

Welcome to the Planning Committee



KEY PROJECT STATISTICS		
	Total	
Total no. modules	53112	W
Total no. inverters	16	W
Array capacity	57,268	kWp
Rated DC		kVA
DC/AC ratio	Var	
Array connected to grid	23	m
Array connected to earth	0	m
Shielding design	16	mm

- NOTES**
1. SITEWORK CONSTRUCTION
 2. Issues for attention including:
 - i. Finalised site layout
 - ii. Finalised site layout
 - iii. Finalised site layout
 3. APPROVED DOCUMENTS:
 - i. AS/NZS 4801:2011
 - ii. AS/NZS 4801:2011
 - iii. AS/NZS 4801:2011
 4. AS/NZS 4801:2011
 5. Installation of PV modules to be completed in accordance with the manufacturer's instructions.
 6. The PV modules and associated equipment shall be installed in accordance with the manufacturer's instructions.
 7. The PV modules and associated equipment shall be installed in accordance with the manufacturer's instructions.
 8. The PV modules and associated equipment shall be installed in accordance with the manufacturer's instructions.
 9. The PV modules and associated equipment shall be installed in accordance with the manufacturer's instructions.
 10. The PV modules and associated equipment shall be installed in accordance with the manufacturer's instructions.
 11. The PV modules and associated equipment shall be installed in accordance with the manufacturer's instructions.
 12. The PV modules and associated equipment shall be installed in accordance with the manufacturer's instructions.

New culvert required

Site Entrance

WPD 132kV OHL

Flood defence wall and gate to be designed to a specialist design following planning approval

New 132/33kV tee-off substation, including DNO switchyard, customer transformer enclosure and indoor 33kV switchroom

New culvert required

Proposed 185m buffer from western boundary

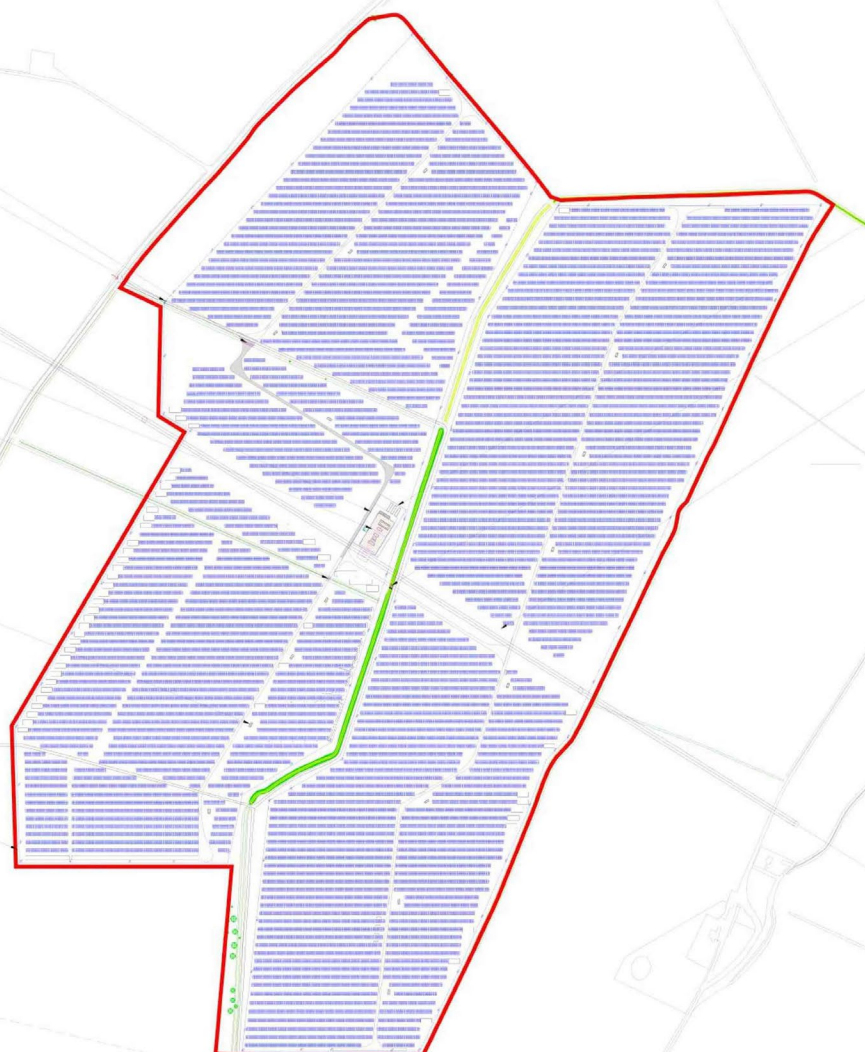
Inverter Station

Site Boundary

Maintenance spares containers and a Combined welfare, site office and canteen building

New culvert required

Recommended 15m buffer for WPD OHL



LEGEND

- Proposed culvert
- DBI
- Fence (Fullwidth)
- Fence (n-mesh)
- Hard standing (slipings)
- Existing track
- Walk access track
- Temporary construction track
- Visible reinforcement of existing track
- PV module table
- Fence
- Tree canopy
- Inverter
- CRP building
- Auxiliary structure
- Cable crossing
- Verge
- Site Boundary
- CCV
- Welfare station

1	10/01/22	Issue for attention	W
2	14/02/22	Finalised site layout	W
3	03/03/22	Finalised site layout	W
4	21/03/22	Finalised site layout	W
5	11/04/22	Finalised site layout	W
6	12/04/22	Finalised site layout	W
7	04/05/22	Finalised site layout	W
8	18/07/22	Finalised site layout	W
9	04/07/22	Finalised site layout	W
10	13/08/22	Finalised site layout	W
11	14/08/22	Finalised site layout	W
12	09/09/22	Finalised site layout	W

Project: Bosten Solar
 Site: Hotham North, Melbourne
 Client: AUE PROJECTS LIMITED

Site Plan
General Arrangement
PV Array

Drawing Number: P1386-111
 Sheet: 1 of 1
 Scale: 1:3000
 Issue: 1386-111 L

Project No: 1386-111
 Date: 09/09/2022
 Author: J. Smith
 Designer: J. Smith
 Checker: J. Smith
 Approver: J. Smith
 Date: 09/09/2022

CLENDON ARCHITECTURE
COOPER ENERGY ENGINEERING

NOTE
This drawing is for planning purposes and is not to be used for construction

KEY

- Existing:
- To remain in arable cultivation
 - Existing drainage ditch
 - Area under ICB - 5m either side of top of bank of drainage channel
 - Overhead electricity cables
 - Trees

- Proposed:
- Site boundary
 - Land lease boundary
 - Access tracks
 - Substation
 - Solar panels
 - Native hedgerow with trees

Hedgerow: Hawthorn, Blackthorn, hazel, ash, holly, dogwood, dogrose
Hedgerow trees: Field maple, ash, hawthorn, blackthorn, small leaved lime, field maple, silver birch, goat willow, white willow, common alder, wild cherry

Wildflower Meads
Collared Green Grass, Solar Past Long Tern Shaking Stature, or similar and approved grass mix for open areas
Rough Stip Grass Margin Mix for permanent along hedgerows and within woodland copes

Native shrubs and broadleaf trees
Common hazel, Crataegus, Elder, Dogwood, Spindle, Blackthorn, Birch, Hawthorn, Blackthorn, Field Dog Rose, Holly, Dead Willow
Field maple, ash, holly, hawthorn, silver birch, ash, goat willow, white willow, common alder, wild cherry, holly

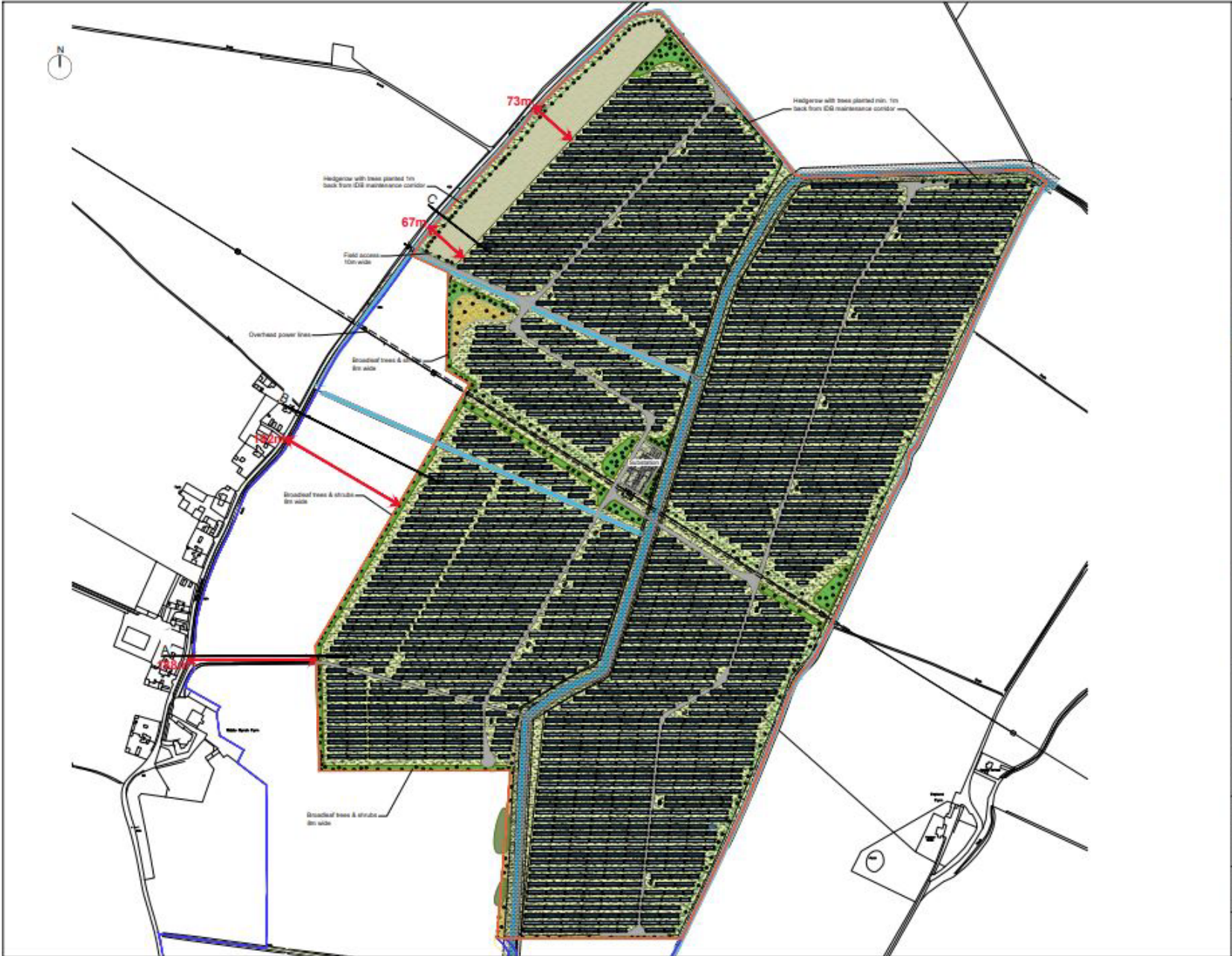
Scrub
Hawthorn / Blackthorn with Collared Green Grass, Potted & Field Mix Grass & Legume Margin mix

- Rev 1 - Issue comments: 28.8.22
- Rev 2 - Corrected number of panels & assessment value: 28.8.22
- Rev 3 - Panels and substation compared against new ICB management number: 18.1.23
- Rev 4 - ICB panel area increased: 1.1.23
- Rev 5 - Planting removed from ICB maintenance number: 27.1.23
- Rev 6 - Revised to Council comments: 19.2.23
- Rev 7 - Revised to latest site layout: 19.2.23

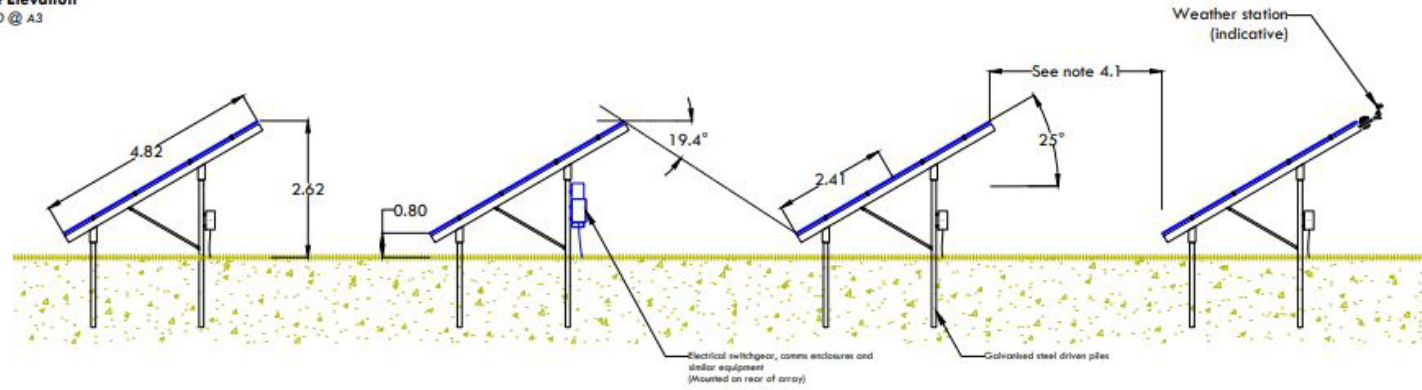
Drawing No: 21-19-03
Rev: N° 7
Drawn by: TF
Checked by: CB
Scale @ A1: 1:2,500

Land east of Middle Marsh Rd, Holbeach, Lincolnshire

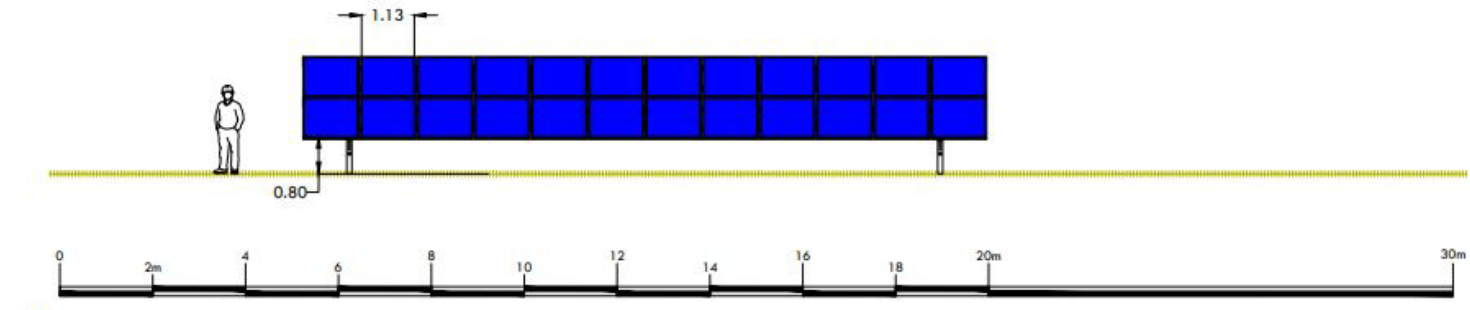
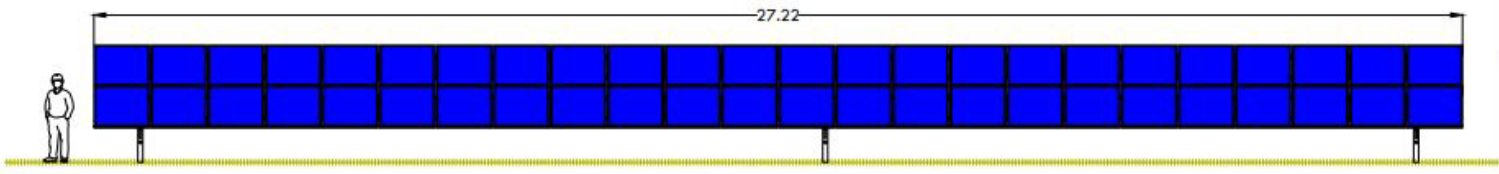
Landscape Masterplan



