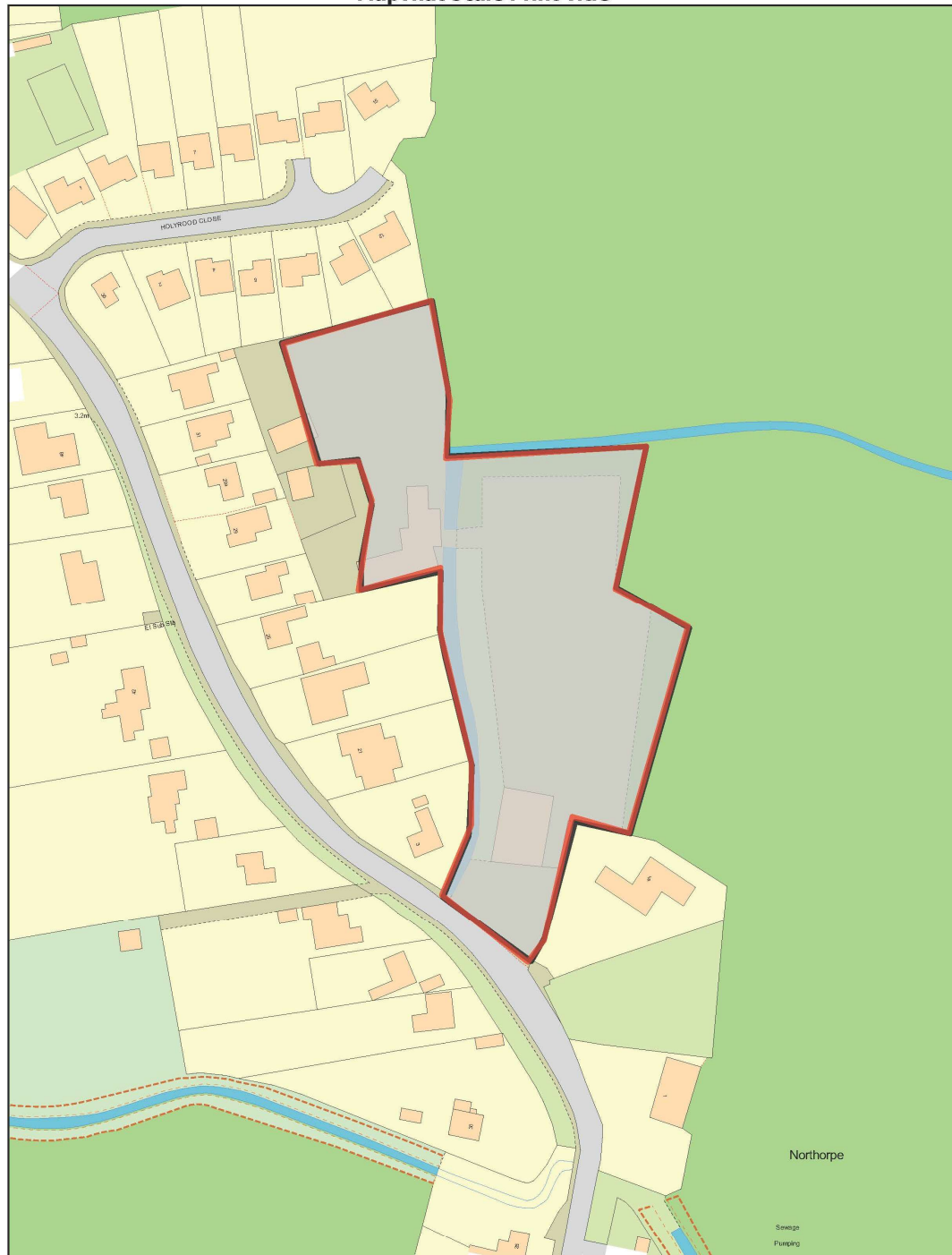
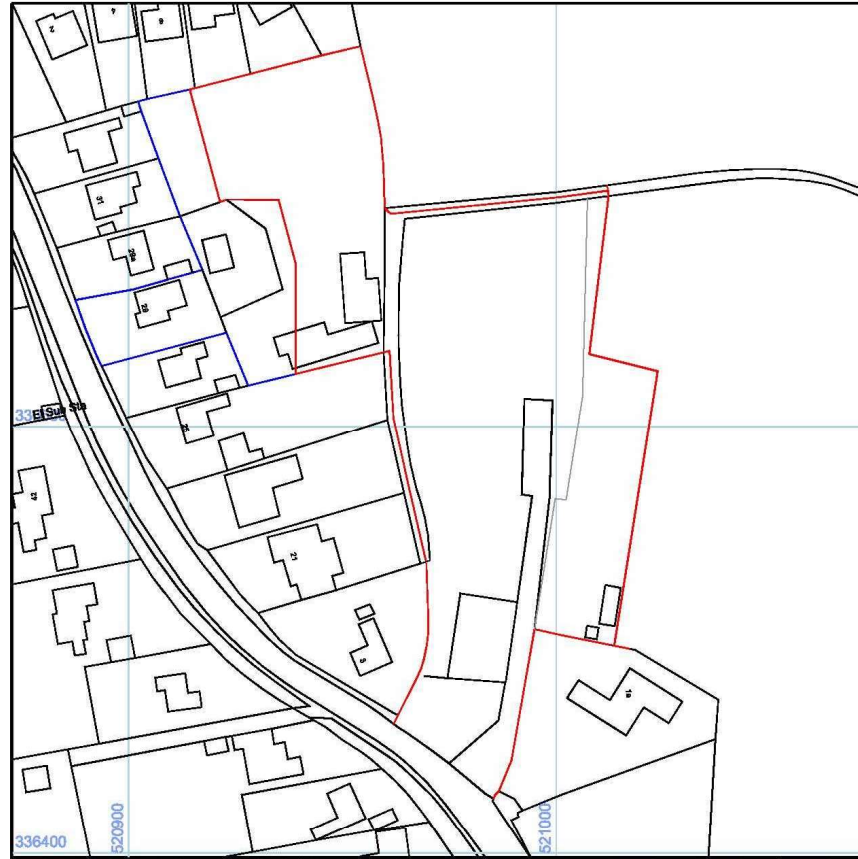
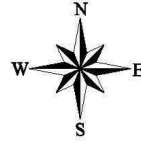


Welcome to the Planning Committee





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Survey 0100031673

0m 10m 20m 30m 40m 50m 60m 70m 80m 90m 100m

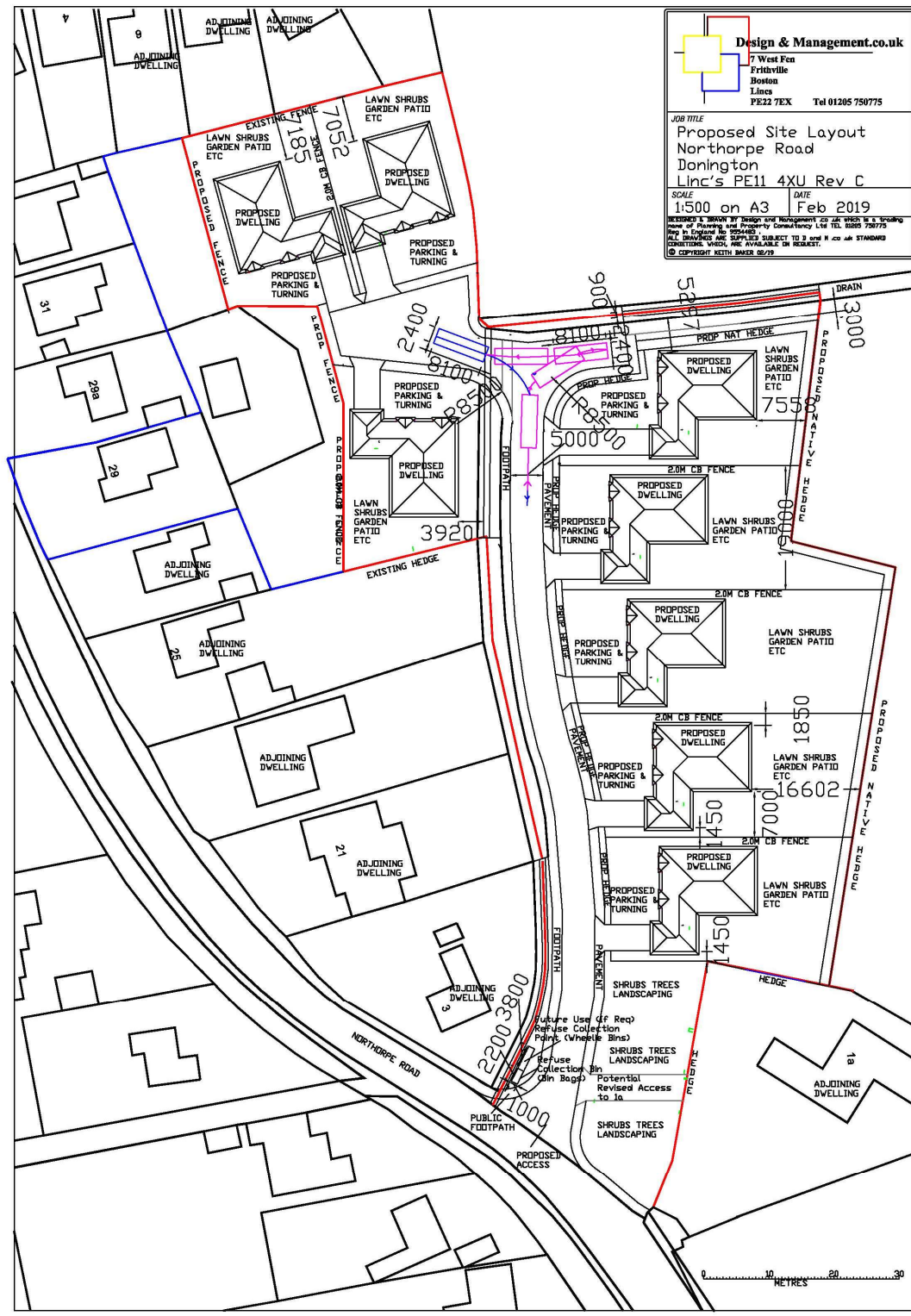
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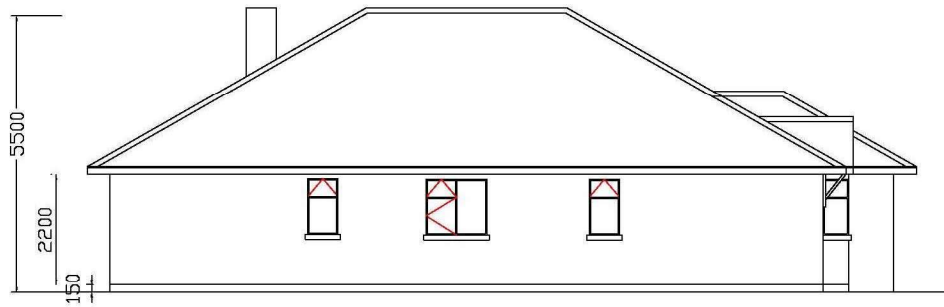
Design & Management.co.uk
 7 West Fen
 Frintville
 Boston
 Lines
 PE22 7EX Tel 01205 750775

JOB TITLE
 Proposed Site Layout
 Northorpe Road
 Donington
 Linc's PE11 4XU Rev C

