100% 100% 100%	Complete
D	13/02/2022	100% 100% 100% 100%	Complete



1 Goodson Road, Lingo Gateway, Business Park, Spalding, Lincs., PE12 6FY T: 01406 490590

PROJECT: Proposed Residential Development of Halbersich Meadows (Phase 2A)

DRAWING: Boundary Treatment Plan (Phase 2A)

SCALE: 1:500(BA1) DRAWN: MII

DATE: SEP-2022 REVISION: C

DRAWING No: 135-BT-01



- KEY**
- Car Charger on Front Elevation
  - Car Charger in Garage
  - Car Charger Car Charger on Side Elevation

A	13.09.2022	Car Charger added to site 20A-21A
Z	15.04.2022	Red Line Boundary Amended
REV	DATE	DESCRIPTION



PROJECT:	Proposed Residential Development at Holbeach Meadows (Phase 2A)		
DRAWING:	Car Charging Layout (Phase 2A)		
SCALE:	1:500(BA)	DRAWN:	JE
DATE:	NOV.2022	REVISION:	B
DRAWING No:	135-EV-001		

Views of the front of Holbeach Meadows (Part of first houses constructed)









Views from the south looking northwards to Daisy Road





**Daisy road**



**Views from the south looking north east**







**View along existing tree line which runs east west across part of the site**





**View looking east towards southern extent of building currently taking place**









View of southern most building plot that has begun



View looking south across open fields.









Wildflower Close



Jasmine Crescent



Corner Plot







**Tulip Drive**











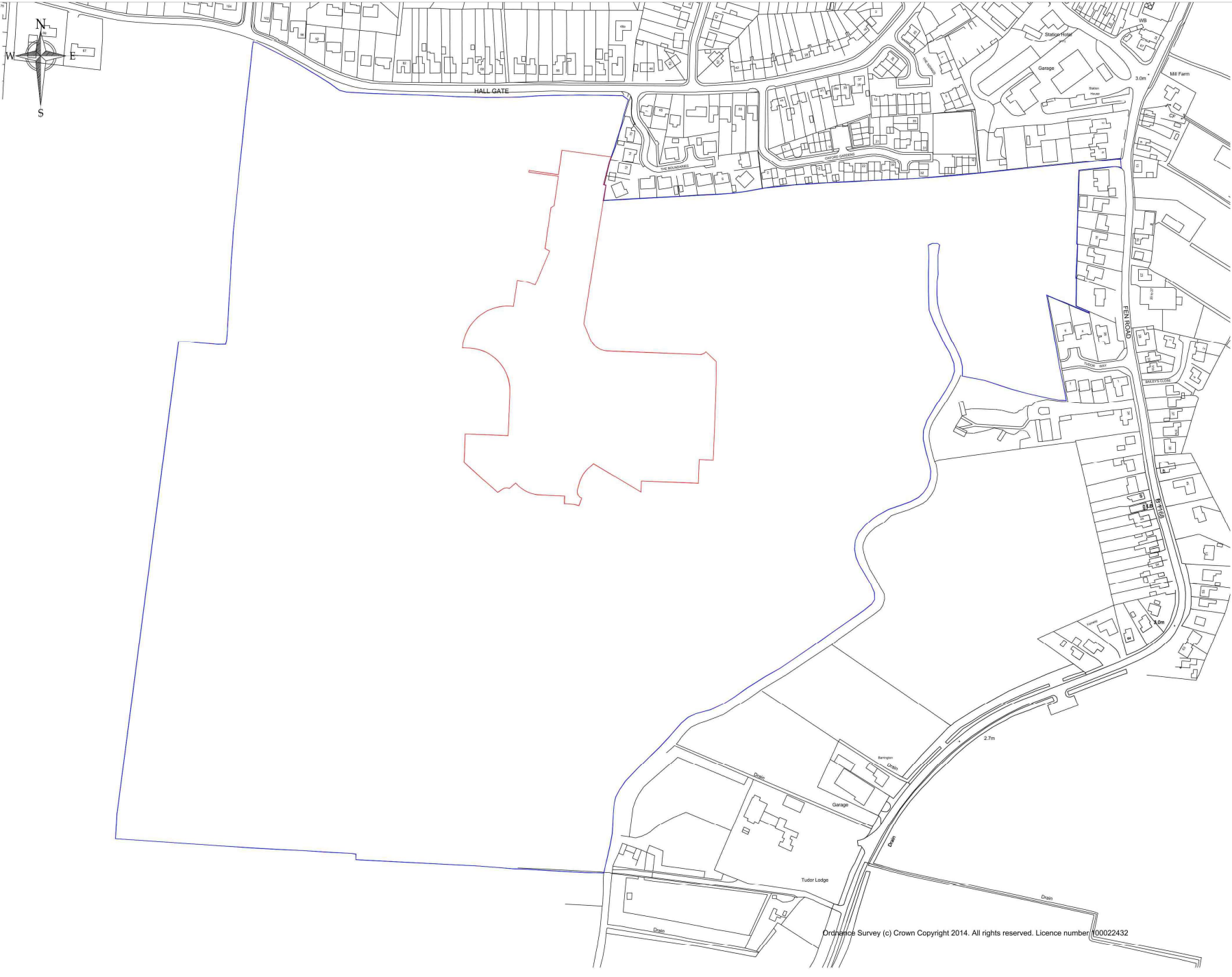












**KEY**

- Site Boundary
- Extent of further land in Applicant's Ownership

Rev	Date	Description
A.	19.04.2023	Red Line Boundary Amended

**ASHWOOD HOMES**  
 1 Goodison Road, Lincs Gateway Business Park,  
 Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT: Proposed Residential Development at Holbeach Meadows (Phase 2A)

DRAWING: Location Plan (Phase 2A)

SCALE: 1:1500@A1 DRAWN: GB  
 DATE: OCT.2022 REVISION: A

DRAWING No: 135-LP-01

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