Side Elevation
1:100 @ A3



Front Elevation - Full and Half table
1:100 @ A3



- NOTES**
- DO NOT SCALE. Use annotated measurements only
 - NOT FOR CONSTRUCTION
 - Dimensions in metres (unless otherwise noted)
 - Typical construction
 - Row spacing will be adjusted for ground slope based on critical angle indicated and stellar factors
 - Mounting system details to be confirmed on appointment of manufacturer
 - As shown, the lowest part of the panels will be nominally 800 mm AGL (above ground level) determined by the surveyed terrain model. Small undulations in the surface may not be accounted for.
 - String cables shall be tidily clipped to or tied into the structure / module framework such that movement in wind is restrained. All other cables shall be routed suitably within the structural framing
 - Electrical equipment mounted on rear of array frame is indicative only and will vary from row to row. Such equipment may include
 - String inverters
 - DC distribution boards ("Combiner boxes")
 - Weather station monitoring panels
 - Communication / networking equipment enclosures
 - Supplies & junction boxes to auxiliary equipment (e.g. CCTV)
 - Cable ducts
 - Associated switchgear, cables and cable management
 - Where land to be grazed, wire mesh protection shall be installed around all cables accessible to livestock (e.g. below 1m)

LEGEND

Rev	Date	Comment	Drawn	Chkd	Apprd
C	02/09/22	Title block update	CD	IC	IC
B	01/09/22	Title block update issued for Plotting	CD	IC	IC

Project Boston Solar

Site Holbeach Bank, Holbeach

Client ALUK PE12 LIMITED

Elevations
PV Array
Typical section & key dimensions

Drawing Status: **PLANNING**

Sheet: 1 of 1 Drawing No. 1386-121 Issue C

Scale: 1:100 Paper Size: ISO A3

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Quailie Wharf Station Road, Quailie Peterborough PE8 4DE
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COOPER ENERGY ENGINEERING





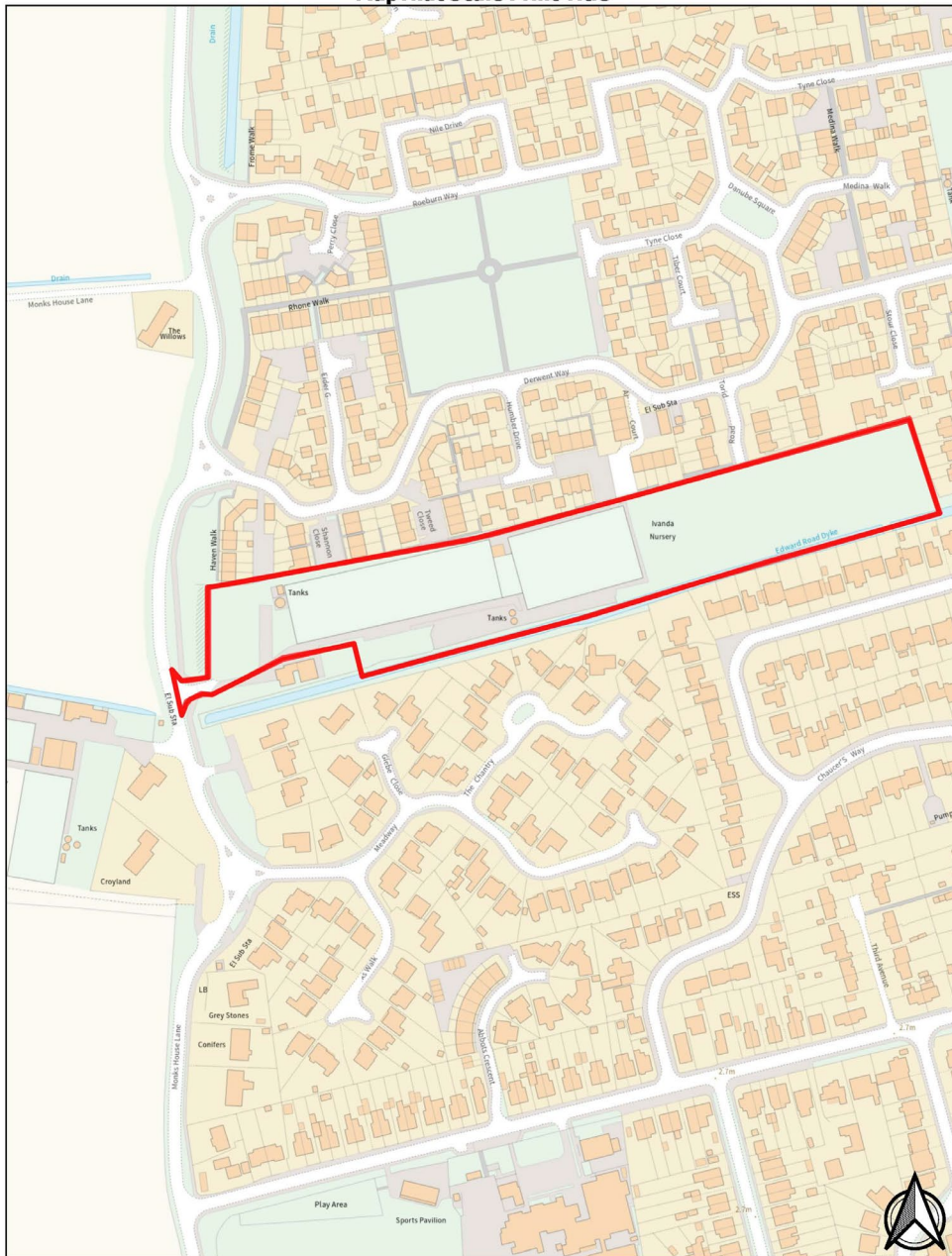








MapThat Scale Print Title



MAP SCALE 1:2500
CREATED DATE: 01/02/2024
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MONKS HOUSE LANE, SPALDING

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IF IN DOUBT ASK!



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A.	Has the applicant to exclude existing houses (area not indicated in blue)	22.02.2022
Reason:	Notes	Date



Proposed:
**PROPOSED RESIDENTIAL DEVELOPMENT,
OFF MONKS HOUSE LANE, SPALDING, Lincs.**

Drawing:
LOCATION PLAN

Drawn: MD Date: 20.09.2022

Status: PLANNING Scale: 1:1250 @ A3

Drawing Reference:
MHL-SH-PO-LP-1000 A



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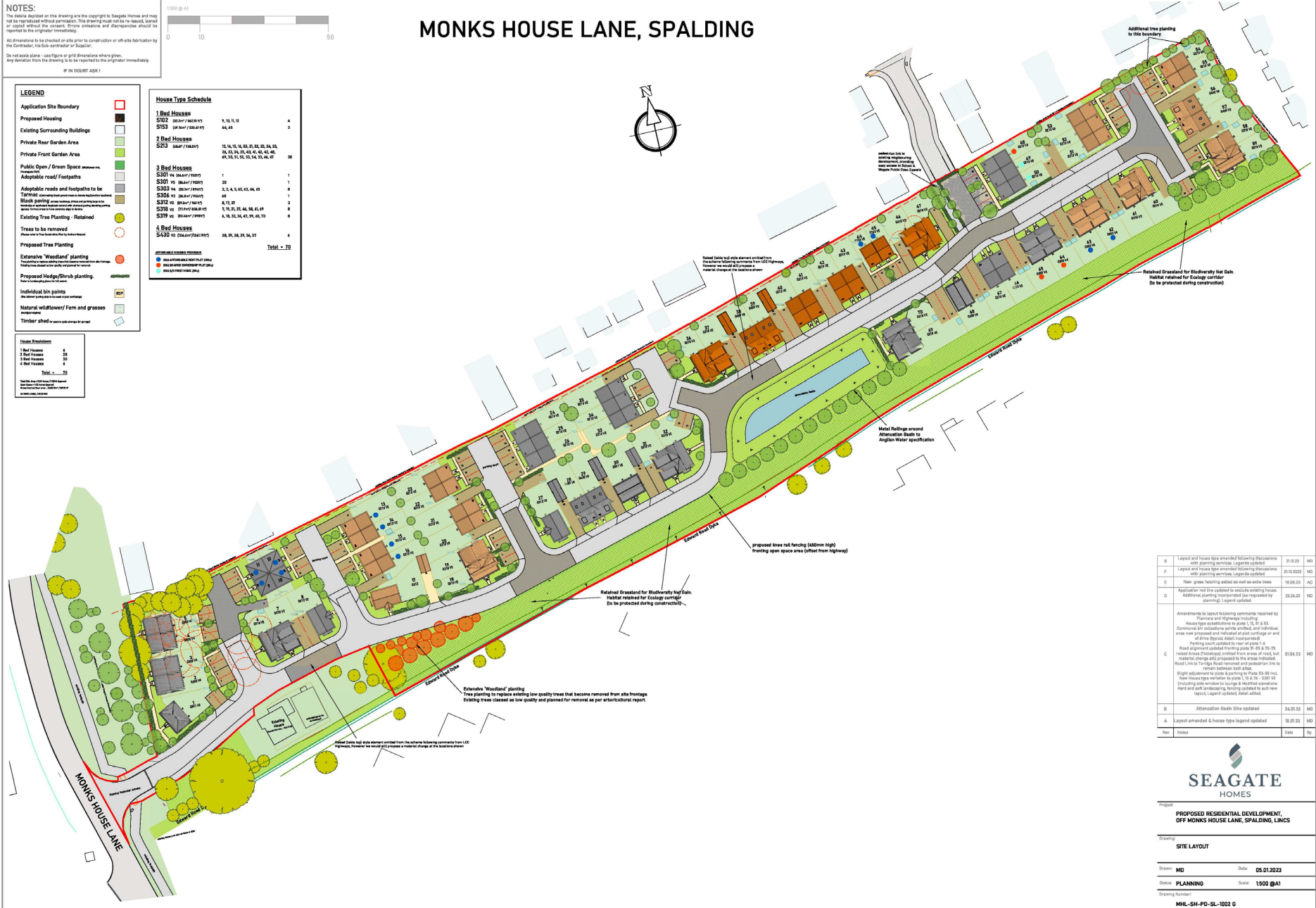


MONKS HOUSE LANE, SPALDING

LEGEND	
Application Site Boundary	[Red outline]
Proposed Housing	[Brown blocks]
Existing Surrounding Buildings	[Grey blocks]
Private Rear Garden Area	[Light green area]
Private Front Garden Area	[Light green area]
Public Open / Green Space	[Dark green area]
Adoptable road/ Footpaths	[Grey lines]
Traffic Calming measures	[Yellow circles]
Block paving	[Dark grey areas]
Existing Tree Planting - Retained	[Green circles]
Trees to be removed	[Red circles]
Proposed Tree Planting	[Yellow circles]
Extensive 'Woodland' planting	[Orange circles]
Proposed Hedge/Shrub planting	[Green lines]
Individual bin points	[Blue squares]
Natural willow/ Fern and grasses	[Light green areas]
Timber shed	[Blue rectangle]

House Type Schedule		
1 Bed Houses		
S182 (20.0m ² / 212.0m ²)	6, 16, 17, 18	4
S153 (20.0m ² / 212.0m ²)	14, 15	2
2 Bed Houses		
S213 (24.0m ² / 258.0m ²)	13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	28
3 Bed Houses		
S301 (28.0m ² / 298.0m ²)	1	1
S301 (28.0m ² / 298.0m ²)	20	1
S302 (28.0m ² / 298.0m ²)	2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19	6
S303 (28.0m ² / 298.0m ²)	18	1
S312 (28.0m ² / 298.0m ²)	6, 17, 27	3
S318 (28.0m ² / 298.0m ²)	7, 16, 22, 24, 34, 35, 41, 47	6
S319 (28.0m ² / 298.0m ²)	4, 14, 21, 24, 34, 35, 41, 47	6
4 Bed Houses		
S430 (32.0m ² / 338.0m ²)	14, 29, 38, 29, 34, 37	4
	Total = 70	

House Breakdown	
1 Bed Houses	6
2 Bed Houses	28
3 Bed Houses	20
4 Bed Houses	4
	Total = 58



D	Landscape and house type amended following discussions with planning services. Layouts updated	21.07.23	MD
F	Layout and house type amended following discussions with planning services. Layouts updated	01.10.2023	MD
E	House types amended to meet as well as extra trees	18.09.23	AC
D	Application of trees retained by existing trees. Additional planting incorporated per response by planning. Layouts updated.	23.04.23	MD
C	Amendments to layout following comments received by Planning and Highways including: House type amendments to plots 1, 16, 21 & 22. Common bin collection points amended, and individual bins now grouped and indicated as post collection or end of drive points with appropriate. Parking cover updated to rear of plots. A Road alignment updated from plot 20 to 20 & 29. Road Area (Childproof) removed from areas of road, but replaced with 600mm high kerbs to the whole indicated. Road 10m to Torridge Road removed and pedestrian line to remain between both sites. Sight adjustment to plots 6 and parking to Plot 20 to include house type variation for plots 17, 18, 19, 20 & 21. All existing plots within to be cleared & replaced with new lawn and path landscaping, fencing updated to suit new layout. Layout updated. Road added.	01.04.23	MD
B	Attenuation Drain Site updated	24.01.23	MD
A	Layout amended & house types legend updated	10.01.23	MD
Rev	Notes		MD

SEAGATE HOMES

Project: **PROPOSED RESIDENTIAL DEVELOPMENT, OFF MONKS HOUSE LANE, SPALDING, Lincs**

Drawing: **SITE LAYOUT**

Drawn: **MD** Date: **05.01.2023**

Status: **PLANNING** Scale: **1:500 @A1**

Drawing Number: **MHL-SH-PD-SL-1002 G**

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- Proposed Shrubs**
- 1.8m Close-boarded Timber Fencing
 - 1.8m Facing Brick Wall
 - Hoop top black metal railings - 1.8m
 - 0.45m Timber Knee Rail Fencing
 - 1.2m Timber post and rail fence
 - Bat Box (4 x 45 above ground, not above whitewash)
 - Hedgehog Boxes (to be installed in accordance with the advice of the supplier)
 - Hedgehog highway (to be installed in accordance with the advice of the supplier)
 - House Sparrow Box (on 2m above ground)
 - House Martin Box (overhead under eaves, not on 2m height)
 - Swift Box (in process of 1 within 300mm of each eaves)
 - Log Pile (to be installed in accordance with the advice of the supplier)
 - Sandy Barrels (to be installed in accordance with the advice of the supplier)
 - Bark Mulch (BM)
 - Natural wildflower/ Fern and grasses (to be installed in accordance with the advice of the supplier)
 - Off Site Land (to be installed in accordance with the advice of the supplier)
 - Timber silted for severe slope drainage for ground

MONKS HOUSE LANE, SPALDING



- LEGEND**
- Application Site Boundary
 - Proposed Housing
 - Existing Surrounding Buildings
 - Private Rear Garden Area
 - Private Front Garden Area
 - Public Open / Green Space
 - Adoptable road/ Footpaths
 - Slab Footpaths
 - Private Driveways
 - Adoptable roads and footpaths to be Tarmac
 - Block paving
 - Existing Tree Planting
 - Proposed Tree Planting
 - Extensive Woodland planting
 - Proposed Hedge



TREES

REF	SPECIES	GRTH	ML HEIGHT
AF	Alder (Natural Water)	80-100mm	2m
AC	Acer Carpinifolia (Field Maple)	80-100mm	2m
BP	Betula Pendula (Silver Birch)	80-100mm	2m
MA	Malva Fendleri (Flowering Maple)	80-100mm	2m
MR	Malva Rubra	80-100mm	2m
SA	Sorbus Aucuparia (Flowering Mountain Ash Tree)	80-100mm	2m
CA	Corvus Avellana (Hazel Tree)	80-100mm	2m
LC	Lilium cordata (Small leaved lily)	80-100mm	2m
DAK	Daphne Genkwa (Whiteflower)	80-100mm	2m
PC	Prunella caroliniana (Flowering Cherry)	80-100mm	2m

Mixture of Natives etc for woodland - see plan

SHRUBS

REF	SPECIES	HEIGHT	POI SIZE	DENSITY
BT	Betula Thornbergii (Alto Name)	150-300mm	3L	20/2
FR	Fuchsia Riccartii	300-400mm	3L	4/2
MR	Malva Fendleri (Flowering Maple)	300-400mm	3L	5/2
PL	Prunella Cistifolia (Small leaved lily)	300-400mm	3L	5/2
MR	Malva Fendleri (Flowering Maple)	300-300mm	3L	5/2
MR	Malva Fendleri (Flowering Maple)	200-300mm	3L	5/2