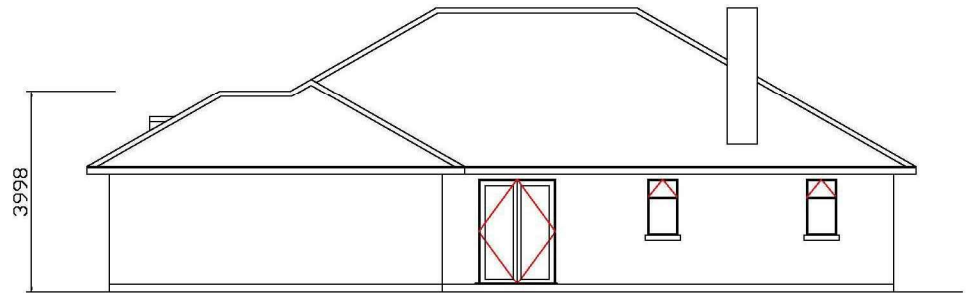
SCALE 1:500 on A3 **DATE** Feb 2019

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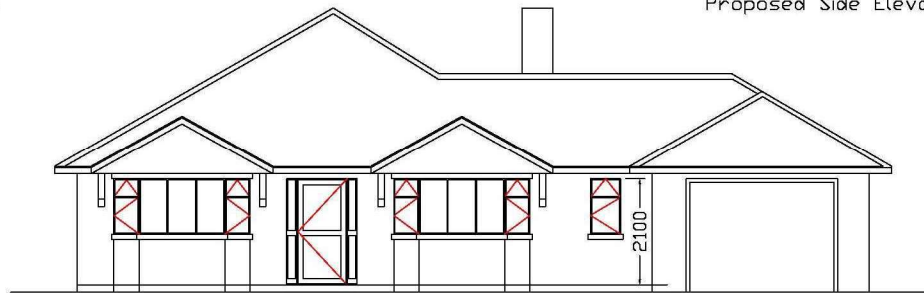




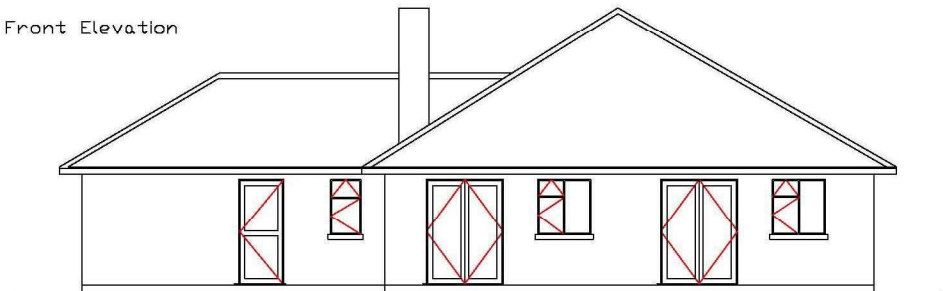
Proposed Side Elevation



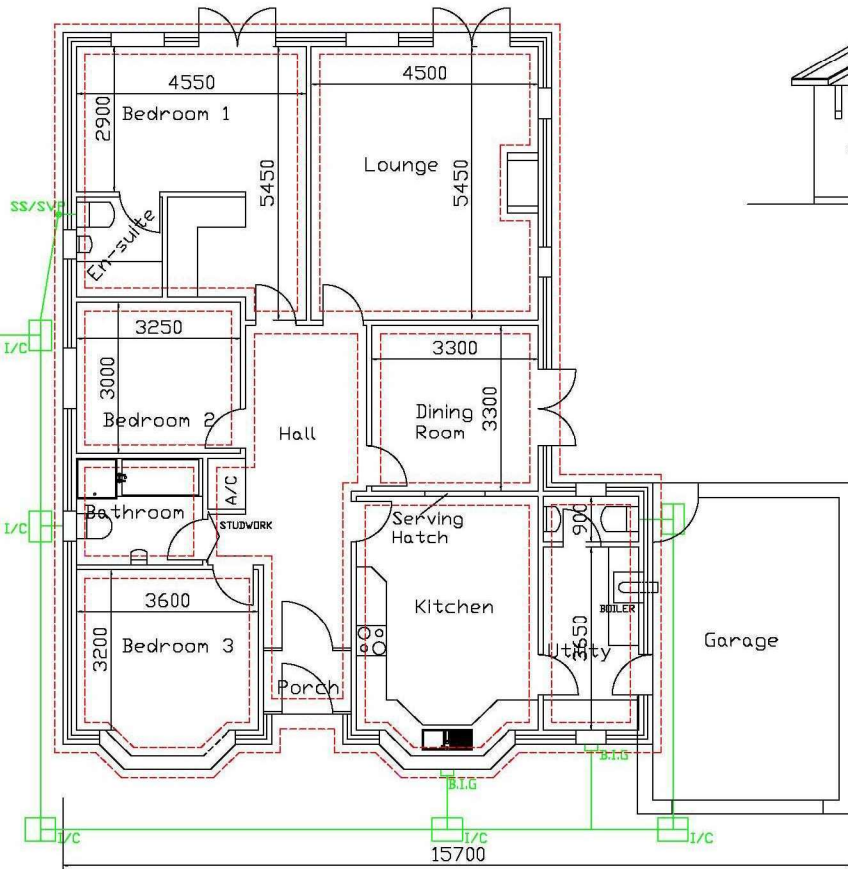
Proposed Side Elevation



Proposed Front Elevation

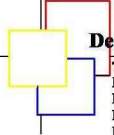


Proposed Rear Elevation



Proposed Layout



| | |
|---|-------------------------|
|  Design & Management.co.uk 7 West Fen Frithville Boston Lincs PE22 7EX Tel 01205 750775 | |
| JOB TITLE Proposed Dwellings Adj 1a & 29 Northorpe Rd Donington Linc's PE11 4XU | |
| SCALE 1:100 on A3 | DATE Feb 2019 |
| <small>DESIGNED & DRAWN BY Design and Management.co.uk WHICH is a trading name of Planning and Property Consultancy Ltd TEL 01205 750775 Reg in England No 9254483 ALL DRAWINGS ARE SUPPLIED SUBJECT TO D and M.co.uk STANDARD CONDITIONS, WHICH, ARE AVAILABLE ON REQUEST. © COPYRIGHT KEITH BAKER 02/19</small> | |