HEDGES

REF	SPECIES	HEIGHT	POI SIZE	DENSITY
CB	Carpinus Betula (Hornbeam Hedge)	0.4-0.6 m	2L	4m/2m
PS	Mixed from native / hedging species (3 Native)	0.5-1 m	2L	5m/2

GRASSES

REF	SPECIES	DENSITY
LM2	Wildflower mix (Emergence LM2)	kg/m ²

Item	Description	Quantity	Unit	Notes
D	Details outlined showing housing layout changes. Additional plants included. Revised ecological enhancement, added bark mulch to apply panels.	02.01.24	WK	
D	Details outlined showing housing layout changes. Additional trees and planting incorporated as per plan. New grass holding added as well as extra trees.	08.12.23	WK	
B	Hedgehog highway added, wildlife friendly path added. Existing tree roots made safe. Revised greenfield notes added on wild flower hedge.	08.09.23	AC	
A	New grass holding added as well as extra trees.	15.08.23	AC	

SEAGATE HOMES

PROPOSED RESIDENTIAL DEVELOPMENT, OFF MONKS HOUSE LANE, SPALDING, Lincs

Landscaping, External Works and Ecological Layout 1/3

Drawn: **WK** Date: **02.01.2024**

Scale: **1:200 @A1**

Drawing Number: **MHL-SH-LEWE-AR-1005 D**

MONKS HOUSE LANE, SPALDING



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LEGEND

Application Site Boundary	[Red outline]
Proposed Housing	[Orange fill]
Existing Surrounding Buildings	[Grey fill]
Private Rear Garden Area	[Light green fill]
Private Front Garden Area	[Light green fill]
Public Open / Green Space	[Light green fill]
Adoptable road/ Footpaths	[Yellow fill]
Slab Footpaths	[Light grey fill]
Private Driveways	[Light grey fill]
Adoptable roads and footpaths to be TARMAC	[Dark grey fill]
Block paving	[Dark grey fill]
Existing Tree Planting	[Green circle]
Proposed Tree Planting	[Green circle]
Extensive 'Woodland' planting	[Green circle]
Proposed Hedge	[Green line]

Proposed Shrubs	[Green line]
1.8m Close-boarded Timber Fencing	[Green line]
1.8m Facing Brick Wall	[Red line]
Hoop top black metal railings - 1.2m	[Blue line]
0.45m Timber Knee Rail Fencing	[Blue line]
1.2m Timber post and rail fence	[Blue line]
Bit Box (2.4m above ground, not above sidewalk) (To be located in accordance with the address of adjacent residential premises)	[Blue circle]
Hedgehog Boxes (To be located in accordance with the address of adjacent residential premises)	[Red square]
Hedgehog highway (To be located in accordance with the address of adjacent residential premises)	[Red line]
House Sparrow Box (one on 2m above ground) (To be located in accordance with the address of adjacent residential premises)	[Yellow circle]
House Martin Box (overhead external nest, one on 2m high) (To be located in accordance with the address of adjacent residential premises)	[Red circle]
Swift Box (in areas of 1.5m width 50mm of each offset) (To be located in accordance with the address of adjacent residential premises)	[Purple circle]
Lag Pipe (To be located in accordance with the address of adjacent residential premises)	[Green cross]
Sandy Bank (To be located in accordance with the address of adjacent residential premises)	[Green cross]
Bark Mulch (BM)	[Brown square]
Natural willow/ Fern and grasses	[Green square]
Off Site Land (To be located in accordance with the address of adjacent residential premises)	[Green square]
Timber shed (To be located in accordance with the address of adjacent residential premises)	[Green square]



TREES

REF	SPECIES	DEPTH	MIN HEIGHT
1A	Amelanchier (Amel)	80-100mm	2m+
Ac	Acer Carpinifolia (Red Maple)	80-100mm	2m+
Ap	Betula Pendula (Silver Birch)	80-100mm	2m+
Ma	Malus Cerasifolia (Flowering Crab)	80-100mm	2m+
M	Malus Rusopin	80-100mm	2m+
Sm	Betula Aucupata (Honey/Mountain Ash Tree)	80-100mm	2m+
Ca	Carpinus Betulus (Hornbeam)	80-100mm	2m+
TC	Tilia cordata (Small leaved Lime)	80-100mm	2m+
Sa	Betula Alba (Weibowinden)	80-100mm	2m+
PC	Prunus Cerasifera (Flowering Cherry)	80-100mm	2m+

SHRUBS

REF	SPECIES	HEIGHT	POT SIZE	DENSITY
BT	Betula Thornburghi Alba	150-300mm	3L	5/m ²
FR	Fuchsia Riccartii	300-400mm	3L	4/m ²
Mm	Malva Fimbriata Sun	300-400mm	3L	3/m ²
Ph	Phlox Ciliata Lyden	300-400mm	3L	5/m ²
Hgg	Hebe 'Vividissima'	200-300mm	3L	5/m ²
Lm	Lonicera 'Nurella'	200-300mm	3L	5/m ²

HERBALS

REF	SPECIES	HEIGHT	POT SIZE	DENSITY
Cb	Caropus Betula (Hornbeam Hedging)	0.4-0.6 m	2L	4/m ²
Ph	Mixed from native hedging specimens (3 Native)	0.8-1 m	2L	5/m ²
PC	Prunus spinosa, Prunus spinosa, Acer Carpinifolia	0.8-1 m	2L	5/m ²

GRASS

REF	SPECIES	DENSITY
EM	Woolfower mix (Emergent EM)	1/m ²

NOTES: Where medium sized trees identified, this applies to confirm vegetations to reach 300mm c/c within 50m before color. They are to be applied to suit the residential character.

REF	DETAILS	DATE	BY
D	Additional plants included. Revised ecological assessment, added bark mulch to sandy areas.	02.01.24	WK
C	Detail ground following housing layout changes.	05.12.23	WK
B	Revised and detailed site layout. Hedging highways added, willow/ferns row path removed. Retaining wall made more discrete. Retained grassland note added on wild flower hedge.	09.09.23	AC
A	New grass hatching added as well as extra trees.	15.08.23	AC

SEAGATE HOMES

PROPOSED RESIDENTIAL DEVELOPMENT, OFF MONKS HOUSE LANE, SPALDING, Lincs

Project: **PLANNING** Date: **02.01.2024**

Drawing: **Landscaping, External Works and Ecological Layout 2/3**

Scale: **1:200 @A1**

Drawing Number: **MHL-SH-LEW-AR-1006 D**

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- Proposed Shrubs**
- 1.8m Close-boarded Timber Fencing
 - 1.8m Facing Brick Wall
 - Hoop top black metal railings - 2x braced
 - 0.45m Timber Knee Rail Fencing
 - 1.2m Timber post and rail fence
 - Blot Box (2.0m above ground, not above finished) (To be located in accordance with the relevant landscape enhancement scheme 10)
 - Hedgehog Box (2.0m above ground, not above finished) (To be located in accordance with the relevant landscape enhancement scheme 10)
 - Hedgehog highway (2.0m above ground, not above finished) (To be located in accordance with the relevant landscape enhancement scheme 10)
 - House Sparrow Box (2.0m above ground) (To be located in accordance with the relevant landscape enhancement scheme 10)
 - House Martin Box (2.0m above ground, not above finished) (To be located in accordance with the relevant landscape enhancement scheme 10)
 - Swift Box (2.0m above ground, not above finished) (To be located in accordance with the relevant landscape enhancement scheme 10)
 - Sandy Bark (2.0m above ground, not above finished) (To be located in accordance with the relevant landscape enhancement scheme 10)
 - Bark Mulch (BM)
 - Natural wildflower/Fern and grasses (to be located in accordance with the relevant landscape enhancement scheme 10)
 - Off Site Land (to be located in accordance with the relevant landscape enhancement scheme 10)
 - Timber shed (to be located in accordance with the relevant landscape enhancement scheme 10)

MONKS HOUSE LANE, SPALDING



- LEGEND**
- Application Site Boundary
 - Proposed Housing
 - Existing Surrounding Buildings
 - Private Rear Garden Area
 - Private Front Garden Area
 - Public Open / Green Space (to be located in accordance with the relevant landscape enhancement scheme 10)
 - Adoptable road/ Footpaths
 - Slab Footpaths (to be located in accordance with the relevant landscape enhancement scheme 10)
 - Private Driveways
 - Adoptable roads and footpaths to be Tarmac (to be located in accordance with the relevant landscape enhancement scheme 10)
 - Block paving (to be located in accordance with the relevant landscape enhancement scheme 10)
 - Existing Tree Planting
 - Proposed Tree Planting
 - Extensive 'Woodland' planting (to be located in accordance with the relevant landscape enhancement scheme 10)
 - Proposed Hedge



Retained Grassland for Biodiversity Net Gain

REF	SPECIES	DEPTH	MAX HEIGHT
1A	Acacia (Blackthorn)	80-100mm	2m
AC	Acacia Cypripedium (Field Maple)	80-100mm	2m
BP	Berberis Pendula (Silver Birch)	80-100mm	2m
MA	Malva Ficus (Flowering Quince)	80-100mm	2m
MA	Malva Nuttallii	80-100mm	2m
SA	Saxifraga Asperula (Downy Mountain Ash Tree)	80-100mm	2m
CA	Corallorhiza (Flowering Quince)	80-100mm	2m
TC	Tilia cordata (small leaved lime)	80-100mm	2m
BA	Berberis (Silver Birch)	80-100mm	2m
PC	Prunella (Flowering Cherry)	80-100mm	2m

SHRUBS

REF	SPECIES	HEIGHT	POT SIZE	DENSITY
BT	Berberis Thunbergii (Silver Birch)	150-300mm	3L	5/m ²
FR	Fuchsia (Flowering Quince)	300-400mm	3L	4/m ²
MA	Malva (Flowering Quince)	150-300mm	3L	5/m ²
PS	Prunella (Flowering Cherry)	300-400mm	3L	5/m ²
HG	Hedgehog (Flowering Quince)	300-400mm	3L	5/m ²
LM	Lonicera (Flowering Quince)	150-300mm	3L	5/m ²

GRASSES

REF	SPECIES	HEIGHT	POT SIZE	DENSITY
CB	Carpinus (Hornbeam Hedging)	0.4-0.6 m	2L	4/m ²
PS	Prunella (Flowering Quince)	0.8-1 m	2L	5/m ²

GRADES

REF	SPECIES	DENSITY
LM	Woolfrow mix (Encourage BM)	4/m ²

REF	Notes	Date	By
D	Stable updated following housing layout changes. Additional area indicated. Revised ecological enhancement, added bark mulch & sandy areas.	02.01.2024	WK
C	Final update following housing layout changes. Additional trees and planting incorporated as per planning request and updated BM & M&P.	06.12.2024	WK
B	Hedgehog highways added, wildflower meadow path widened. Existing tree notes deleted. Retained grassland note added on wild flower meadow.	06.09.2024	AC
A	New Grass notes added as well as extra trees.	15.03.2024	AC

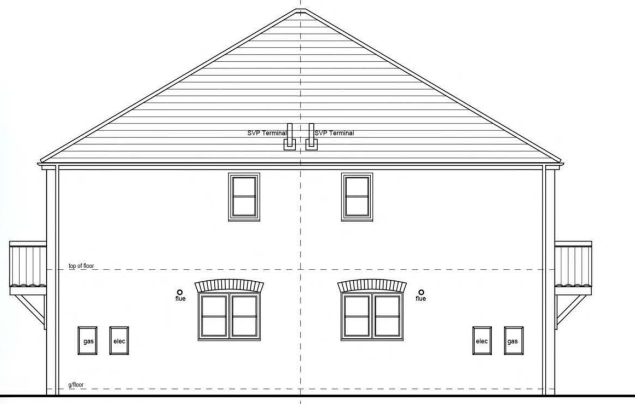


PROPOSED RESIDENTIAL DEVELOPMENT, OFF MONKS HOUSE LANE, SPALDING, Lincs

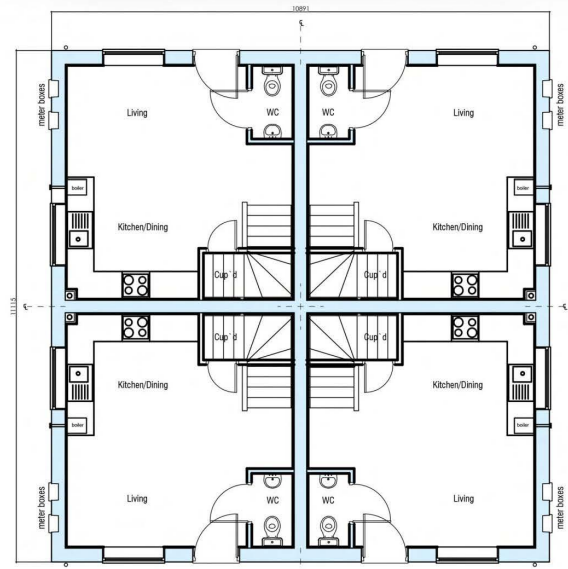
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 Date: 02.01.2024
 Scale: 1:200 (A1)
 Drawing Number: MHL-SH-LW-AE-1007 D