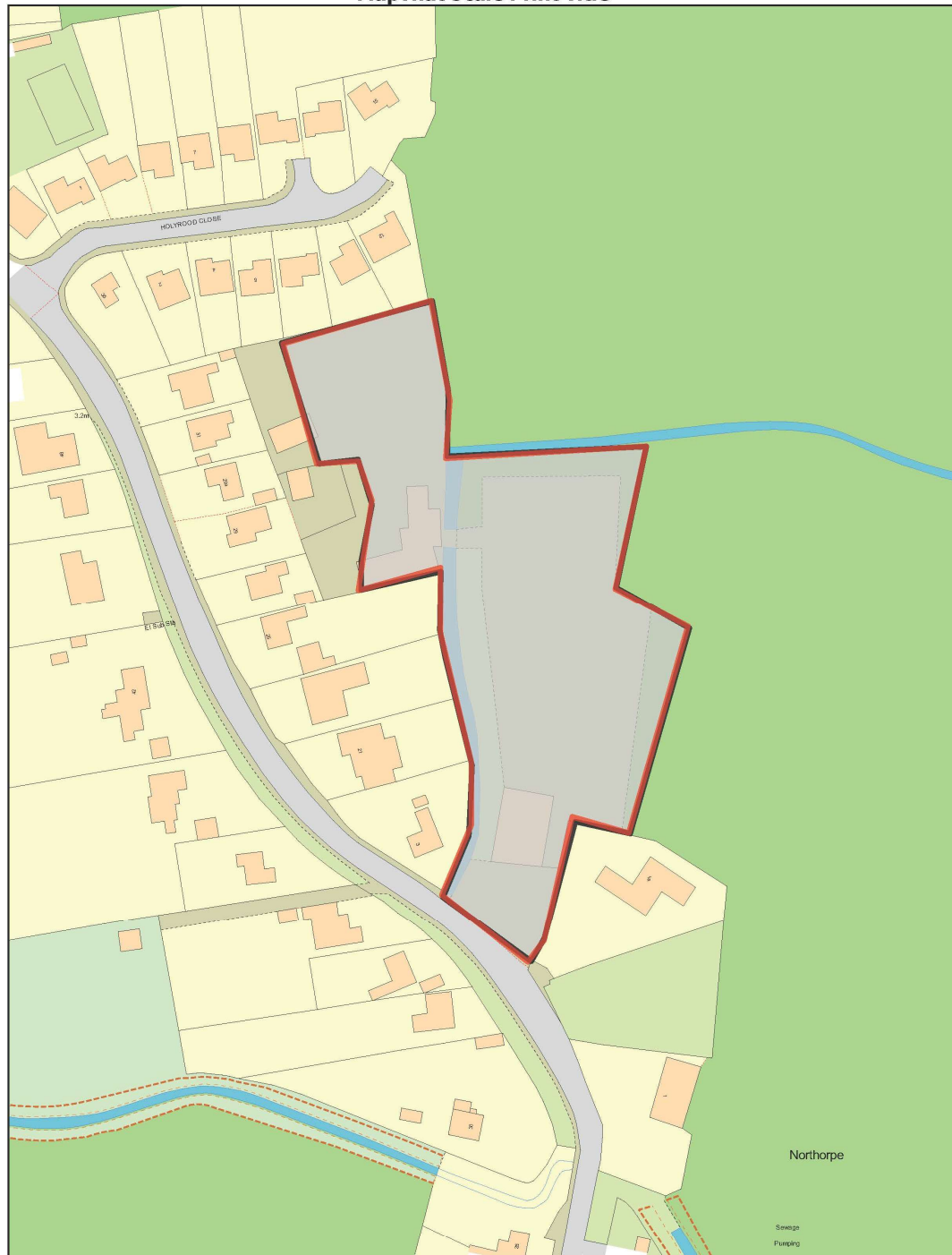










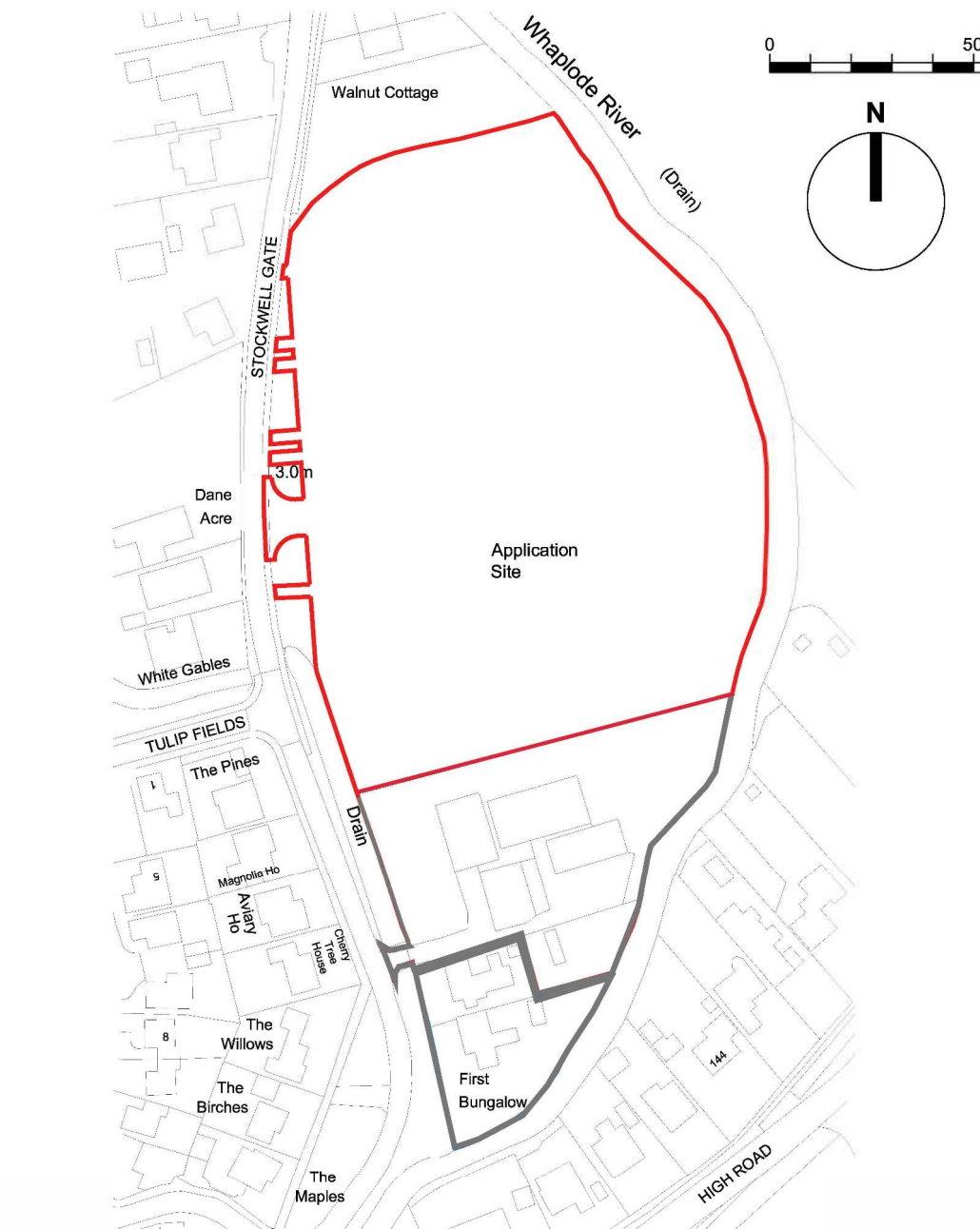


MapThat Scale Print Title



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MAP SCALE 1:1250
CREATED DATE: 27/10/2023
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE



Project: Stockwell Gate
Whaplode
Lincs

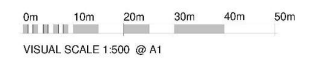
Drawing Title: Location Plan

Client: Stinders Homes SPV4 Ltd

Scale 1:1250 @ A4



2 Typical Street View
1 : 200



3 Typical Site Street View
1 : 200



- House Type 1
5 Bed Detached
- House Type 2
3 Bed Detached
- House Type 3
3 Bed Semi-Detached
- House Type 4
2 Bed Semi-Detached
- House Type 5
1 Bed Semi-Detached
- House Type 6
2 Bed Semi-Detached
- Phase 2
- BCP
- Filtration Drain
- Adoptable Road

| rev | date | name | chk | note |
|-----|----------|------|-----|--|
| P5 | 01.02.24 | DH | SP | Site updated |
| P4 | 14.12.23 | DH | SP | House numbering |
| P3 | 04.10.23 | DH | SP | Parking spaces not added |
| P2 | 16.09.23 | SH | SH | Handicap access to the site |
| P1 | 04.03.23 | SH | SH | House 19, 4, 35-37 gardeners made larger |



A The Lanes, 60 High Street, Ketter, Northants NN16 9JF
 T 01780720122 E info@ha-architectural.co.uk

A1
 Original Sheet Size:
 STATUS:
PLANNING

PROJECT
Proposed Development
Stockwell Gate
Whaplode

CLIENT
Stinders Developments

| DRAWING TITLE | | | |
|-----------------|----------|----------|-----|
| Site Block Plan | | | |
| SCALE | DATE | DRAWN | CHK |
| As indicated | 05/08/23 | DH | SP |
| DRAWING NUMBER | | REVISION | |
| 4162 / 100 | | P5 | |



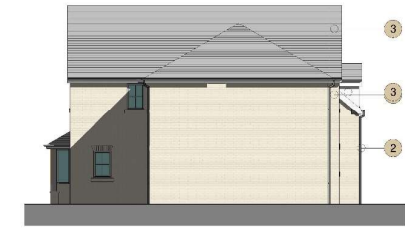
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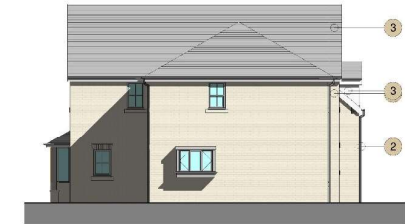
02 Side 1 Elevation
1 : 100



03 North
1 : 100



04 Back Elevation
1 : 100

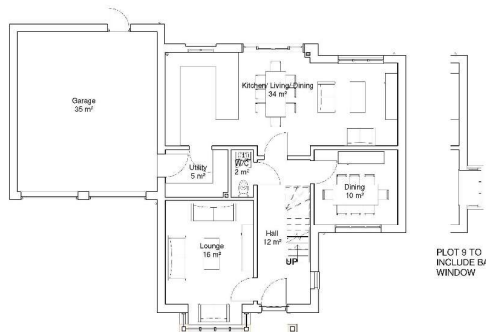


11 Back Elevation - Plot 9
1 : 100

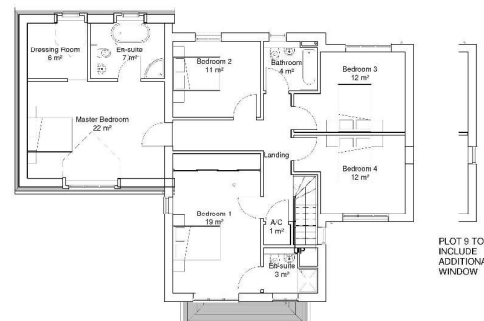
- | | |
|---|--|
| 1. Mystique - traditional brick and stone | 6. Cast stone sill and head. Colour: bath |
| 2. Black uPVC rwp's and gutters | 7. uPVC sliding patio doors. Colour: white |
| 3. Sandtrot Calderdale Edge Grey | 8. Steel up & over garage doors. Colour: Black |
| 4. Standing seam or similar approved | 9. GRP composite door with side lights |
| 5. uPVC window. Colour: white | 10. Timber canopy with Sandtrot Calderdale Edge Concrete Roof Tiles, colour - Grey |

| Room Schedule | |
|---------------|-------------------|
| Name | Area |
| A/C | 1 m ² |
| Bathroom | 4 m ² |
| Bedroom 1 | 19 m ² |
| Bedroom 2 | 11 m ² |
| Bedroom 3 | 12 m ² |
| Bedroom 4 | 12 m ² |
| Dining | 10 m ² |
| Dressing Room | 6 m ² |

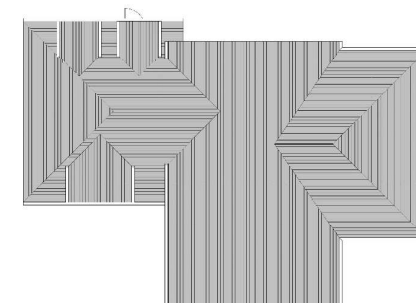
| Room Schedule | |
|-------------------------|--------------------------|
| Name | Area |
| En-suite | 3 m ² |
| En-suite | 7 m ² |
| Garage | 35 m ² |
| Hall | 12 m ² |
| Kitchen/ Living/ Dining | 34 m ² |
| Landing | 4 m ² |
| Lounge | 16 m ² |
| Master Bedroom | 22 m ² |
| Utility | 5 m ² |
| W/C | 2 m ² |
| Total | 214 m² |



05 Ground Floor Plan
1 : 100



06 First Floor Plan
1 : 100



07 Roof Plan
1 : 100

| rev | date | name | chk | note |
|-----|----------|------|-----|--|
| 01 | 01.07.24 | DH | SP | Roof cover garage lowered. Columns added |
| 02 | 14.07.23 | DH | SP | 4 fixed changed to 10 bed |



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A1
Original Sheet Size:
PLANNING

PROJECT
Proposed Residential Development
Stockwell Gate
Whaplode

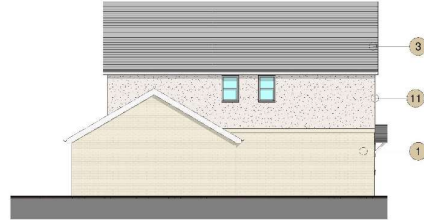
CLIENT
Stinders Developments

DRAWING TITLE
House Type 1 - Plans & Elevations

| SCALE | DATE | DRAWN | CHK |
|--------------|----------|-------|-----|
| As indicated | 08.05.23 | DH | SP |
| 4162 / 1000 | | P2 | |



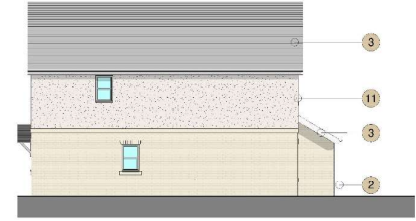
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02 Side 1 Elevation
1 : 100



03 North
1 : 100

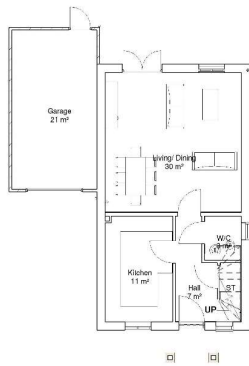
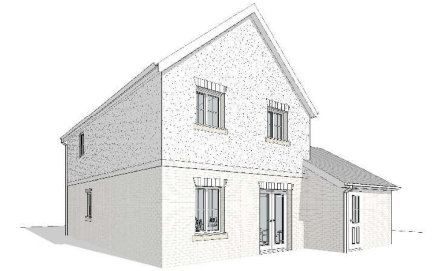


04 Back Elevation
1 : 100

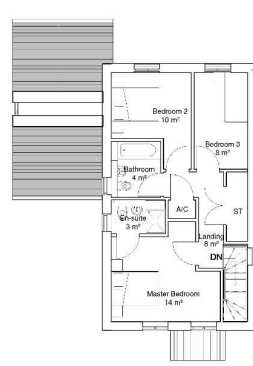
- | | |
|---|--|
| 1. Mystique - traditional brick and stone | 6. Cast stone sill and head. Colour: bath |
| 2. Black uPVC rwp's and gutters | 7. uPVC sliding patio doors. Colour: white |
| 3. Sandtrot Calderdale Edge Grey | 8. Steel up & over garage doors. Colour: Black |
| 4. Standing seam or similar approved | 9. GRP composite door with side lights |
| 5. uPVC window. Colour: white | 10. Timber canopy with Sandtrot Calderdale Edge Concrete Roof Tiles, colour - Grey |
| | 11. Render |

| Room Schedule | |
|---------------|------------------|
| Name | Area |
| ST | 1 m ² |
| A/C | 1 m ² |
| ST | 2 m ² |
| W/C | 3 m ² |
| En-suite | 3 m ² |
| Bathroom | 4 m ² |
| Hall | 7 m ² |
| Landing | 8 m ² |

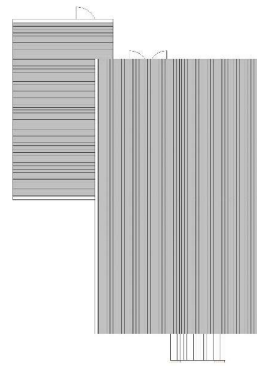
| Room Schedule | |
|----------------|--------------------|
| Name | Area |
| Bedroom 3 | 8 m ² |
| Bedroom 2 | 10 m ² |
| Kitchen | 11 m ² |
| Master Bedroom | 14 m ² |
| Living/ Dining | 30 m ² |
| | 124 m ² |