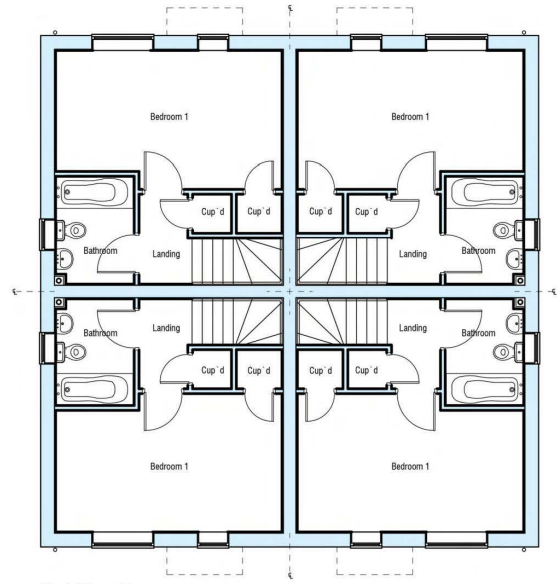
Front & Rear Elevations



Side Elevations



Ground Floor Plan



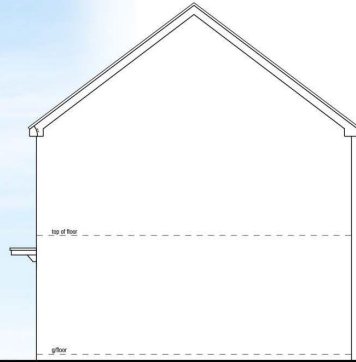
First Floor Plan

Type S102

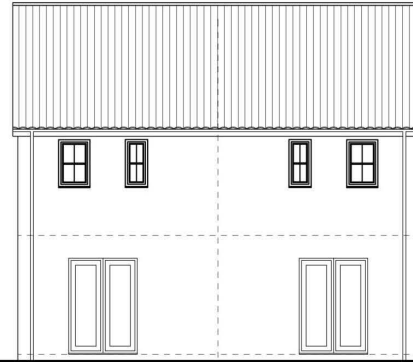
Floor Plans & Elevations



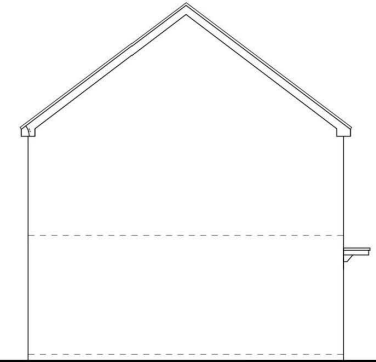
Front Elevation



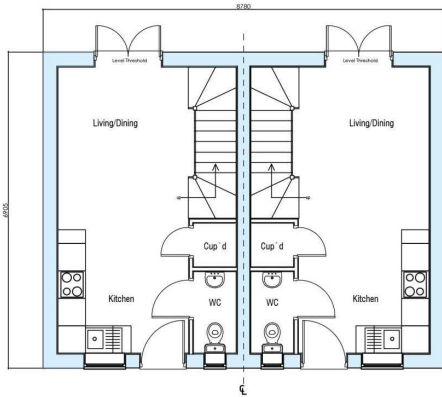
Right Side Elevation



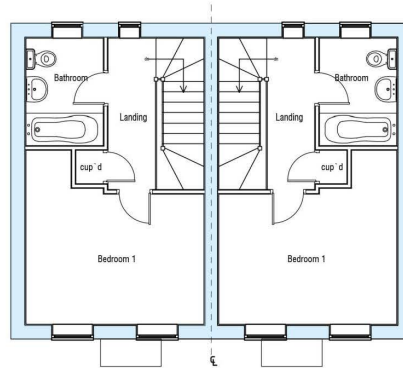
Rear Elevation



Left Side Elevation



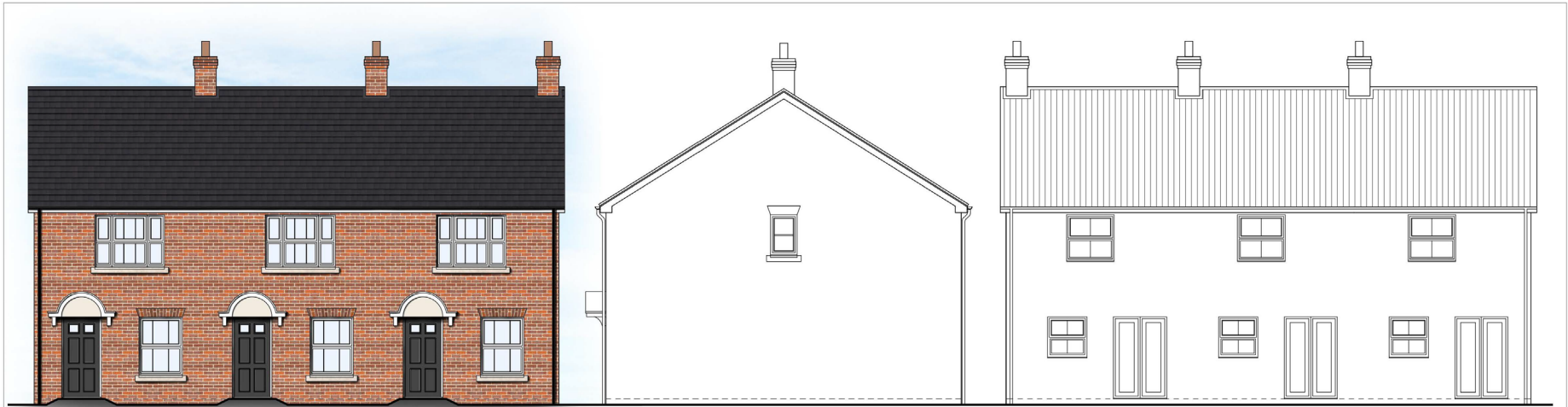
Ground Floor Plan



First Floor Plan

House Type S153 V2 (Semi Detached)

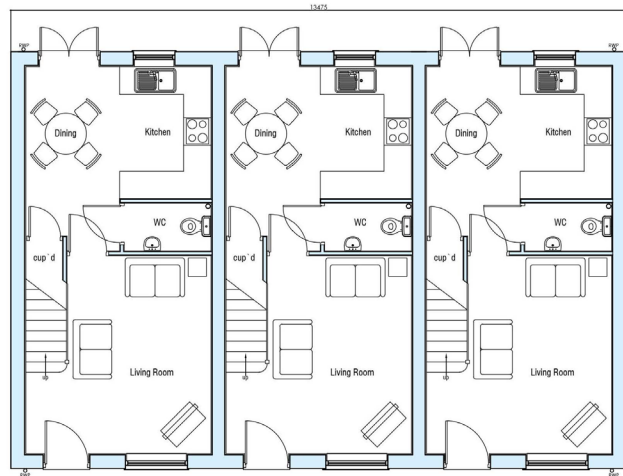
Floor Plans & Elevations



Front Elevation

Right Side Elevation

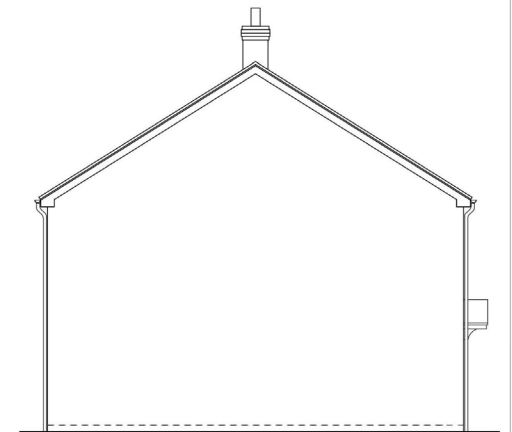
Rear Elevation



Ground Floor Plan
Total Floor Area - 69.94 m² / 752.84 ft²



First Floor Plan



Left Side Elevation

House Type S213 V3 (Terrace)

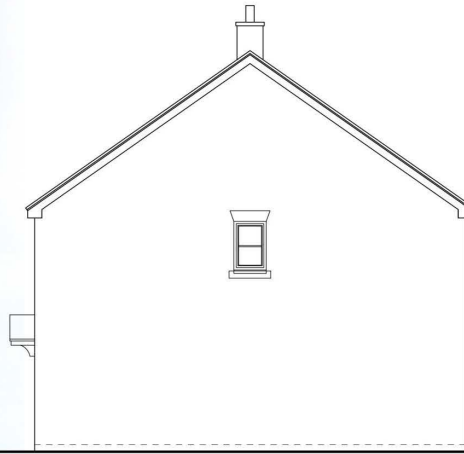
Floor Plans & Elevations

S213V3- 01 - Plans & Elevations (Terrace Version) 1:100 @A3 November 2023 APS





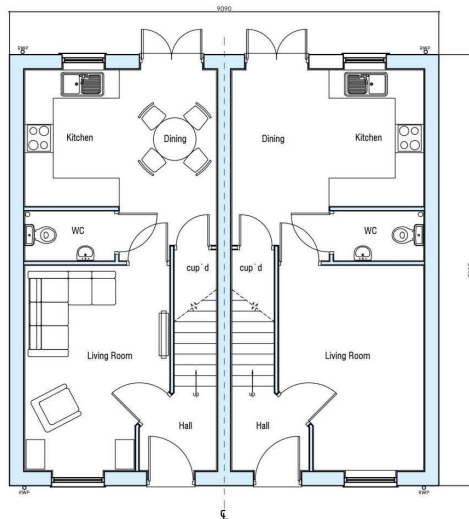
Front Elevation



Right Side Elevation

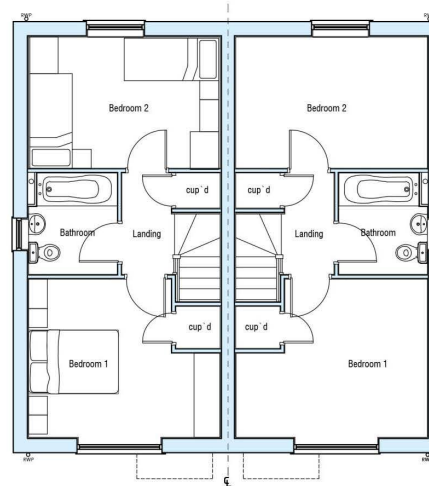


Rear Elevation

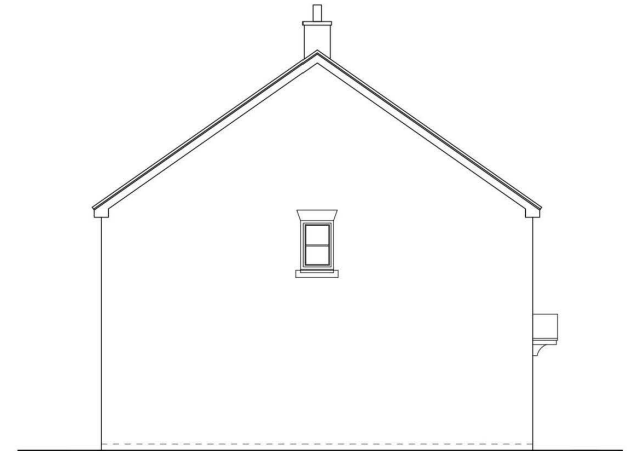


Ground Floor Plan

Total Floor Area - 69.94 m² / 752.84 ft²



First Floor Plan



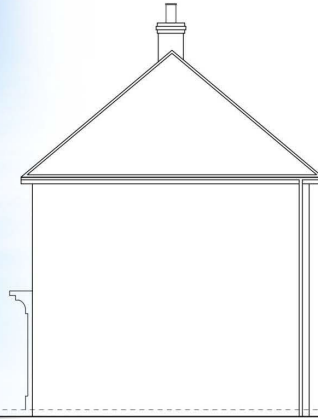
Left Side Elevation

House Type S213 V3

Floor Plans & Elevations



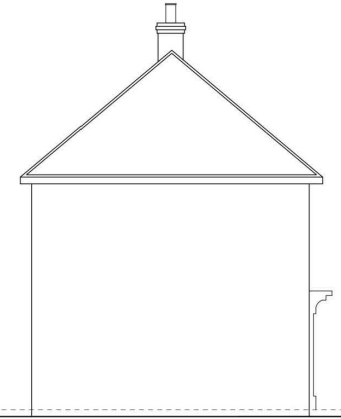
Front Elevation



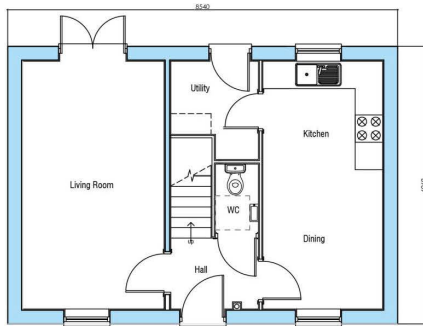
Side Elevation



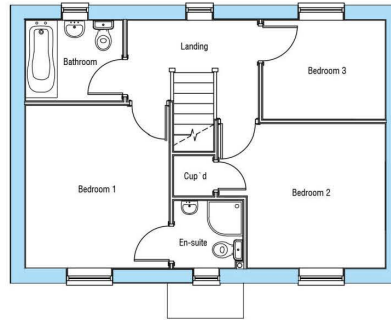
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

House Type - S301 V4

Floor Plans & Elevations

HT - S301 V4 - Plans & Elevations 1:100 @A3 November 2023 MD



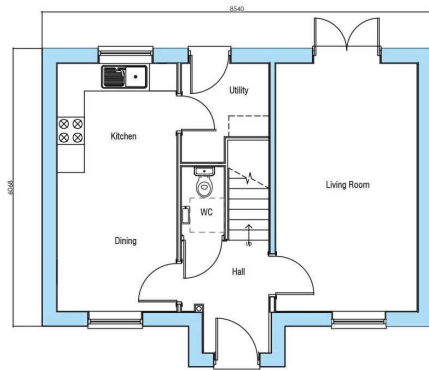
Front Elevation



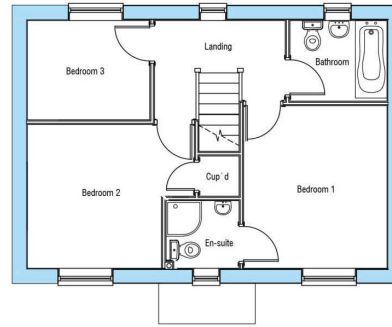
Side Elevation



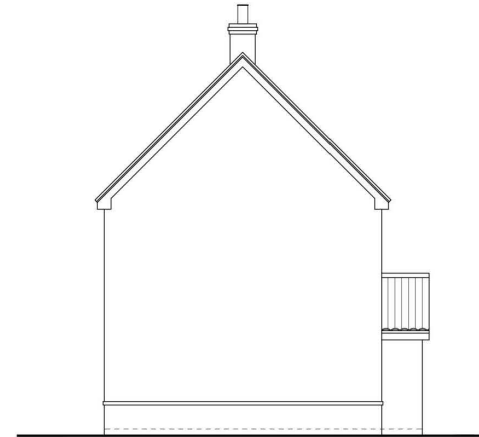
Rear Elevation



Ground Floor Plan



First Floor Plan



Side Elevation

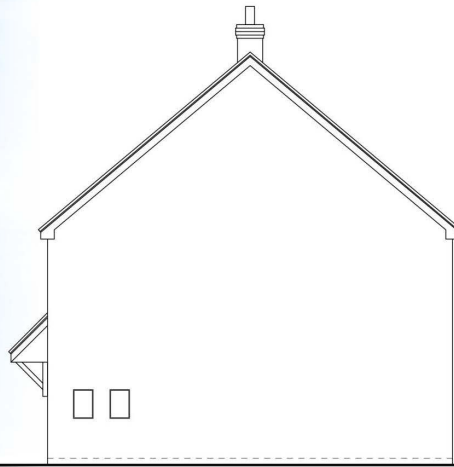
House Type - S301 V5

Floor Plans & Elevations

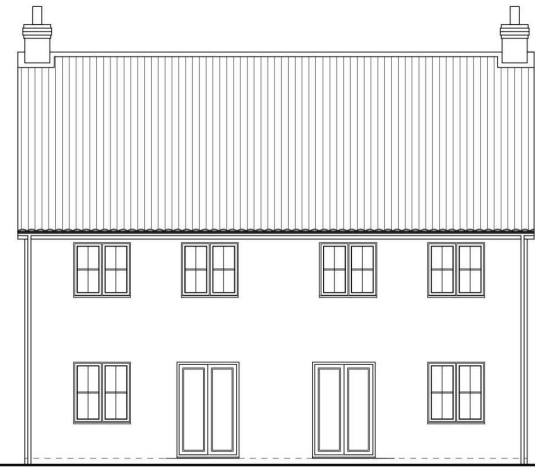
HT - S301 V5 - Plans & Elevations 1:100 @A3 November 2023 MD



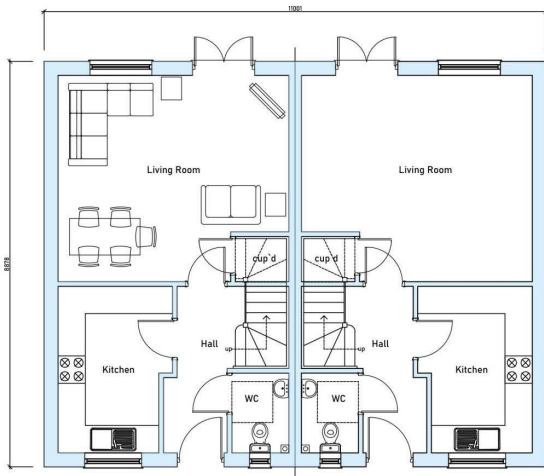
Front Elevation



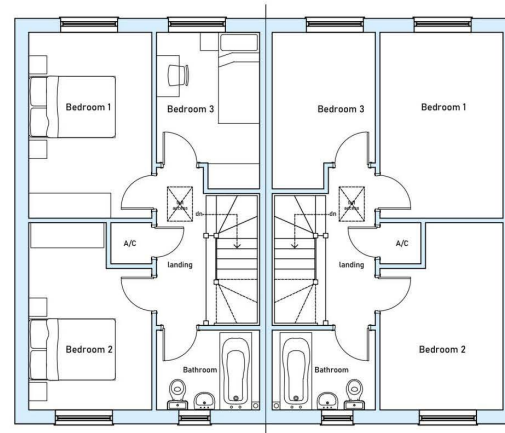
Side Elevation



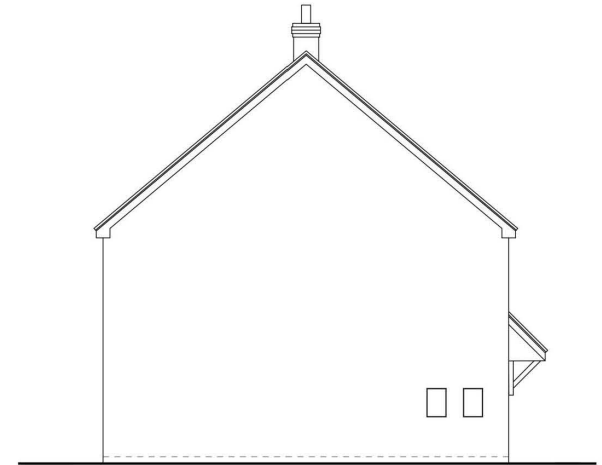
Rear Elevation



Ground floor plan
(83.71m² / 901.08ft²)