05 Ground Floor Plan
1 : 100



06 First Floor Plan
1 : 100



07 Roof Plan
1 : 100

| PT | 01.02.24 | DH | SP | Revision updated |
|-----|----------|------|-----|------------------|
| rev | date | name | chk | note |
| | | | | |



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A1
 Original Sheet Size
 STATUS
PLANNING

PROJECT
Proposed Residential Development
 Stockwell Gate
 Whaplode

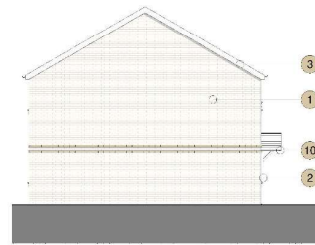
CLIENT
 Stinders Developments

DRAWING TITLE
House Type 2 - Plans & Elevations

| SCALE | DATE | DRAWN | CHK |
|---------------|----------|----------|-----|
| As indicated | 10.05.23 | DH | SP |
| LONDON NUMBER | | REVISION | |
| 4162 / 2000 | | P1 | |



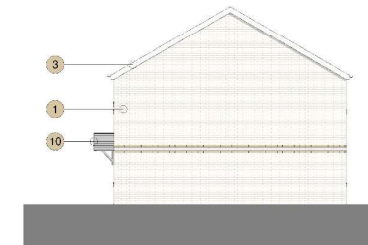
01 South
1 : 100



02 West
1 : 100



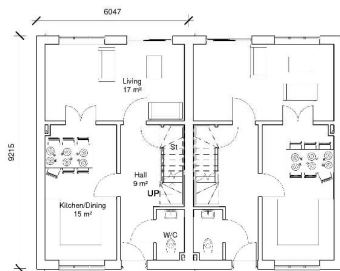
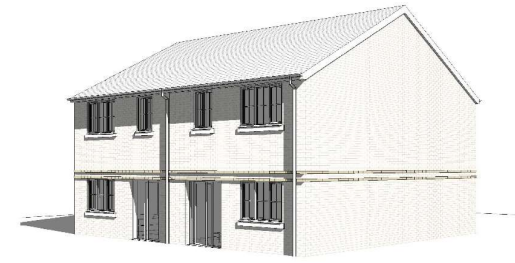
03 North
1 : 100



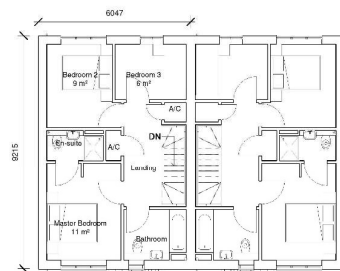
04 East
1 : 100

- | | |
|---|--|
| 1. Mystique - traditional brick and stone | 6. Cast stone cill and head. Colour bath |
| 2. Black uPVC rlp's and gutters | 7. uPVC sliding patio doors. Colour TBC |
| 3. Sandtoft Calderdale Edge Grey | 8. Steel up & over garage doors. Colour Black |
| 4. Standing seam or similar approved | 9. GRP composite door with side lights |
| 5. uPVC window. Colour white | 10. Timber canopy with Sandtoft Calderdale Edge Concrete Roof Tiles, colour - Grey |

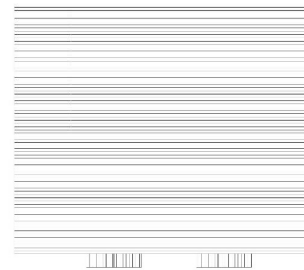
| Room Schedule | |
|----------------|-------------------|
| Name | Area |
| A/C | 1 m ² |
| A/C | 1 m ² |
| Bathroom | 5 m ² |
| Bedroom 2 | 9 m ² |
| Bedroom 3 | 9 m ² |
| En-suite | 3 m ² |
| Hall | 9 m ² |
| Kitchen/Dining | 15 m ² |
| Landing | 9 m ² |
| Living | 17 m ² |
| Master Bedroom | 11 m ² |
| St | 2 m ² |
| W/C | 2 m ² |
| Grand total | 90 m ² |



05 Ground Floor Plan
1 : 100



06 First Floor Plan
1 : 100



07 Roof Plan
1 : 100

rev date name dsk note



A The Limes, 60 High Street, Kettlewell, Stockton-on-Tees, Co. Durham, UK. Tel: 01717 272122 Email: info@ha-architectural.co.uk

A1
Original Sheet Size:
STATUS:
PLANNING

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
Stockwell Gate
Whaplode

CLIENT:
Stinders Developments

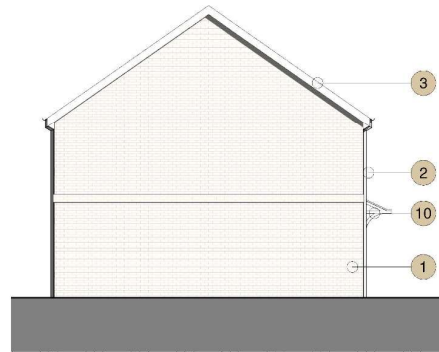
DRAWING TITLE:
House Type 3 - Plans & Elevations

SCALE: As indicated DATE: 07.05.23 DRAWN: DH CHK: SP
VISUAL SCALE 1:100 @ A1

NUMBER: 4162 / 3000



01 Front Elevation
1 : 100



02 Side 01 Elevation
1 : 100



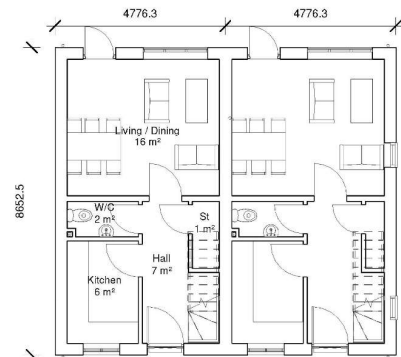
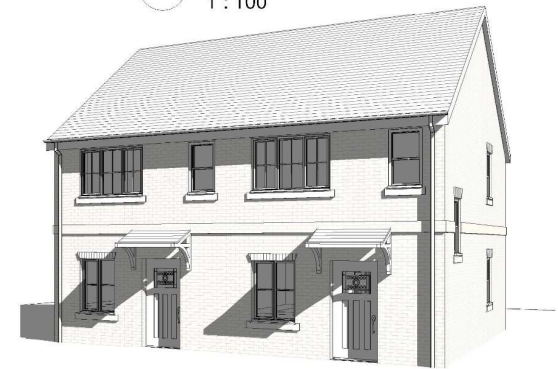
03 Rear Elevation
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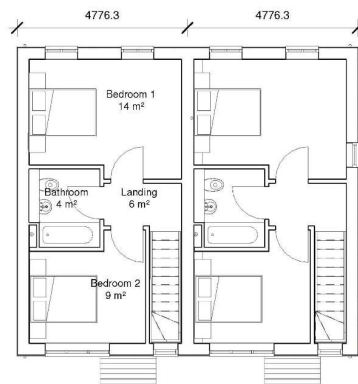
04 Side 02 Elevation
1 : 100

- | | | | |
|---|--|----|--|
| 1 | Mystique - traditional brick and stone | 6 | Cast stone cill and head. Colour bath |
| 2 | Black uPVC rwp's and gutters | 7 | uPVC sliding patio doors. Colour white |
| 3 | Sandtoft Calderdale Edge Grey | 8 | Steel up & over garage doors. Colour Black |
| 4 | Standing seam or similar approved | 9 | GRP composite door with side lights. |
| 5 | uPVC window. Colour white | 10 | Timber canopy with Sandtoft Calderdale Edge Concrete Roof Tiles, colour - Grey |

| Room Schedule | |
|-----------------|-------------------|
| Name | Area |
| Kitchen | 6 m ² |
| Hall | 7 m ² |
| St | 1 m ² |
| W/C | 2 m ² |
| Living / Dining | 16 m ² |
| Bedroom 1 | 14 m ² |
| Bedroom 2 | 9 m ² |
| Bathroom | 4 m ² |
| Landing | 6 m ² |



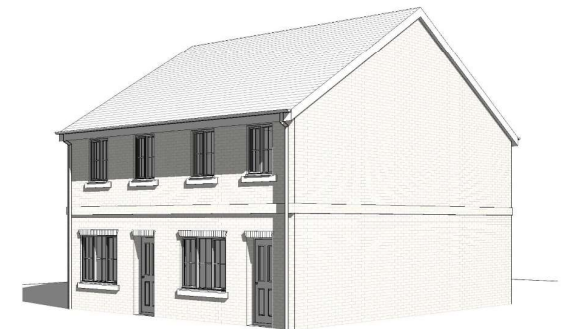
05 Ground Floor Plan
1 : 100



06 First Floor Plan
1 : 100

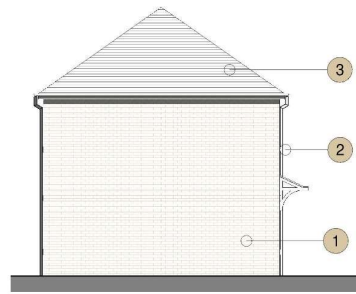


07 Roof Plan
1 : 100





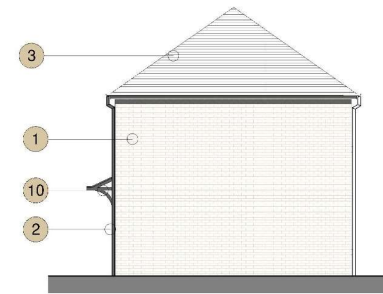
01 Front Elevation
1 : 100



02 Side 01 Elevation
1 : 100



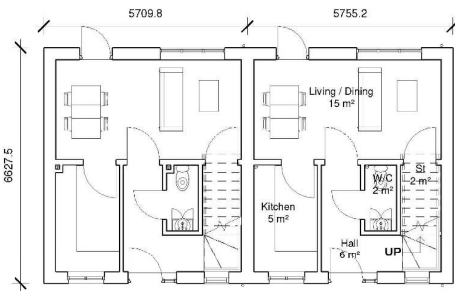
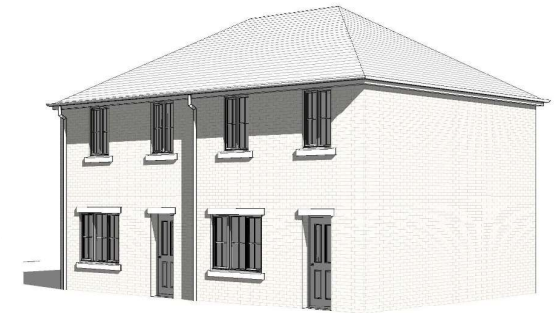
03 Rear Elevation
1 : 100



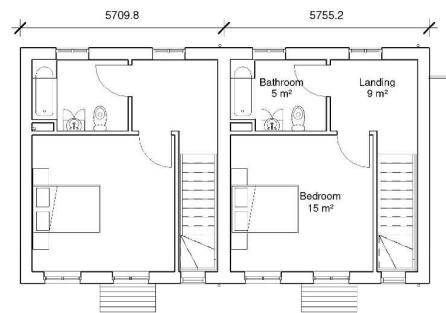
04 Side 02 Elevation
1 : 100

- | | |
|--|---|
| 1 Mystique - traditional brick and stone | 6 Cast stone cill and head. Colour bath |
| 2 Black uPVC rwp's and gutters | 7 uPVC sliding patio doors. Colour white |
| 3 Sandtoft Calderdale Edge Grey | 8 Steel up & over garage doors. Colour Black |
| 4 Standing seam or similar approved | 9 GRP composite door with side lights. |
| 5 uPVC window. Colour white | 10 Timber canopy with Sandtoft Calderdale Edge Concrete Roof Tiles, colour - Grey |

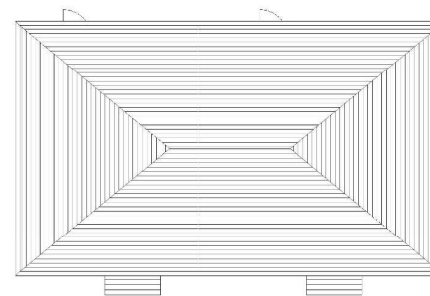
| Room Schedule | |
|-----------------|-------------------|
| Name | Area |
| Bathroom | 5 m ² |
| Bedroom | 15 m ² |
| Hall | 6 m ² |
| Kitchen | 5 m ² |
| Landing | 9 m ² |
| Living / Dining | 15 m ² |
| St | 2 m ² |
| W/C | 2 m ² |
| Grand total | 60 m ² |



05 Ground Floor Plan
1 : 100



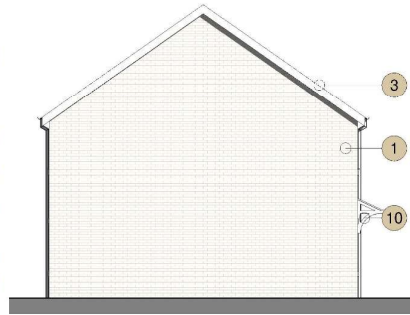
06 First Floor Plan
1 : 100



07 Roof Plan
1 : 100



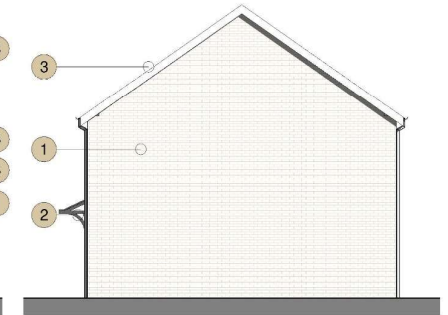
01 Front Elevation
1 : 100



02 Side 01 Elevation
1 : 100



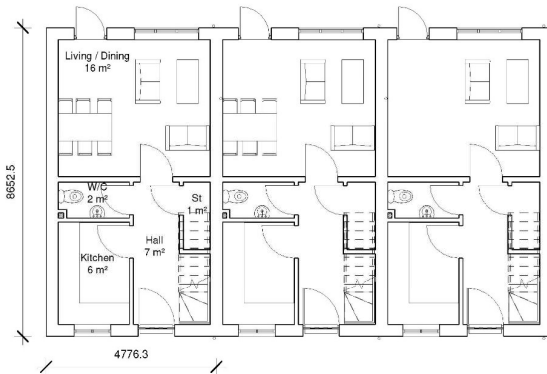
03 Rear Elevation
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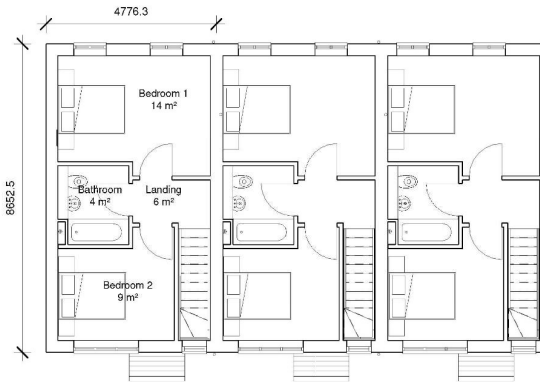
04 Side 02 Elevation
1 : 100

- | | | | |
|---|---|----|--|
| 1 | Mystique - traditional brick and stone (Type A. Refer to plots) | 6 | Cast stone cill and head. Colour bath |
| 2 | Black uPVC rwp's and gutters | 7 | uPVC sliding patio doors. Colour white |
| 3 | Sandtoft Calderdale Edge Grey | 8 | Steel up & over garage doors. Colour Black |
| 4 | Standing seam or similar approved | 9 | GRP composite door |
| 5 | uPVC window. Colour white | 10 | Timber canopy with Sandtoft Calderdale Edge Concrete Roof Tiles, colour - Grey |

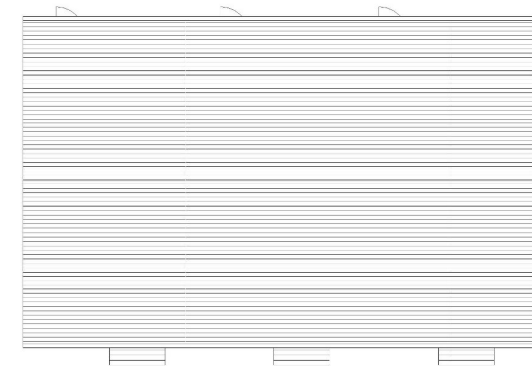
| Room Schedule | |
|-----------------|-------------------|
| Name | Area |
| Bathroom | 4 m ² |
| Bedroom 1 | 14 m ² |
| Bedroom 2 | 9 m ² |
| Hall | 7 m ² |
| Kitchen | 6 m ² |
| Landing | 6 m ² |
| Living / Dining | 16 m ² |
| St | 1 m ² |
| W/C | 2 m ² |
| Grand total | 65 m ² |



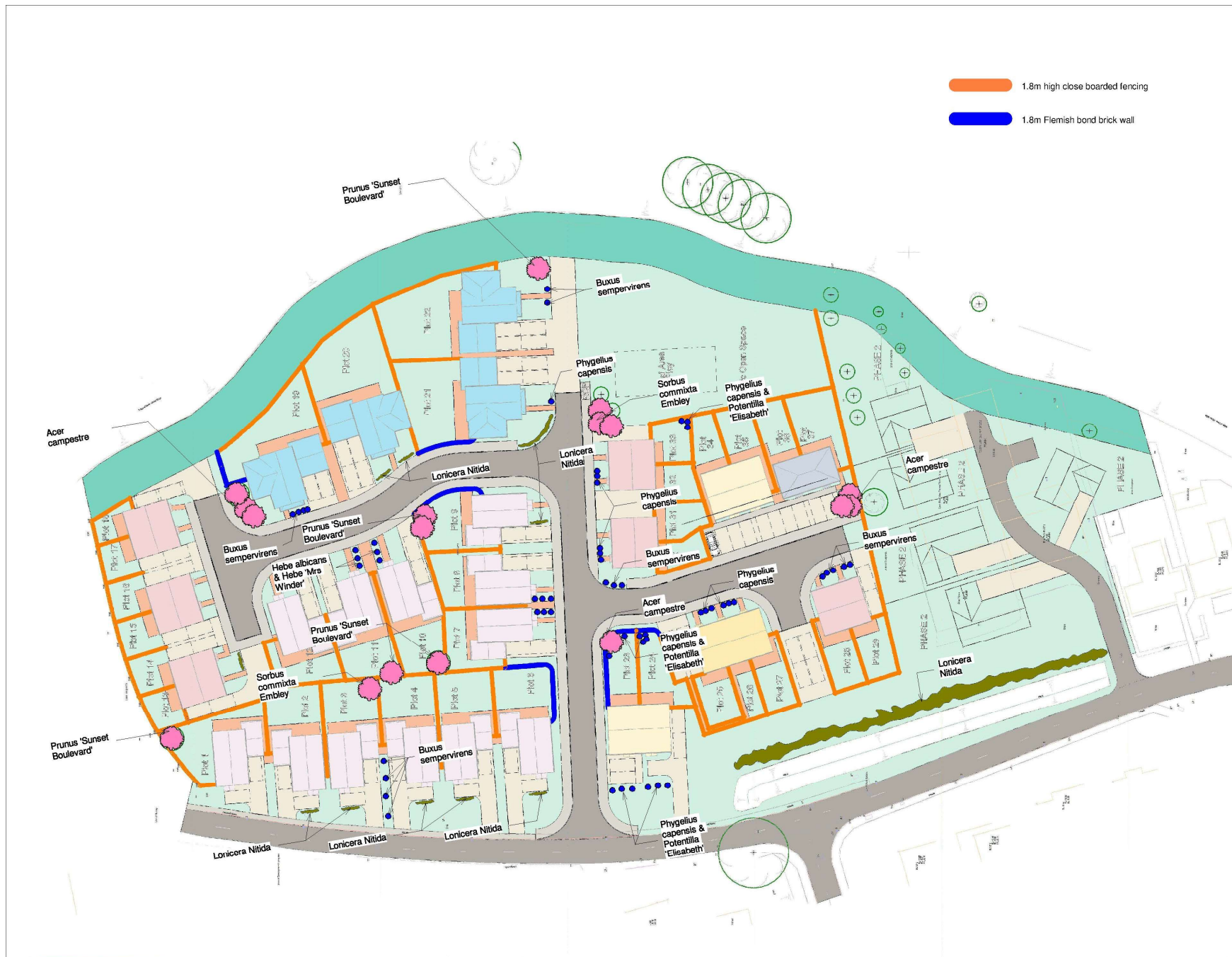
05 Ground Floor Plan
1 : 100



06 First Floor Plan
1 : 100



07 Roof Plan
1 : 100



- 1.8m high close boarded fencing
- 1.8m Flemish bond brick wall

KEY & NOTATION
Proposed Tree Planting (General)
 The excavated hole shall be of sufficient size to accommodate the root-ball or container, allowing approximately 500mm clearance.

The pit shall be backfilled with a 50/50 mix of good quality topsoil and a non peat based compost. 140gms of Emmag granular slow-release fertiliser shall be incorporated to the fill mixture.

Trees in soft ground
 Trees shall be double staked and fixed to horizontal crossbar using rubber strapping, with rubber block positioned between the tree and cross bar. Stakes shall be 60mm diameter treated softwood, driven firmly into ground either side, and not through the rootball, with tree central between the stakes. The above ground height of the stake should be a minimum of a third of the stem high. All trees to receive perforated watering pipes surrounding root ball.

Tree Aftercare
 Any necessary formative pruning will be carried out and where appropriate woodchip/bark mulch applied to a depth of 75mm, and to at least the edge of the planting pit.

A properly planned maintenance programme should be kept up until successful establishment of the trees. This may include watering when necessary, checking of the support systems, weed control and further mulching.

Proposed Areas of Shrub Planting Shrub areas to have minimum 450mm depth of good quality imported cultivated topsoil, free from bricks, large stones and other rubbish. Mycorrhizae Transplanter shall be spread around the roots of each plant during planting at a rate specified by the supplier.

All shrub areas shall have 75mm depth Melcourt Ornamental Bark Mulch, (or similar approved).

Grass Turf
 To be good quality treated mowed turf, laid in staggered rows with joints butted up. Prepare 150mm clean topsoil free of builders rubbish and other objects over 15mm in size.

Proposed Ornamental Hedge
 To be planted at 2 plants per linear metre in accordance with shrub planting specification above.

Proposed Amenity Grass
 Minimum 100mm cultivated topsoil. Topsoil to BS3882:2007. Areas shall be seeded with BSH A19 Seed Mix.

Cultivate topsoil to depth of 100mm including all consolidation, rolling, harrowing or raking to achieve a firm, fine tilth suitable for seeding.

The seed shall be free from unevenness, hollows, depressions and soft areas so that an evenly graded grass surface can be achieved.

The seed bed should be evenly graded to finish 25mm above adjoining paving, kerbs etc after settlement.