First floor plan



Side Elevation

House Type - S303V4

Floor Plans & Elevations



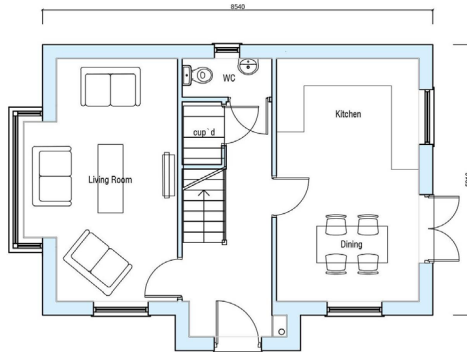
Front Elevation



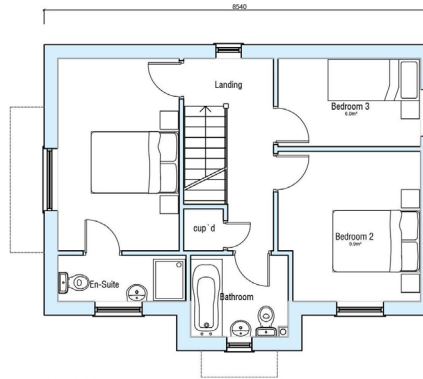
Front /Side Elevation



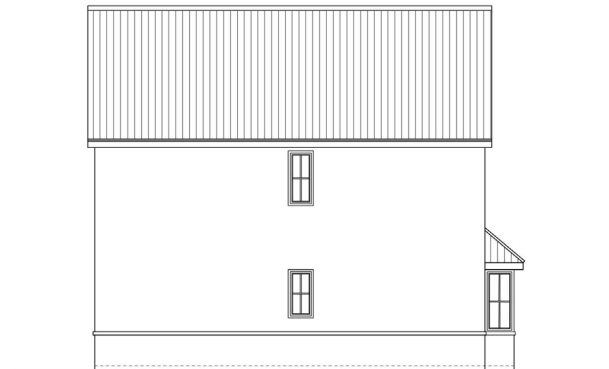
Rear Elevation



Ground Floor Plan
Total Floor Area - 89.34m² / 961.65ft²



First Floor Plan



Side Elevation

House Type - S312 V2

Floor Plans & Elevations

HT - S312 V2 - 01 - Plans & Elevations 1:100 @A3 Nov 2023 MD



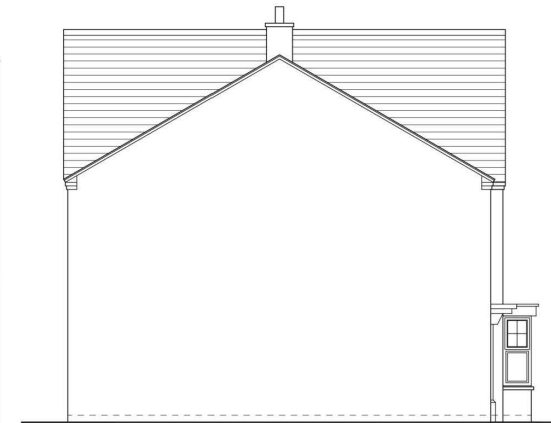
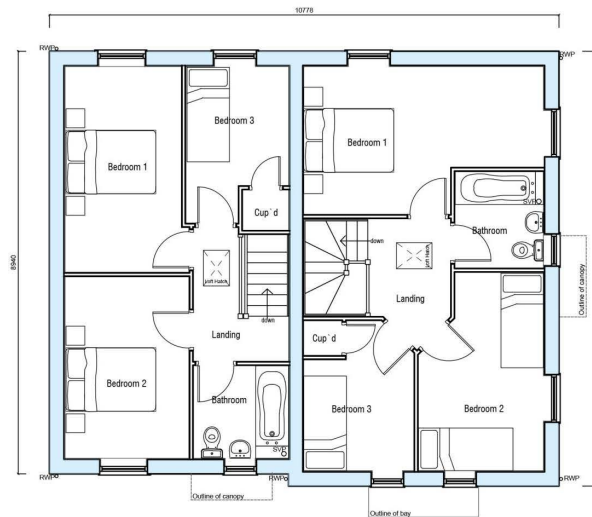
Front Elevation



Side/Front Elevation



Rear Elevation



Side Elevation

House Type S318V2 & S319V2

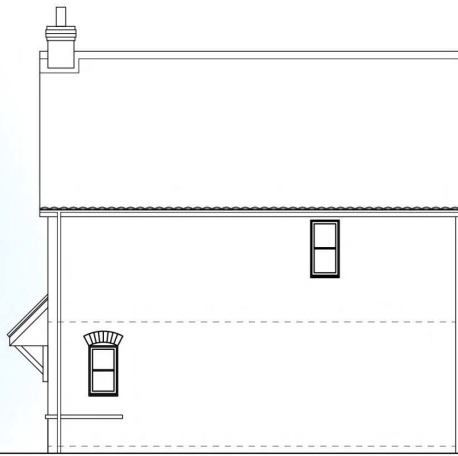
Floor Plans & Elevations

S318V2 & S319V2 - 02 - Plans & Elevations 1:100 @A3 October 2023 MD





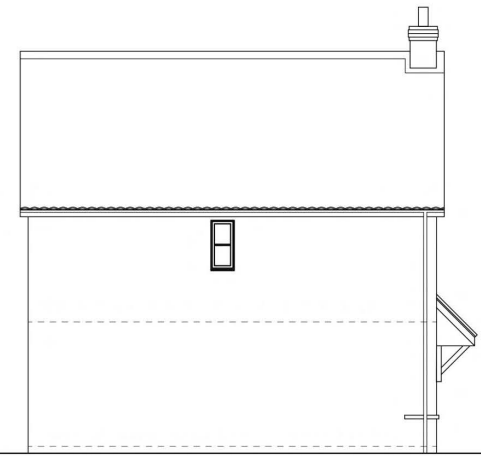
Front Elevation



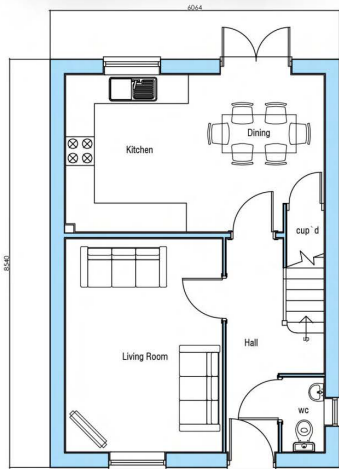
Side Elevation



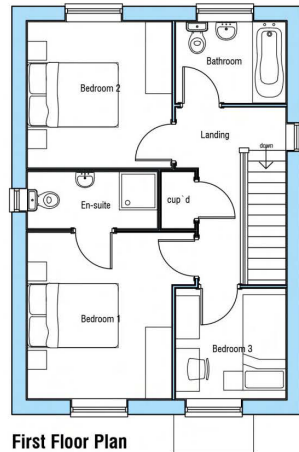
Rear Elevation



Side Elevation



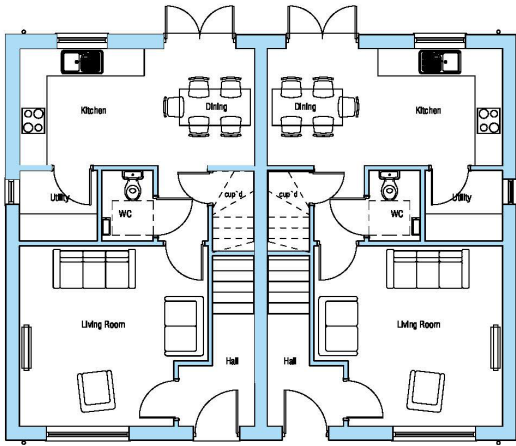
Ground Floor Plan



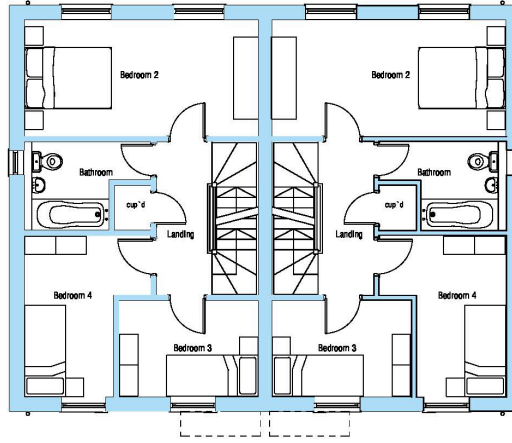
First Floor Plan

House Type - S306 V3

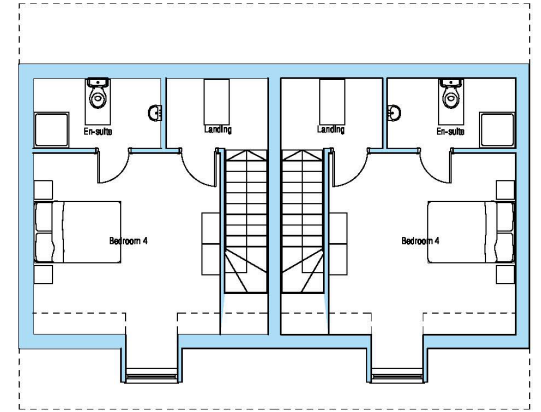
Floor Plans & Elevations



Ground Floor Plan



First Floor Plan



Second Floor Plan

House Type - S430 V3

Floor Plans

HT - S430 V3 - 01 - Floor Plans 1:100 @A3 Nov 2023 MD



Front Elevation

Right Side Elevation



Rear Elevation

Left Side Elevation

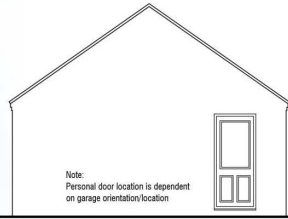
House Type - S430 V3

Elevations

HT - S430 V3 - 02 - Elevations 1:100 @A3 Nov 2023 MD

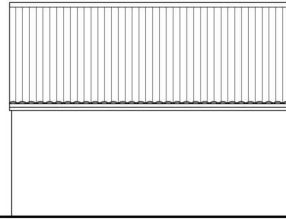


Front Elevation (Double & Twin)

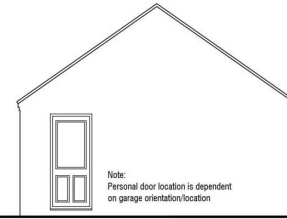


Right Side Elevation

Note:
Personal door location is dependent
on garage orientation/location



Rear Elevation

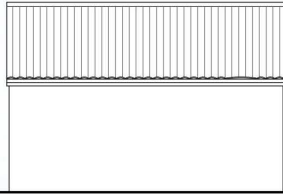


Left Side Elevation

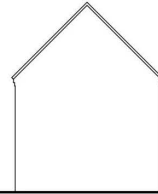
Note:
Personal door location is dependent
on garage orientation/location



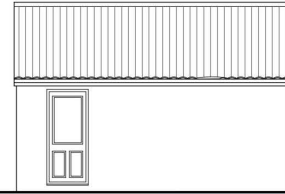
Front Elevation (Single)



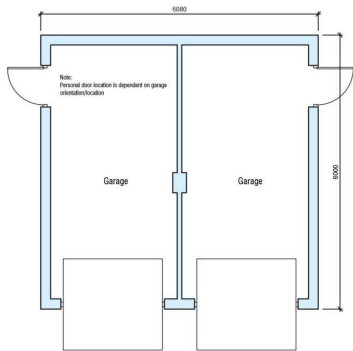
Right Side Elevation



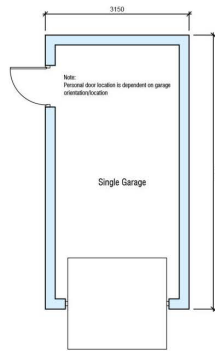
Rear Elevation



Left Side Elevation

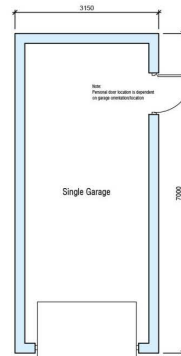


Twin Garage Plan



Single Garage Plan

Note:
Personal door location is dependent
on garage orientation/location



Single Garage Plan
(accessible garage)

3150

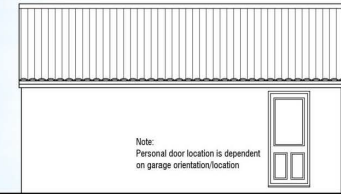
Note:
Personal door location is dependent
on garage orientation/location

Single Garage

7000

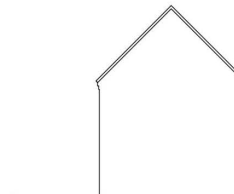


Front Elevation (Single)

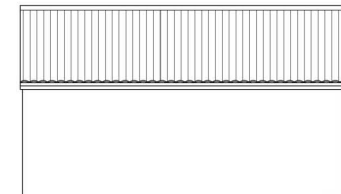


Right Side Elevation

Note:
Personal door location is dependent
on garage orientation/location



Rear Elevation



Left Side Elevation

Garage Drawings

Floor Plans & Elevations

Garages - 01 A - Plans & Elevations 1:100 @A3 Dec 2023 MD

Rev A - Accessible garage design added 21.12.23 MD



Site from front showing north west corner trees





Site from front showing south west corner





Ivanda House and greenhouses









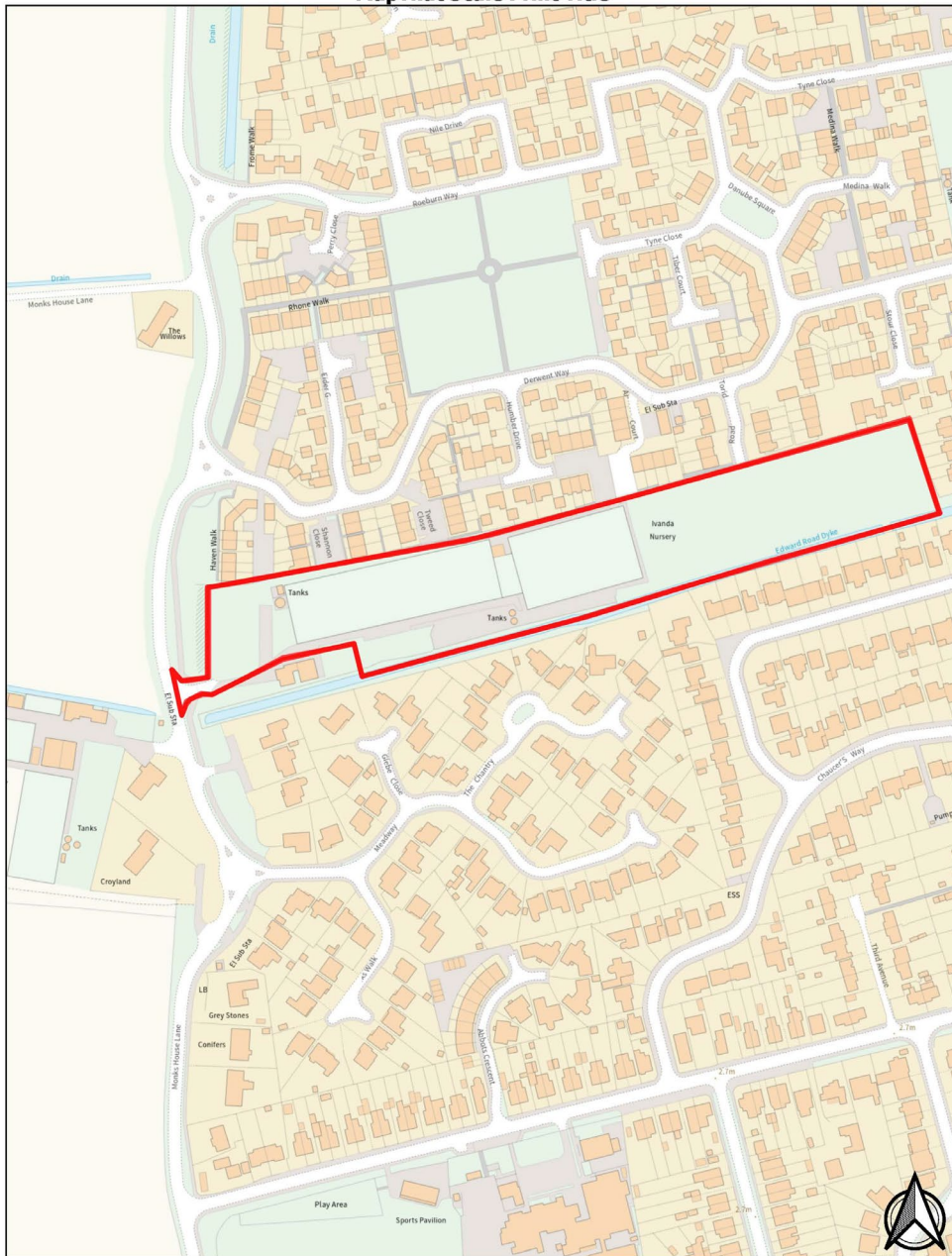
Surrounding Development



Surrounding development



MapThat Scale Print Title



MAP SCALE 1:2500
CREATED DATE: 01/02/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE



MAP SCALE 1:1250
CREATED DATE: 25/01/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE

ST MARGARET'S, QUADRING



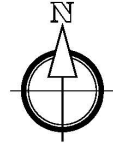
NOTES:

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All dimensions to be checked on site prior to construction or off-site fabrication by the Contractor, his Sub-contractor or Supplier.