Remove all weeds, and remove stones, grass sods and other debris exceeding 20mm in any dimension and all roots exceeding 15mm diameter or 200mm length.

After cultivation and prior to grass seeding, supply, spread and lightly rake into the tilth a granular pre-seeding fertiliser N:P:K ratio 10:15:10 at a rate of 60 grammes per m2. Do not apply fertilisers to wild seed areas. Sow according to suppliers instructions.

HA architectural Services

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 30 High Street,
 Kington
 Shropshire
 PE9 3TE
 T 01750729122
 E aaron@ha-architectural.co.uk

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A2
 Original Sheet Size
 PLANNING

| STATUS | DATE | BY | CHK | NOTE |
|--------|----------|----|-----|-------------------------------|
| PL | 16.09.23 | DH | SP | Hedge added, Gardens enlarged |
| rev | | | | |

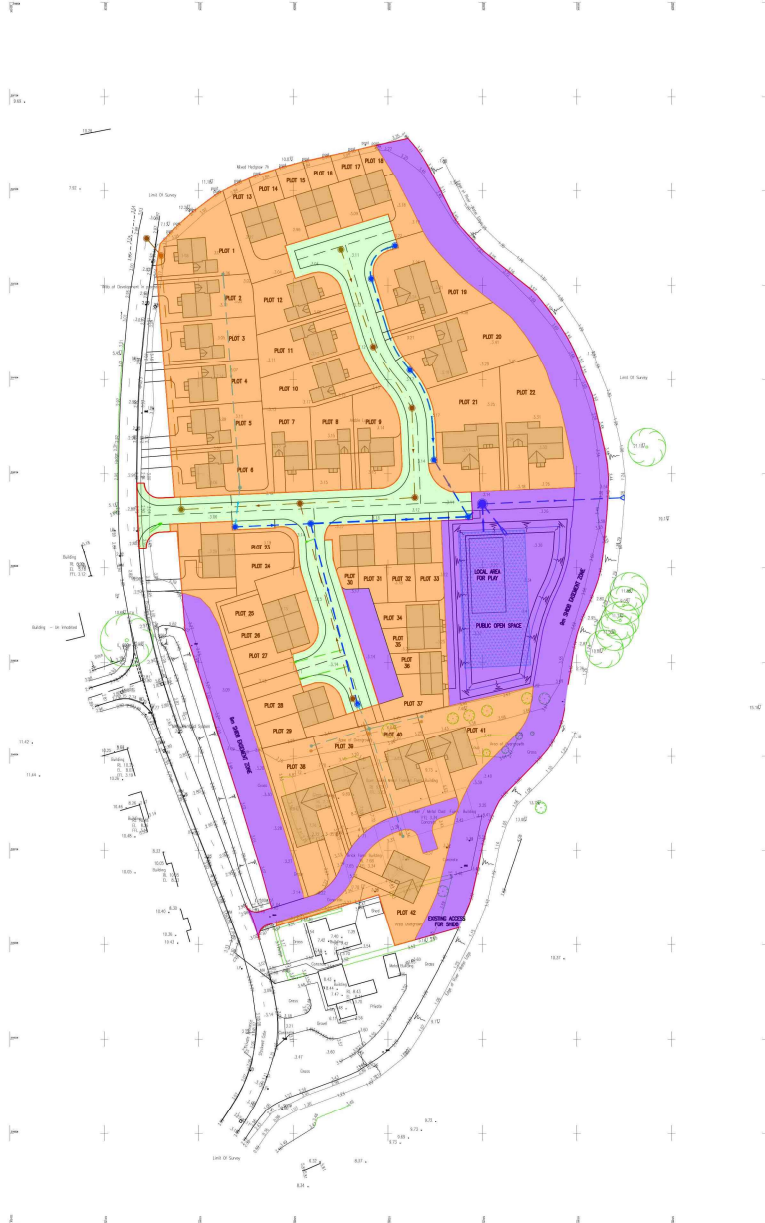
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|---|----------|----------------------|-----|
| Proposed Development Stockwell Gate Whitgrove | | Sirders Developments | |
| DRAWING TITLE | | | |
| Landscape Plan | | | |
| SCALE | DATE | DRAWN | CHK |
| As indicated | 29.05.23 | DH | SP |
| DRAWING NUMBER | | REVISION | |
| 4162 / 101 | | P1 | |

e:comment



ADOPTION / MAINTENANCE KEY:

| | |
|--|---|
| | UNCOLSHIRE COUNTY COUNCIL HIGHWAYS |
| | MANAGEMENT DRIVEWAY |
| | PRIVATE PLOT OWNER |
| | PROPOSED FLOOD WATER - S114 ADAPTABLE |
| | PROPOSED FLOOD WATER - MAIN CO. / PRIVATE |
| | PROPOSED SURFACE WATER - S114 ADAPTABLE |
| | PROPOSED SURFACE WATER - MAIN CO. / PRIVATE |
| | PROPOSED SURFACE WATER - LOC HIGHWAYS |



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 PROJECTS & ASSET OWNERSHIP

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|---|-------|-------|---------------|
| STATUS | | | |
| FOR INFORMATION | | | |
| CLIENT | | | |
| MR WELCH | | | |
| PROJECT | | | |
| PROPOSED RESIDENTIAL DEVELOPMENT LAND EAST OF STOCKWELL GATE, WHARFLODE, UNCOLSHIRE | | | |
| TITLE | | | |
| PROPOSED MANAGEMENT & MAINTENANCE PLAN | | | |
| DATE | APP'D | SCALE | DRAWING NO. |
| | | 1:500 | SW 22-150-006 |
| | | | REV. |
| | | | A |

































MapThat Scale Print Title



MapThat Scale Print Title



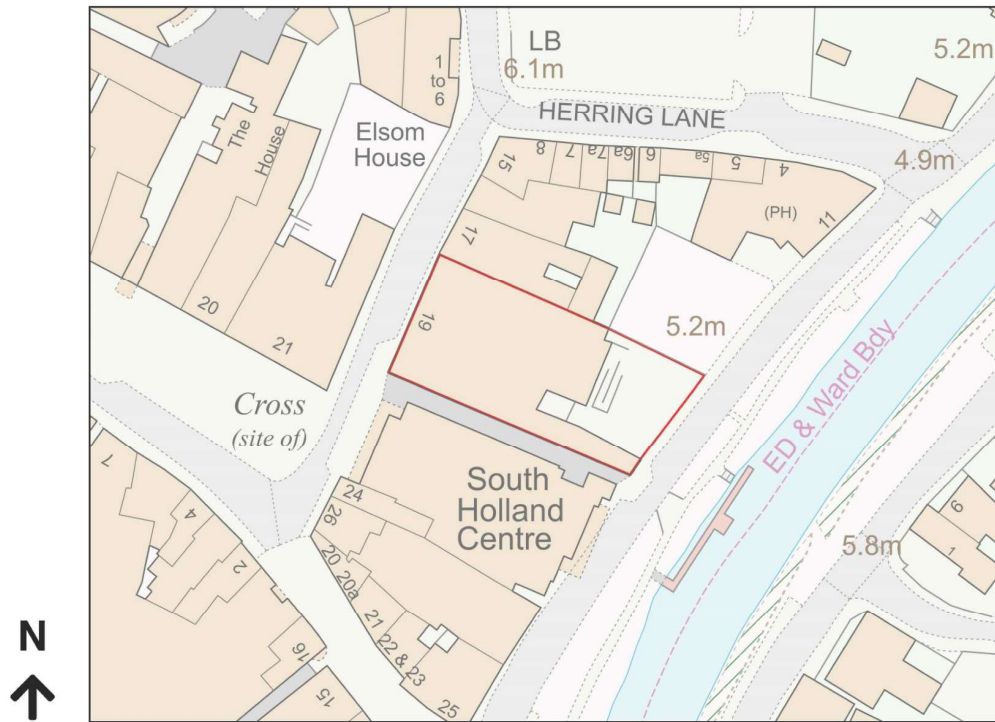
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CREATED DATE: 20/02/2024
PHOTOGRAPHIC COPY
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IN SCALE

Location Plan

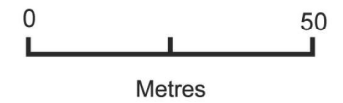
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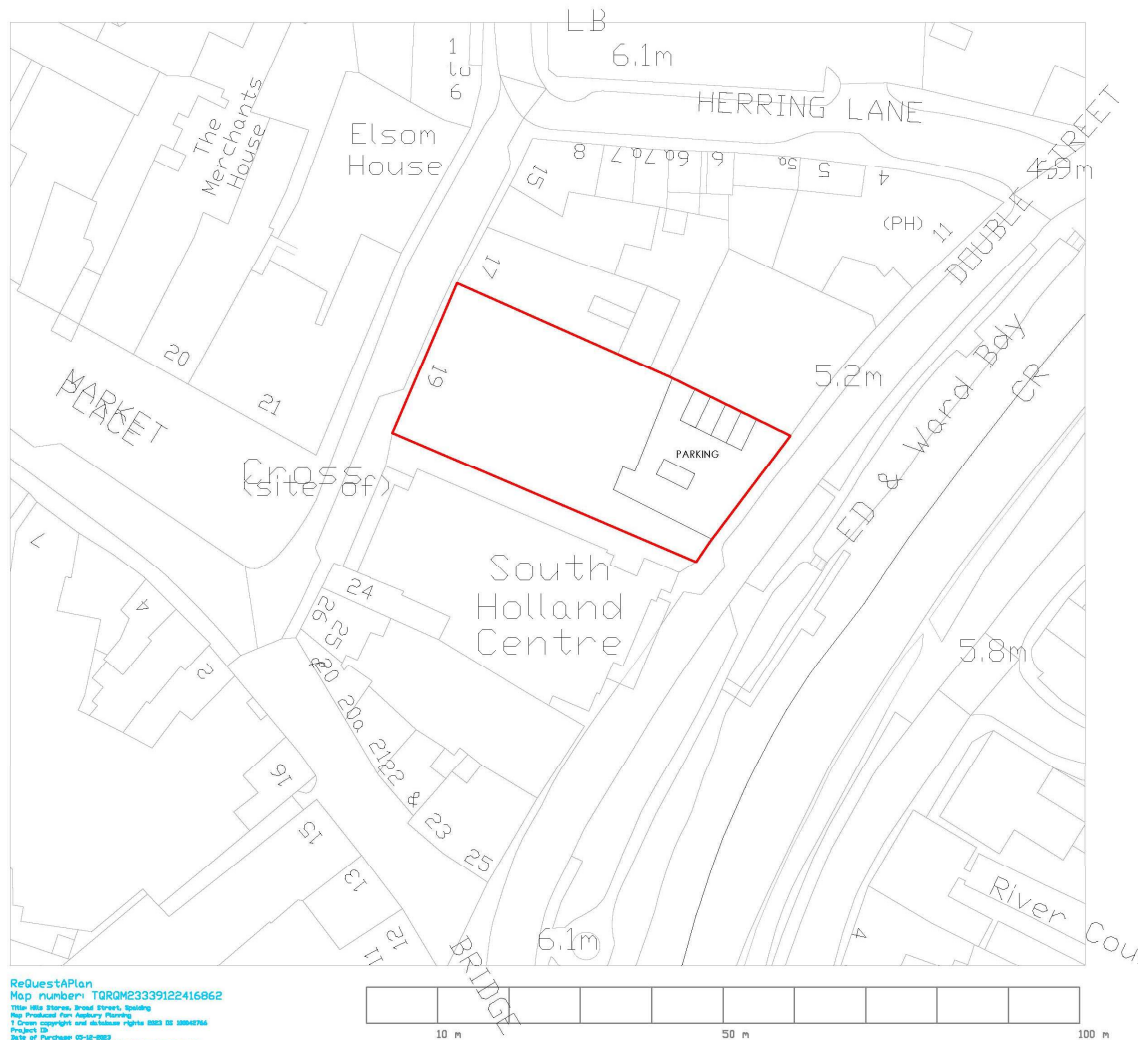
Date Produced: **05-Dec-2023**