Do not scale plans - use figure or grid dimensions where given. Any deviation from the drawing is to be reported to the originator immediately.

IF IN DOUBT ASK!



Revision	Notes	Date



Project: **PROPOSED RESIDENTIAL DEVELOPMENT, ST MARGARET'S, QUADRING, SPALDING**

Drawing: **LOCATION PLAN**

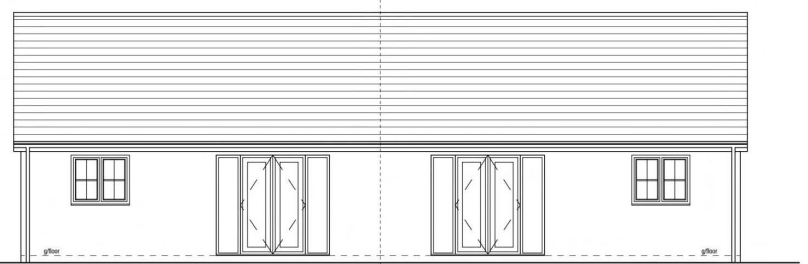
Drawn: **MD** Date: **08.01.2021**

Status: **PLANNING** Scale: **1:1250 @ A3**

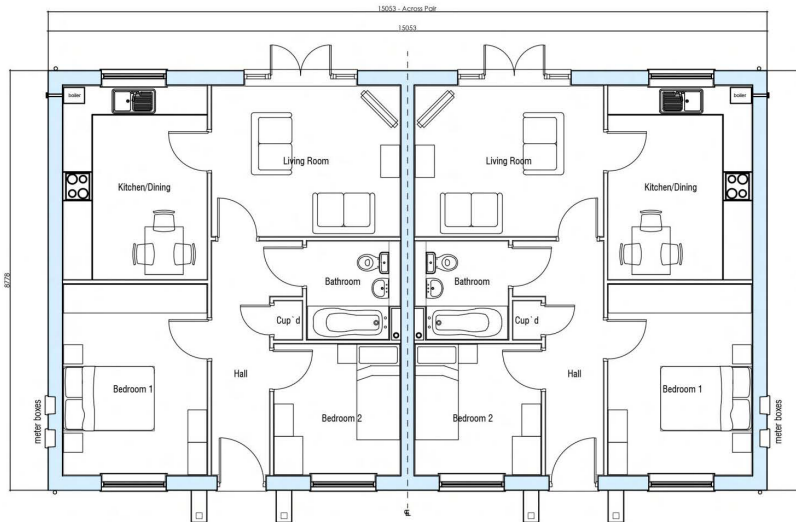
Drawing Number: **SMQ-SH-LP-AR-02**



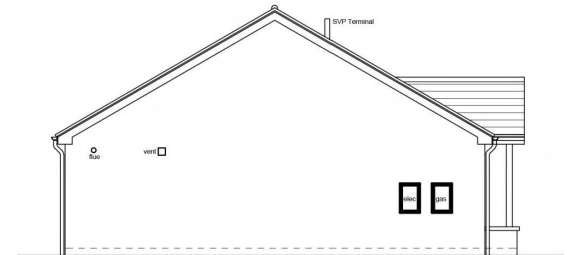
Front Elevation



Rear Elevation



Floor Plan
Total Floor Area - 57.2sqm



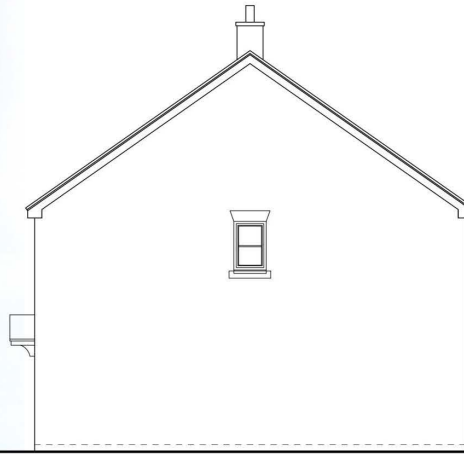
Side Elevation

House Type S211

Floor Plans & Elevations



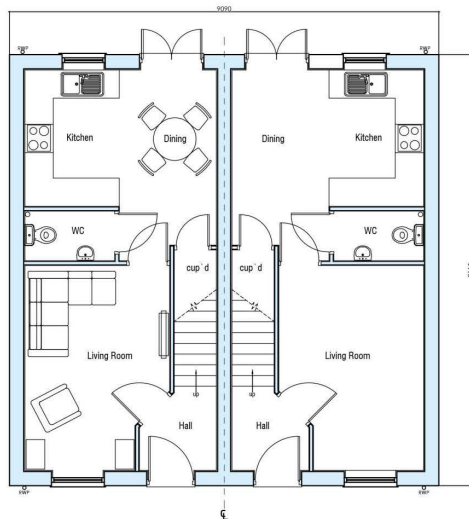
Front Elevation



Right Side Elevation

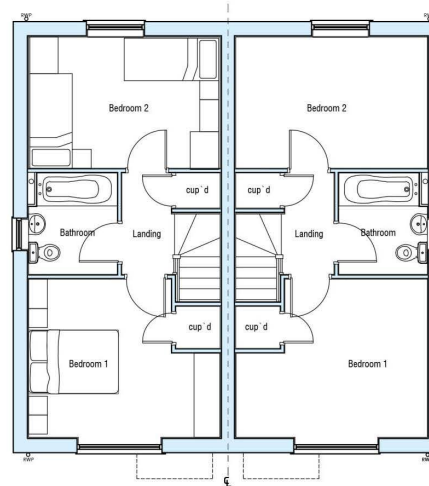


Rear Elevation

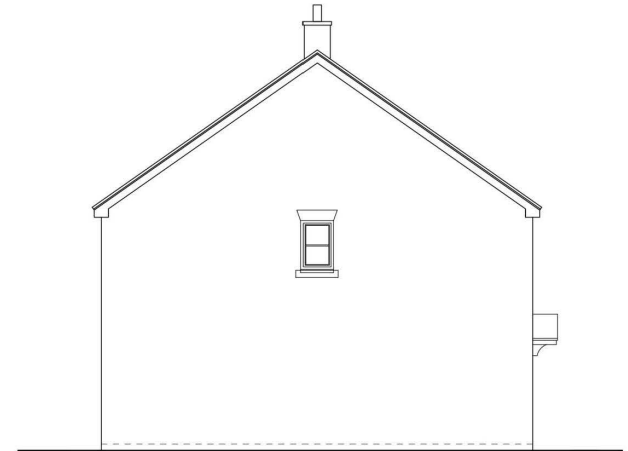


Ground Floor Plan

Total Floor Area - 69.94 m² / 752.84 ft²



First Floor Plan



Left Side Elevation

House Type S213 V3

Floor Plans & Elevations

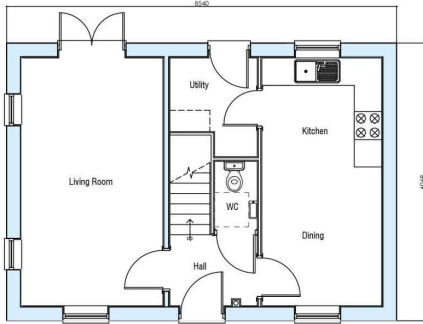


Front Elevation

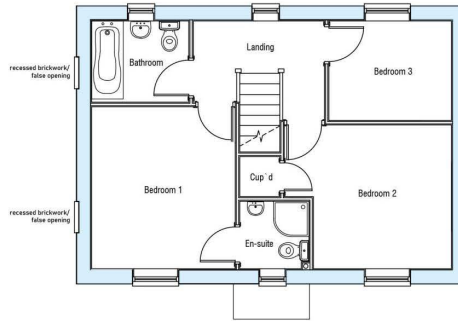
Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan

House Type - S301 V3

Floor Plans & Elevations



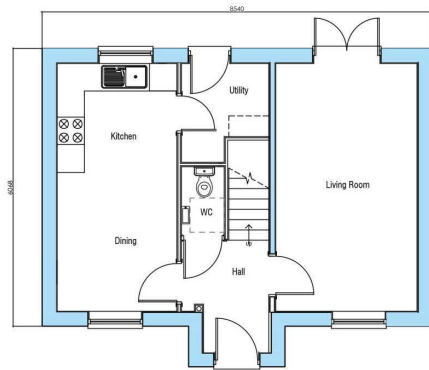
Front Elevation



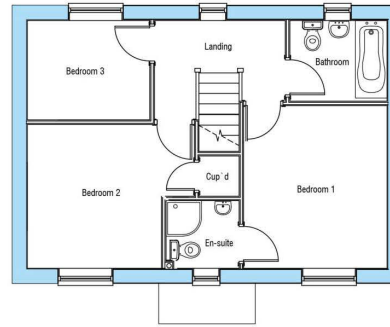
Side Elevation



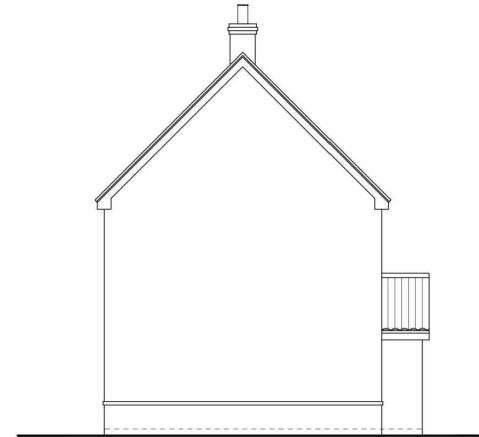
Rear Elevation



Ground Floor Plan



First Floor Plan



Side Elevation

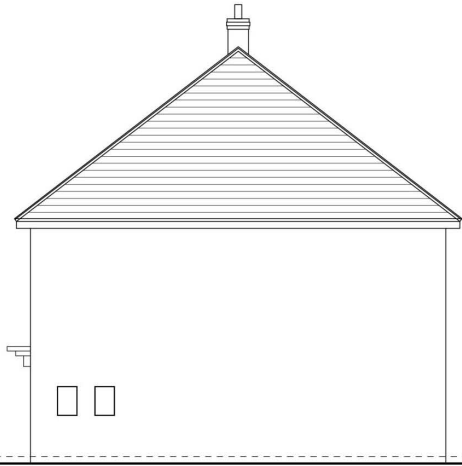
House Type - S301 V5

Floor Plans & Elevations

HT - S301 V5 - Plans & Elevations 1:100 @A3 November 2023 MD



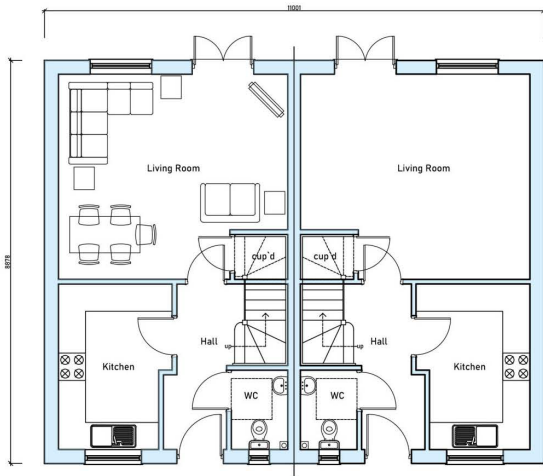
Front Elevation



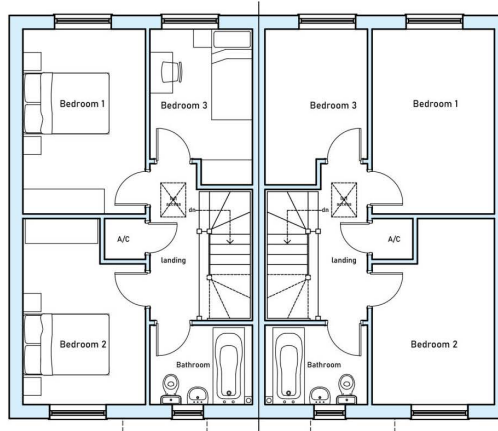
Side Elevation



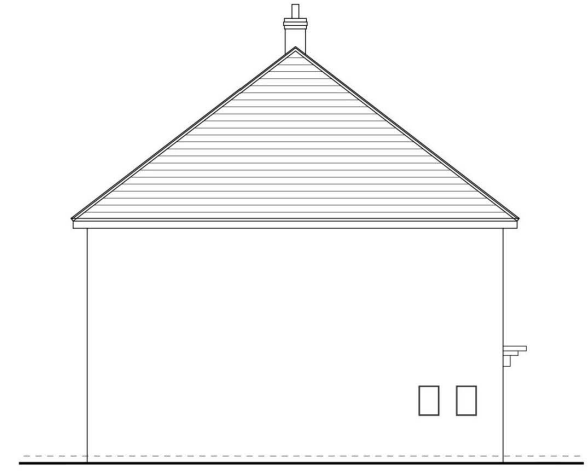
Rear Elevation



Ground floor plan
(83.7m² / 901.68ft²)



First floor plan



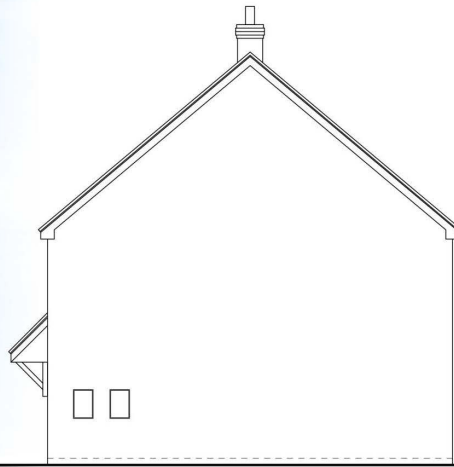
Side Elevation

House Type - S303V2

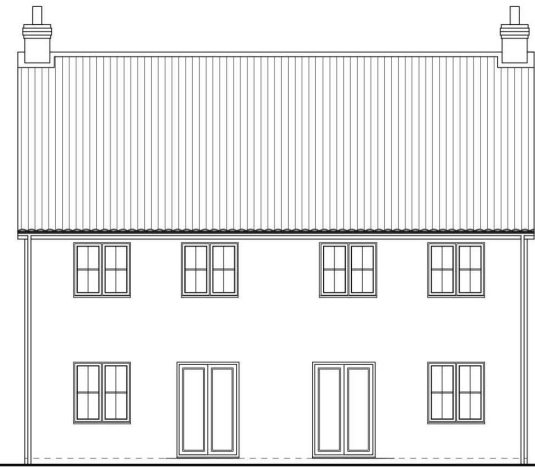
Floor Plans & Elevations



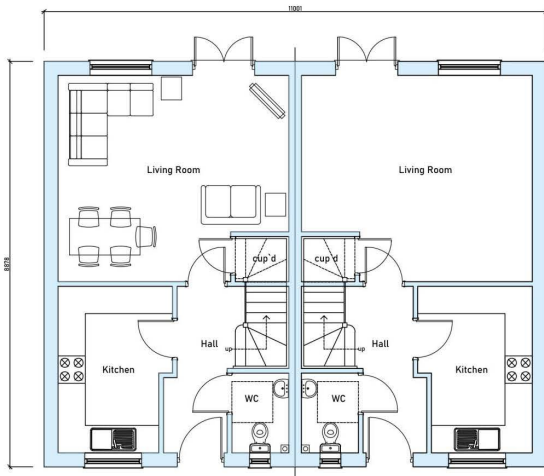
Front Elevation



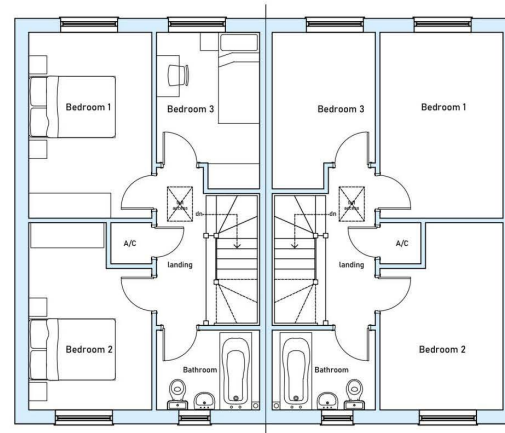
Side Elevation



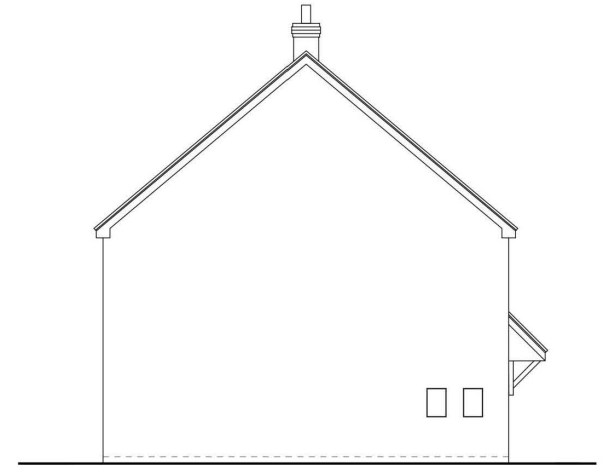
Rear Elevation



Ground floor plan
(83.71m² / 901.08ft²)



First floor plan



Side Elevation

House Type - S303V4

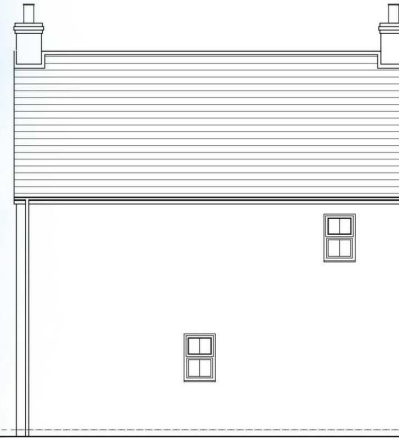
Floor Plans & Elevations



Front Elevation



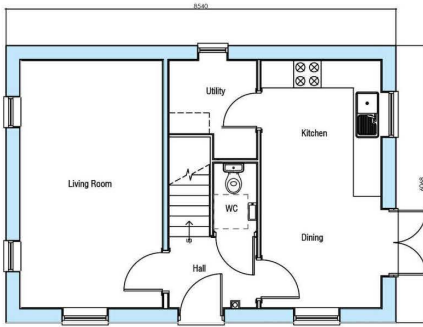
Side Elevation



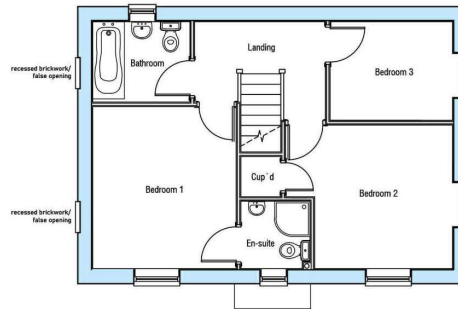
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

House Type - S305 V3

Floor Plans & Elevations



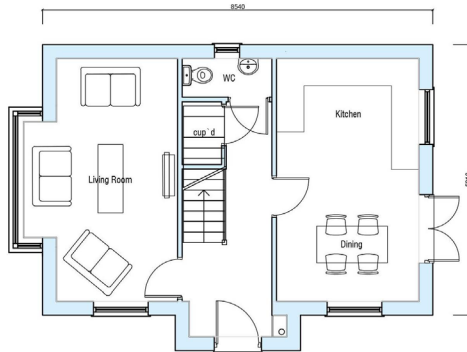
Front Elevation



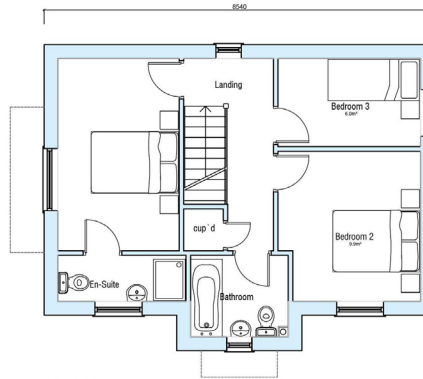
Front /Side Elevation



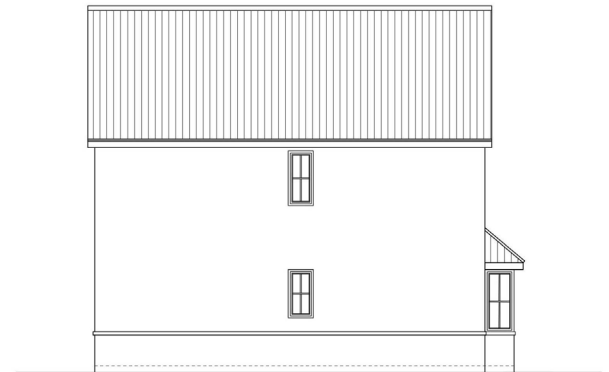
Rear Elevation



Ground Floor Plan
Total Floor Area - 89.34m² / 961.65ft²



First Floor Plan



Side Elevation

House Type - S312 V2

Floor Plans & Elevations

HT - S312 V2 - 01 - Plans & Elevations 1:100 @A3 Nov 2023 MD



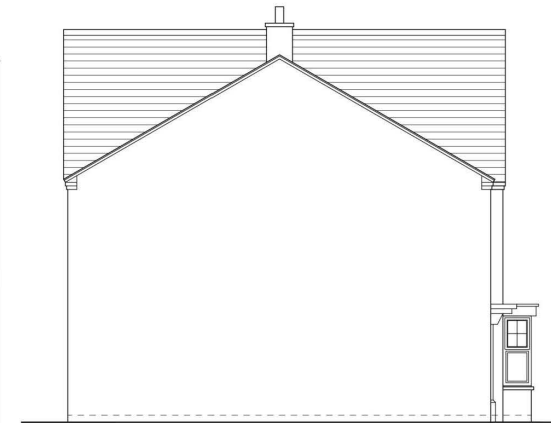
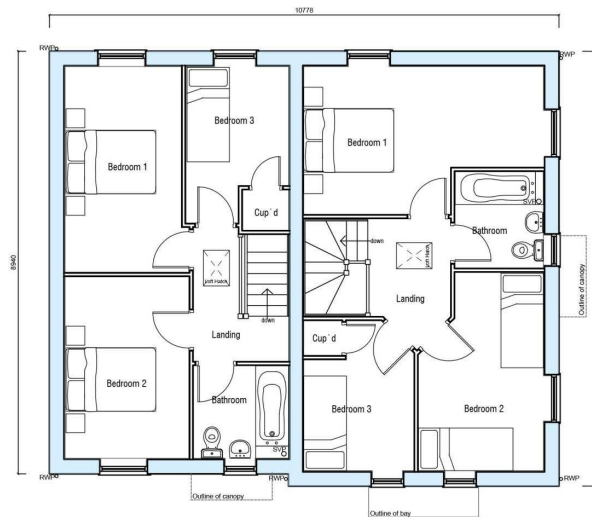
Front Elevation



Side/Front Elevation



Rear Elevation



Side Elevation

House Type S318V2 & S319V2

Floor Plans & Elevations

S318V2 & S319V2 - 02 - Plans & Elevations 1:100 @A3 October 2023 MD





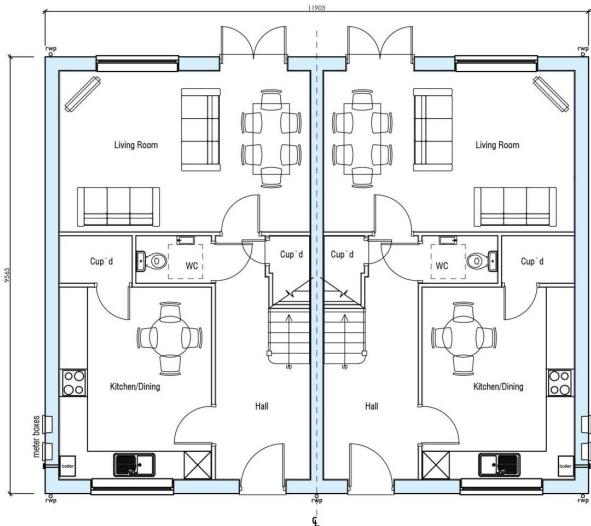
Front Elevation



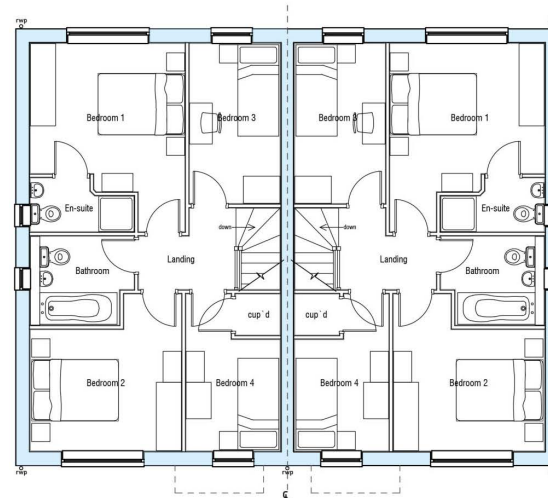
Side Elevation



Rear Elevation



Ground Floor Plan



First Floor Plan



Side Elevation

House Type - S427 V3

Floor Plans & Elevations

ST MARGARET'S, QUADRING.

Landscape Specification – Plot Landscapes

Topsoil
It is expected that all soils will be derived from the site. However, should additional soils be required, all soil except for willowford seed areas, is to be imported to meet BS topsoil requirements for 'General Purpose' use. New shrub beds are to receive topsoil minimum 400mm depth after settlement. Turf and amenity grass seeded areas are to receive minimum 150mm depth of topsoil after settlement.

Trees
Root barriers are to be employed near services. Landscape contractors are to check the locations for all existing and proposed services prior to undertaking excavation works.

All standard and multi-stem trees are to be planted in separate pits 1m x 1m x 900mm which shall be backfilled with a mixture of approved top soil and tree and shrub planting compost at a rate of one part compost to two parts topsoil. Each tree shall be planted centrally within the pit to the original root collar and secured by underground guys. Trees within areas of open space and amenity areas shall be fitted with a watering tube such as Root Rain Mistro (supplied by Greenleaf), or similar approved.

After planting all trees shall be watered-in and a mulch layer of 1m diameter approved forest bark spread over the tree pit to 50mm depth. A biodegradable tree shelter will be fixed to the base of each tree to protect it from rabbit attack and strimmer damage.

Hedgerows
Ornamental
Ornamental hedgerow trenches shall be dug to a 450mm depth and 450mm width. The base of which shall be broken up before returning the topsoil backfill mixture to the trench at the rate of one part compost to two parts topsoil. Plants to be planted at 3 per linear metre in a single row. All stock shall be planted to the root collar and well firmed in place.

On completion all hedge plants shall be thoroughly watered in. After planting a 50mm layer of approved compost fine bark (nominal size 1-10mm) shall be spread over the whole hedge length (600mm wide).

Ornamental shrubs and groundcover areas
Within the plots, plants are to be planted in variety groups of 3-5 plants per group, with taller species to back of beds and lower growing species to the fronts and adjacent to pathways. Within open space areas, plants are to be planted in variety groups of 5-7 plants per group, with taller species to the centre of beds and lower growing species to the edges and adjacent to pathways.

All shrub beds shall be back-filled with good quality topsoil depth 450mm, the base ground being thoroughly broken up before placement. Tree and shrub planting compost shall be spread to a minimum depth of 50mm and thoroughly retained in during cultivation. All stock shall comply with the specification provided on the drawing. All plants shall be well firmed in after planting and watered. After planting all beds shall receive a 50mm layer of approved forest bark mulch over the extent of the bed.

Turf (Front gardens of plots)
All areas to be turfed shall be top-soiled to a minimum depth of 150mm, the base for which shall be thoroughly broken up. Once placed, the topsoil shall be cultivated and fine graded to even running falls before raking and cross raking. Prior to laying, a pre-seeding fertiliser shall be applied in accordance with the manufacturer's instructions. Turf (such as Row lawn Medallion or similar approved), shall be laid to front garden areas in accordance with good practice.

Grass Seed
Rest gardens of plots
All areas shall be seeded with Emorsgate EG22 Strong Lawn Mix, or similar approved. All areas to be newly grass seeded, shall be top-soiled to a minimum depth of 150mm the base for which shall be thoroughly broken up. Once placed, the topsoil shall be cultivated and fine graded to even running falls before raking and cross raking.

All grass seed is to be sown, preferably in autumn or spring but it can be sown at other times of the year if there is sufficient warmth and moisture. The seed must be surface sown, applied by a small machine or broadcast by hand. For even distribution, divide the seed into two or more parts and sow in overlapping sections. Firm in the seed with a roll, or by treading to give good seed/soil contact. Do not incorporate the seed into the soil or cover the seed in any way.

Amenity Grass Areas
Areas of open space identified on the plan shall be mown regularly (to maintain at approximately 25mm high). Collect and remove all arisings.

Meadow areas within open space - (around attenuation basin)
Meadow areas as identified on the plan shall be mown regularly throughout the first year of establishment to maintain the balance between faster growing grasses and slower developing wild flowers, and to remove competition from the first flush of annual weeds. From the second year of establishment onwards areas should be allowed to grow to full height and be cut once a year at the end of August or grazed. All arisings are to be allowed to lay in situ for ten days to allow seeds to be cast within the area prior to removal from site or composting in piles.

Bulbs
Bulbs shall be allowed to die back within grass areas for a period of six weeks following flowering. Following this, mowing of these areas can be carried out (if applicable).

Notes

- All stock is to be rootballed/container grown unless planted during planting season;
- All shelters and tree wrapping to be biodegradable;
- No cultivation should be undertaken in wet/waterlogged conditions;
- Imported topsoil to accord with BS3303;
- Supplying nurseries shall be registered under the HTA Nursery Certification Scheme, and plant material should be of certified British provenance;
- All plants shall be packed and transported in accordance with the Code of Practice for plant handling as Published by The Committee for Plant Supply and Establishment (CPSE);
- All plant material to conform with BS:3936 and BS:4428;
- Planting operations to be undertaken during appropriate climatic conditions to avoid wet/waterlogged or frost bound soil conditions, frosts, droughts or during periods of excessive cold drying winds.
- Landscape contractors to confirm potential build programme with house builder when pricing soft landscape works to allow for and accommodate potential out of season planting and phased release of plots for implementation. Allowances to potentially include for supply of containerised stock, additional attendance in relation to phasing and additional watering.