Scale: **1:1250 @A4**



Planning Portal Reference: **PP-12649433v1**





Request a Plan
 Map number: TQRQM2339122416862
 Title: Hills Stores, Broad Street, Spalding
 Map Produced from Authority Floorings
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 Project ID:
 Date of Purchase: 05-12-2023
 1 Year subscription from 05-12-2023 For 1 consultation

Block Plan

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| A | Issued for planning approval. | 05/12/23 |
| No. | Revision/Issue | Date |



Project Name and Address
 Hills Stores,
 Broad Street,
 Spalding
 PE11 1TB

Drawing Name
 Block Plan

| | |
|---------------|----------|
| Project/Issue | Revised |
| Planning A | |
| Drawing ID | Date |
| HSS-AP/101/23 | 05/12/23 |
| Drawing Scale | Sheet |
| 1:500 | A2 |

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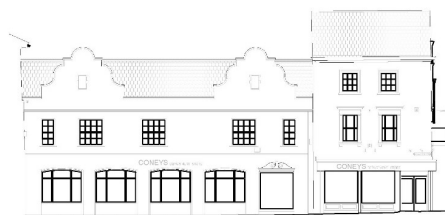
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name

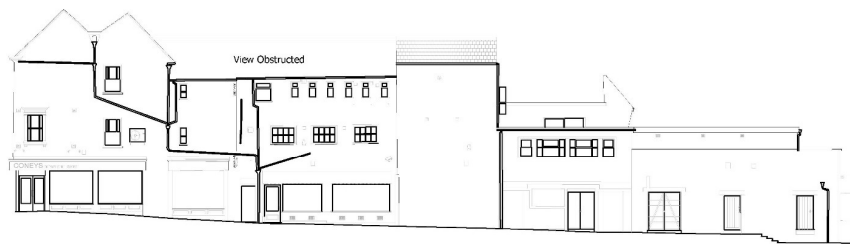
Existing Elevations - Survey

| | |
|--------------------------------------|-------------------------|
| Project Status Planning | Revision A |
| Drawing ID NSB-AP/01/02/23 | Date 01/12/23 |
| Drawing Scale 1:200 | Sheet A2 |

Note:
Survey by others



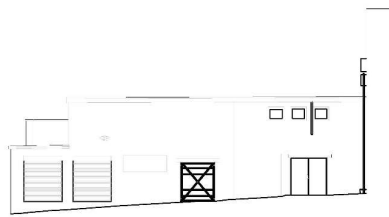
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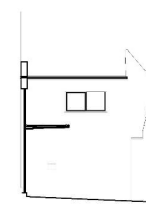
Existing Elevation 02



Existing Elevation 03



Existing Elevation 04



Existing Elevation 05

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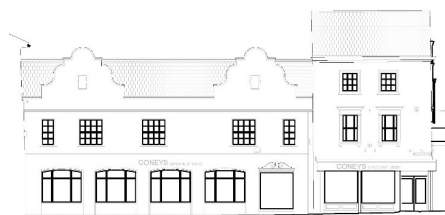


Project Name and Address
Hills Stores,
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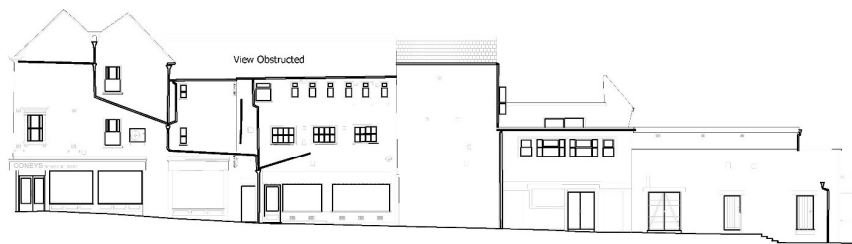
Drawing Name
Proposed Elevations - Survey

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| Drawing ID NSB-AP/1330/23 | Date 01/12/23 |
| Drawing Scale 1:200 | Sheet A2 |

Note:
 Survey by others
 Elevations unchanged



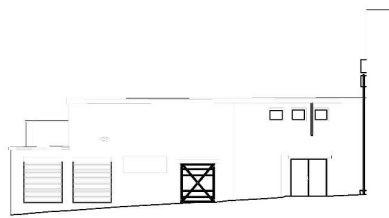
Existing Elevation 01



Existing Elevation 02



Existing Elevation 03

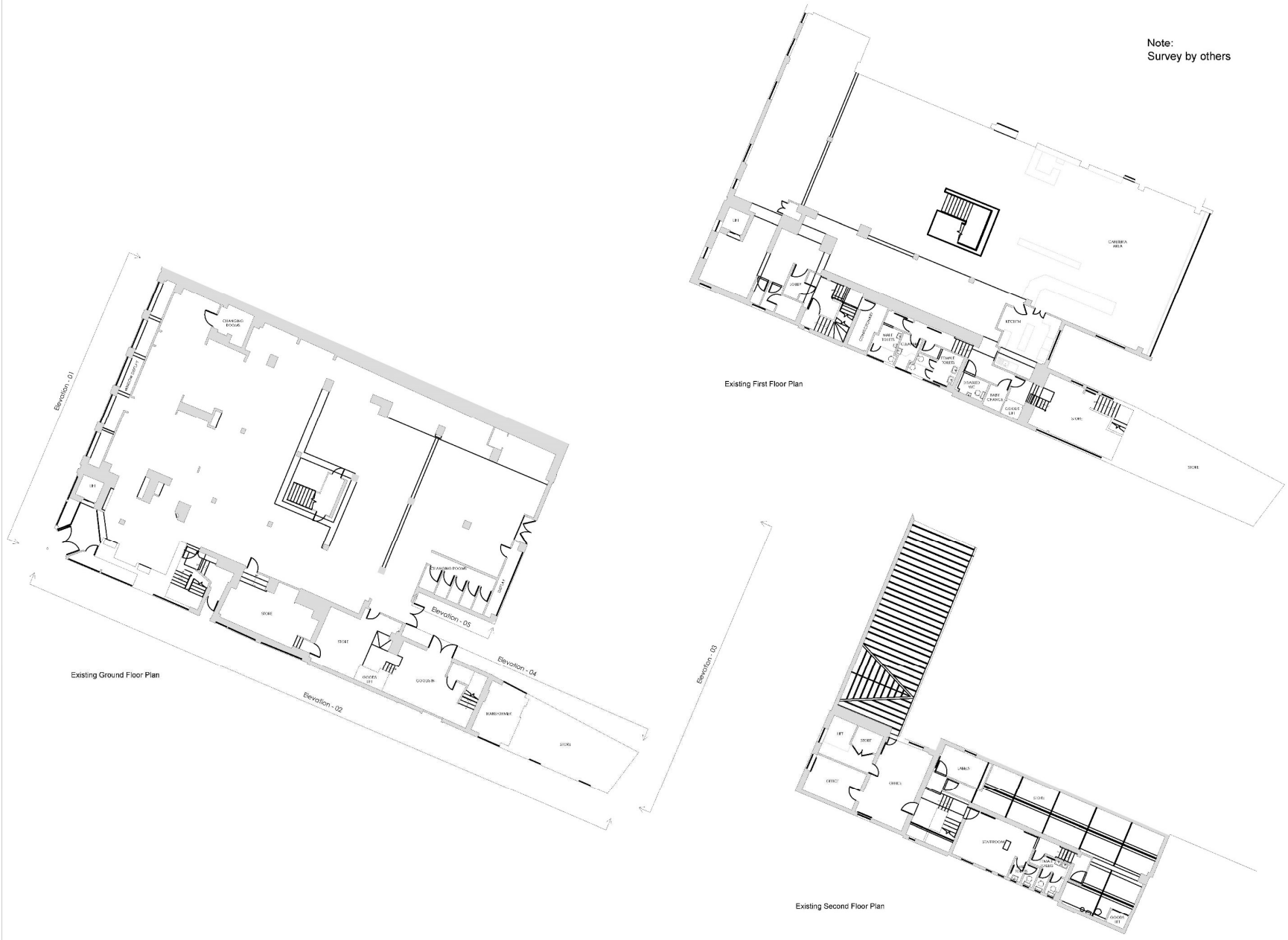


Existing Elevation 04



Existing Elevation 05

Note:
Survey by others



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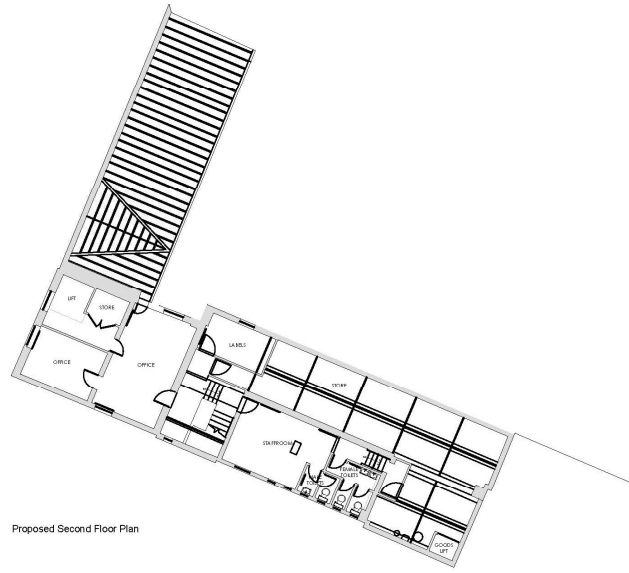
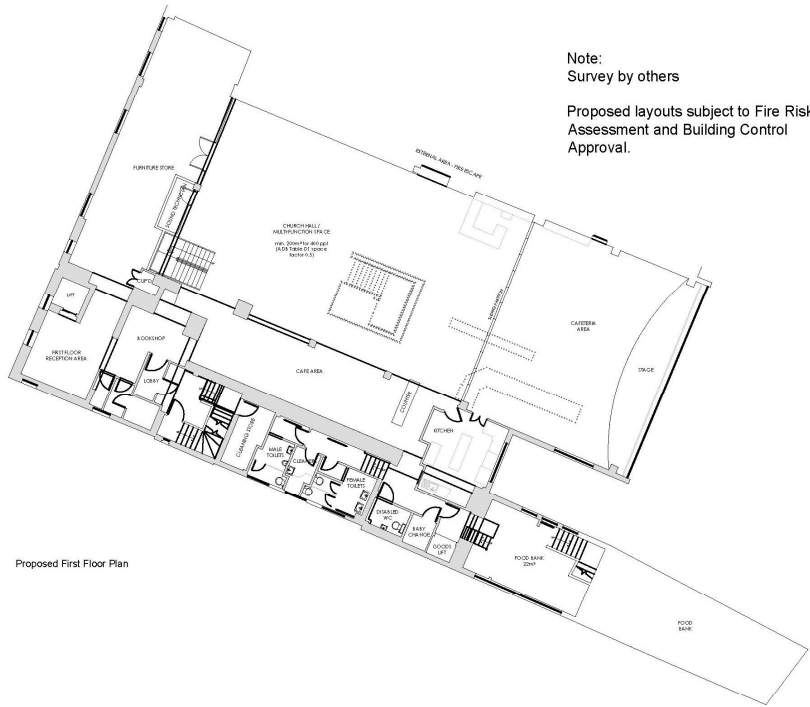
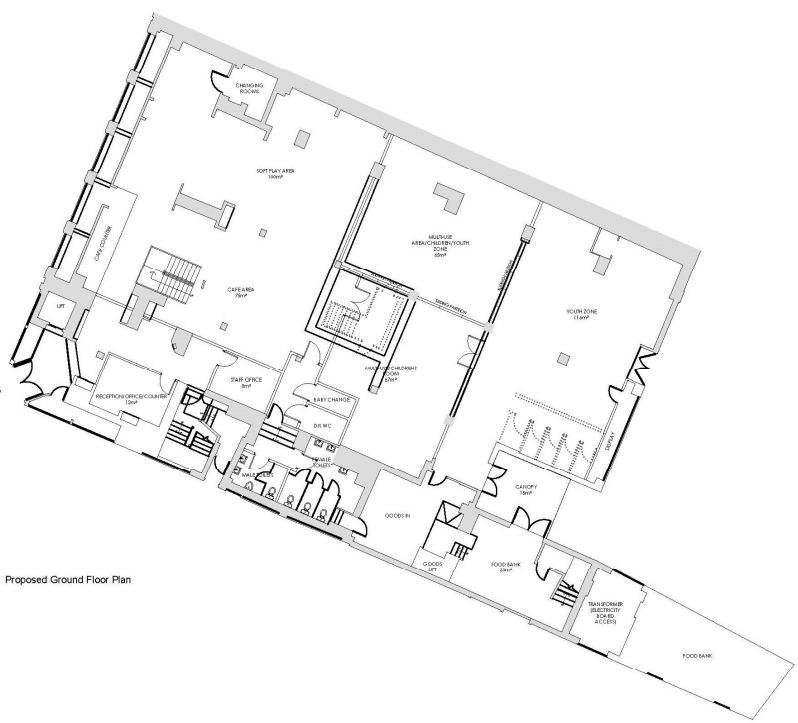