- Programme**
- All bare root planting to be undertaken during the planting season November – March. (All ground cultivations to be undertaken under suitable conditions).
 - Shrub and tree planting within housing areas to be implemented in phases as sections of building works are completed. (Container and root-balled stock is specified for this purpose). Close attention to be paid to watering of plant material outside the planting season as set out in the specification.
 - Seeding works and cultivation to be undertaken in the late summer to mid-autumn or mid spring.
 - Any replacement planting required during the initial maintenance period is to be undertaken during the planting season, (November to March).
- Maintenance**
- Planting and lawns in private areas will be maintained as detailed below until occupied. Once occupied, the planting and lawns in private areas shall be maintained by the individual plot holders. All planting in open space areas shall be maintained as detailed below by the management company in good order with any plant material which dies within a five year period being replaced to the original specification.
- Trees**
- All trees shall be regularly checked and any broken ties, guards or stakes replaced. Mulch shall be topped up to maintain original levels. In periods of dry weather all trees during years 1-5 shall be regularly watered to field capacity. The area around the base of each tree is to be kept mulched to 50mm depth minimum and weed free to a minimum diameter of 1m during years 1-5. At the end of each growing season for years 1-5 all trees shall receive an application of slow release fertiliser. After approximately 5 years stakes and ties are to be removed once trees have established.
- Hedgerows**
- All hedgerows shall be maintained weed and rubbish free and any loose plants re-firmed. All plant protection measures where employed shall be regularly checked and adjusted or replaced as required. All hedge lines shall be regularly watered in times of drought to field capacity during years 1-5 and shall receive an application of slow release fertiliser at the end of the growing season for years 1-5. Mulch shall be regularly topped up to original levels during years 1-5 Cutting hedgerows is to be undertaken under the bird breeding season (March to end August). After approximately 5 years stakes and ties are to be removed once trees have established.
- Ornamental Shrub Planting Areas**
- Plant borders are to be kept weed and rubbish free and any loose plants re-firmed. All borders to be regularly watered in times of drought during years 1-5 and receive an annual application of slow release fertiliser for years 1-5. Mulch shall be topped up annually to original levels during years 1-5.
- Grass areas (front lawn of properties)**
- Any turfed areas which fail to provide a good quality initially vigorous grass sward shall be re-cultivated and re-sown / re-turfed as required during the first season.

Planting Schedule

Plant Species	Size	Spacing (m2)
C.a.J	Cornus alba 'Vevey Heli'	2L 30/40cm 5
CL	Carex conans 'Treated Curie'	2L 20/30cm 5
CoF	Coreopsis 'Ludlow'	80/100 tubs 6
CL	Chelidonium 'Silver Queen'	10L 30/40cm 5
ESQ	Eryngium fortunei 'Silver Queen'	1L 30/40cm 4
EES	Eryngium fortunei 'Emerald Surprise'	1.5L 30/40cm 4
HAG	Helle 'Autumn Glory'	2L 20/30cm 5
HARE	Helle 'Red Edge'	2L 20/30cm 5
HMB	Helle 'Midsummer Beauty'	2L 20/30cm 5
HMW	Helle 'New Wonder'	2L 20/30cm 5
LAV	Lavandula 'Hidcote'	3L 30/40cm 4
P.b.S	Panicum fasciculata 'Superba'	1L 20/30cm 5
PT	Potentilla fruticosa 'Abbotwood'	2L 20/30cm 4
Vm	Vincetoxicum	1.5L 5-10cm 5

Plant Species	Size	%	Spacing (m2)
BAN	Berberis 'Burgundy' 'Atropurpurea'	3L 30/40cm	30
CaPL	Chaenactis 'superba' 'Pink Lady'	2L 40/60cm	10
LAV	Lavandula 'Hidcote'	3L 30/40cm	40
Ln	Lonicera nidica	2L 40/60cm	20

PROPOSED TREES

Plant Species	Size (girth cm)
Acac	Acer campestre HSid BR 12-14cm
AcE	Acer campestre 'Eclair'
Rp	Rubus Pendula HSid BR 12-14cm
Pw	Prunus avium 'Plena'
P.U.	Prunus avium 'Umbrata'
Sa	Sorbus aucuparia EHsid BR 14-16cm

HEDGEROW

Plant Species	Size	Sp/linear meter (in a double staggered row)	Sp/linear meter (in a double staggered row)
FS	Fagus Sylvatica	B 40-60cm ht	
Pr	Prunifera Red Robin	C 5L 60/90cm ht	

NATIVE BURNER MIX

Plant Species	Size (girth cm)	Groupings	%
Acer campestre	B 1+1 60-80cm	groups 3-8	4
Crataegus monogyna	B 1+1 60-80cm	groups 3-8	10
Cornus sanguinea	B 1+1 40-60cm	groups 3-8	25
Corylus avellana	B 1+1 40-60cm	groups 3-8	25
Eucyathus europaeus	B 1+1 40-60cm	groups 3-8	5
Lonicera periclymenum	C 1L	Individuals	5
Ulex aquilifolius	C 1L	Scattered individuals	5
Melus sylvaticus	B 1+1 60-80cm	groups 3-8	5
Prunus spinosa	B 1+1 60-80cm	groups 5-9	5
Rosa canina	B 1+1 60-80cm	groups 3-8	5
Viburnum opulus	B 1+1 40-60cm	groups 3-8	5

MEADOW GRASS

Meadow Type	Seed Mix	Distribution Rate (g/m2)
Wetland Meadow Mix	Emorsgate EMB (or similar approved)	2/oz

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IF IN DOUBT ASK!



Rev	Description	Date
C	Landscape updating following changes to housing layout	07.12.23 WKS
B	Landscape updating following changes to housing layout	28.04.23 WKS
A	Issuing this indicated on site via 48 St Margaret's	25.10.23

SEAGATE HOMES

Project: PROPOSED RESIDENTIAL DEVELOPMENT, ST MARGARET'S, QUADRING, SPALDING, Lincs.

Drawing: LANDSCAPING PLAN

Drawn: LPR Date: 07.12.23

Checked: PLANNING Date: 1.500 @ A1

Drawing Number: SMQ-SH-SL-AR-04 C















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SARAH LANE

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SARAH LANE















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30























MAP SCALE 1:1250
CREATED DATE: 16/01/2024
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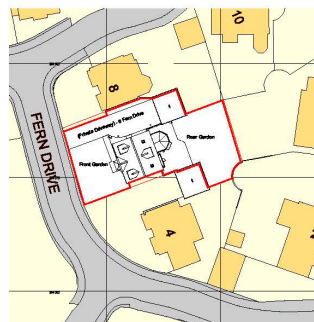


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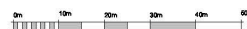
Site Location Plan
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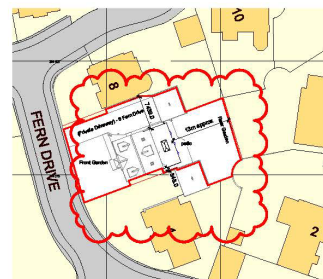
VISUAL SCALE 1:1250 @A1



Site Block Plan As Existing
1 : 500



VISUAL SCALE 1:500 @A1



Site Block Plan As Proposed
1 : 500



VISUAL SCALE 1:500 @A1

Ref.	Date	Description	Initials
B	30.10.23	Foundation Simplified and Roof Lanterns amended by 1/23	CLS
A	31.08.23	Boundary Lines Added	CLS

Oglby & Lamb Ltd
Chartered Architects
Site 1, Market Chambers
12 Market Place, Spalding, Lincs
PE11 1LS
Tel: 01775 761136
e-mail: design@o&l.tal.co.uk



Client:
Mr and Mrs Spicer

Project:
**Proposed Rear Extension,
6 Fern Drive, Spalding**

Drawing Title:
Site Location Plan

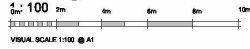
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Drawn by: **CLS** Checked by: **AJO**

Drawing Number: **A1597 - 01** Rev: **B**

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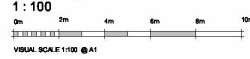
Existing North East Elevation (Rear)



VISUAL SCALE 1:100 @ A1



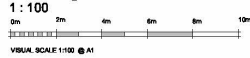
Existing South West Elevation (Front)



VISUAL SCALE 1:100 @ A1



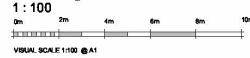
Existing North West Elevation (Side)



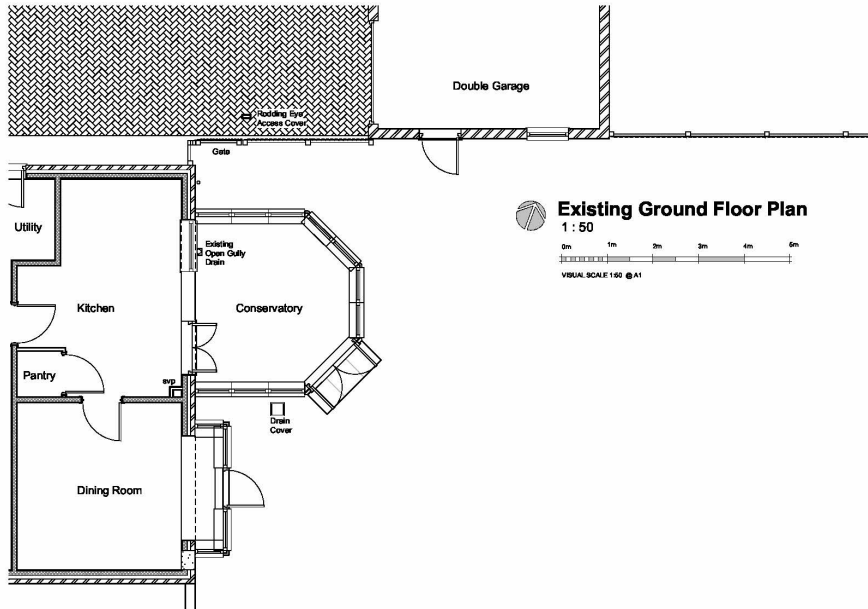
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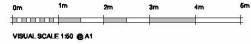
Existing South East Elevation (Side)



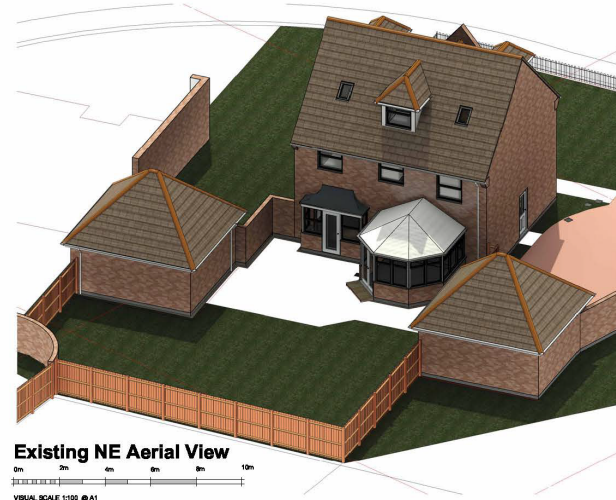
VISUAL SCALE 1:100 @ A1



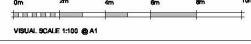
Existing Ground Floor Plan



VISUAL SCALE 1:50 @ A1



Existing NE Aerial View



VISUAL SCALE 1:100 @ A1

X Ref.	NOUCLIDE	Date	Description	Scale	Initial

Ogkaby & Lamb Ltd
 Chartered Architect
 Suite 1, Market Chambers
 12 Market Place, Spalding, Lincs
 PE11 1BE.
 T: 01775 761194
 e-mail: cl@ogkaby.com



Client: Mr and Mrs Spicer

Project: Proposed Rear Extension, 6 Fern Drive, Spalding

Drawing Title: Floor Plans and Elevations As Existing

GENERAL ISSUE

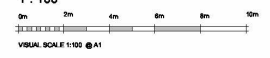
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Drawn by: CLS **Checked by:** AJO

Drawing Number: A1597-03 **Page:**

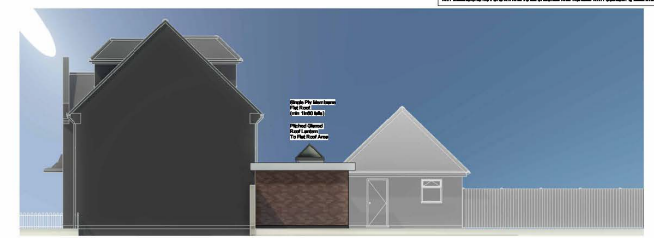
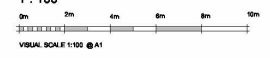
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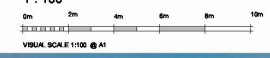
Proposed North East Elevation (Rear)
 1 : 100



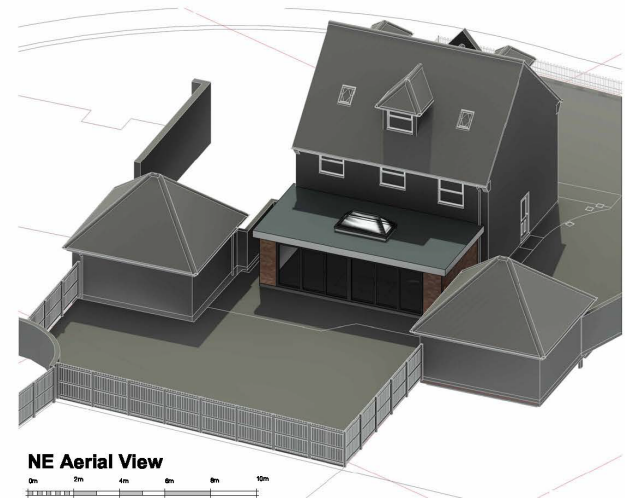
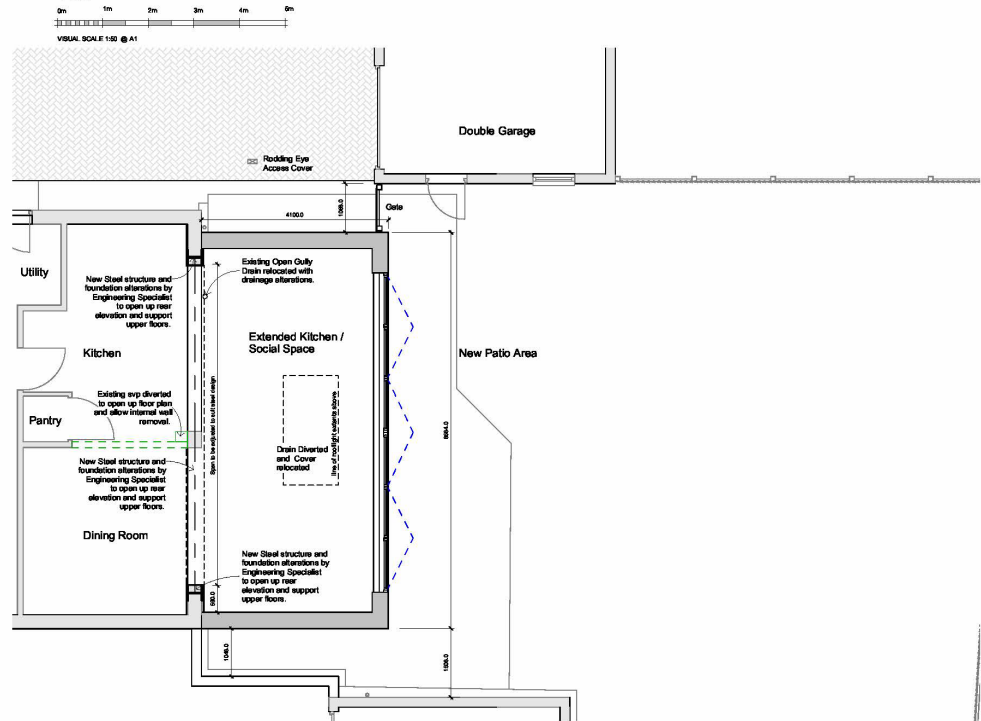
Proposed North West Elevation (Side)
 1 : 100



Proposed South East Elevation (Side)
 1 : 100



Proposed Ground Floor Plan
 1 : 50



NE Aerial View
 0m 2m 4m 6m 8m 10m
 VISUAL SCALE 1:100 @ A1

Ref.	Date	Description	Initial
D	26.12.23	Revised on Strengthened and Roof Lintels amended to 1 No.	CLS
C	05.08.23	Steel Extension and Flat Roof Finished Updated	CLS
B	27.07.23	Boundary Dimensions Added and Drain Stubs Updated	CLS
A	22.06.23	Client comments Integrated and MGS / SJ Labels Added	CLS

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Client: **Mr and Mrs Spicer**

Project: **Proposed Rear Extension, 6 Fern Drive, Spalding**

Drawing Title: **Floor Plans and Elevations As Proposed**
PLANNING APPLICATION ISSUE

Date: **11/05/2022** Scale: **as shown @ A1**
 Drawn by: **CLS** Checked by: **AJO**

Drawing Number: **A1597 - 11** Plan: **D**

























MAP SCALE 1:1250
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