Project Name and Address
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name
Existing Floor Plans - Survey

| | |
|-----------------------------|------------------|
| Project Status Planning | Revision A |
| Drawing ID NSB-AP/001/23 | Date 01/12/23 |
| Drawing Scale 1:200 | Sheet A2 |

Note:
Survey by others
Proposed layouts subject to Fire Risk
Assessment and Building Control
Approval.



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Project Name and Address
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name
Proposed Floor Plans

| | |
|-----------------------------|------------------|
| Project Name Hanning | Revision A |
| Drawing ID HSS-AP/020/23 | Date 01/12/23 |
| Drawing Scale 1:200 | Sheet A2 |

MapThat Scale Print Title



MAP SCALE 1:1250
CREATED DATE: 20/02/2024
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BRAND STREET

CONEYS DEPARTMENT STORE
CONE
BRAND STREET

River Cafe
Prosecco
BAR
CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

ROAD
AHEAD
CLOSED

COMMERCIAL
ALL ENQUIRIES
0330 128 0939

BROAD STREET

CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

Riverview Cafe

Prosecco
— BAR —

CONEYS DEPARTMENT STORE





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British Heart
Foundation

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GUNMAKER**
EST. 1880

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CLOSED**



CONEYS DEPARTMENT STORE

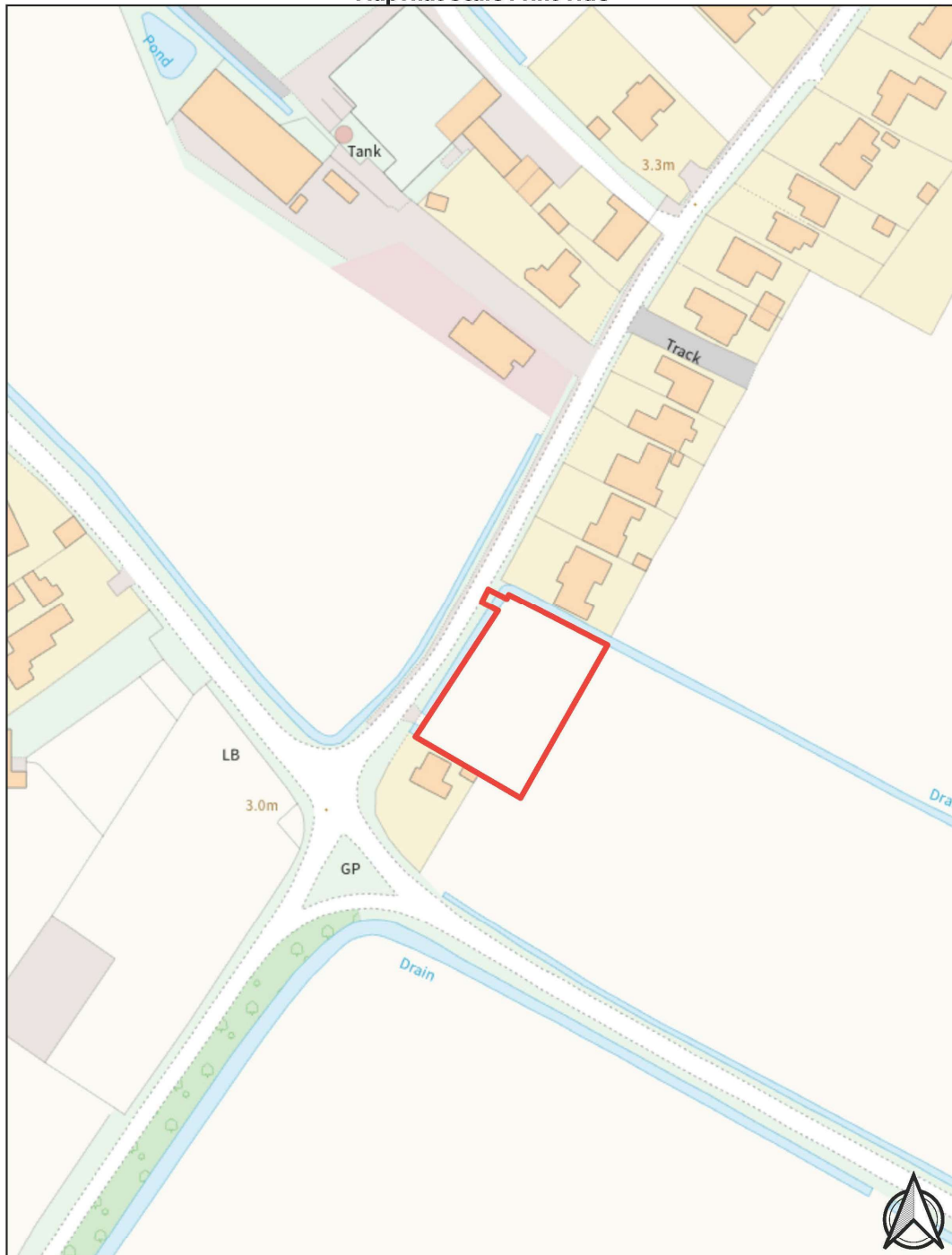
CONEYS DEPARTMENT STORE

paco robarinne

JAMIE TUS



Rivenew Prosecco
RESTAURANT B.V.B.





1:1,1250
0 10 20 30 40 50m

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Consultancy

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Sleaford, Lincolnshire, NG34 0RA

Tel: 01529 421646
Email: admin@rdc-landplan.co.uk
Web: www.rdc-landplan.co.uk

Client
Mrs N Gibson-Ebdon

Project
Residential Development
Broadgate, Weston, Lincs

Drawing
Proposed Site Plan

| | |
|-------------------|-------------|
| Scale @ A3 | Date |
| As shown | 03/11/23 |

| | |
|-----------------|-------------------|
| Drawn By | Checked By |
| WW | LMS |

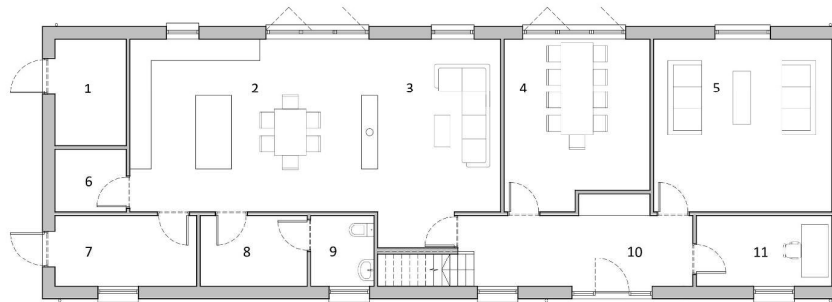
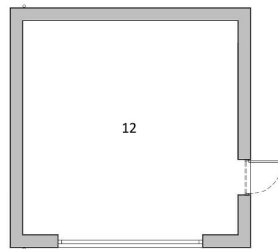
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| Job Number | Status | Purpose of Issue |
| 1564-2 | PL | Planning |

| | |
|--------------------|------------|
| Drawing No. | Rev |
| 1564-2_PL_SP02 | . |



Northwest Elevation

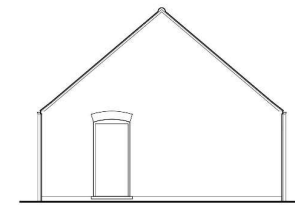
Southwest Elevation



Ground Floor Plan

Ground Floor Plan Key

- 1. Plant Room
- 2. Kitchen/ Dining
- 3. Lounge
- 4. Dining Room
- 5. Snug
- 6. Larder
- 7. Boot Room
- 8. Storage
- 9. W.C.
- 10. Entrance Hall
- 11. Study
- 12. Double Garage



Southwest Elevation (Garage)

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 Sleaford, Lincolnshire, NG34 0RA

Tel: 01529 421646
 Email: admin@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

Client
 Mrs N Gibson-Ebdon

Project
 Residential Development
 Broadgate, Weston, Lincs

Drawing
 Proposed Ground Floor Plan & Elevations

| Scale @ A2 | Date |
|------------|----------|
| 1: 100 | 03/11/23 |

| Drawn By | Checked By |
|----------|------------|
| NG | LMS |

| Job Number | Status | Purpose of Issue |
|------------|--------|------------------|
| 1564-2 | PL | Planning |

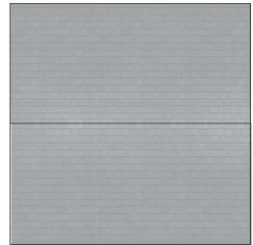
| Drawing No. | Rev |
|----------------|-----|
| 1564-2_PL_GA01 | . |



Southeast Elevation



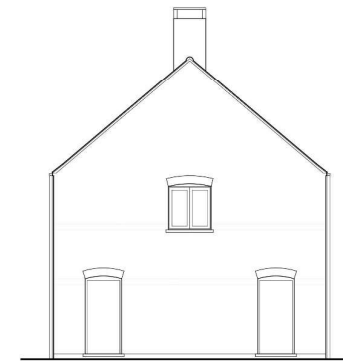
Northeast Elevation



First Floor Plan

First Floor Plan Key

- 1. Bedroom 1
- 2. Bedroom 2
- 3. Bathroom
- 4. Bedroom3
- 5. Master Bedroom
- 6. Ensuite
- 7. Wardrobe
- 8. Hallway
- 9. Wardrobe
- 10. Ensuite
- 11. Airing Cupboard



Northeast Elevation (Proposed House)

Notes

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Dimensions
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CDM 2015
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| Rev | Description | Date |
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Client
 Mrs N Gibson-Ebdon

Project
 Residential Development
 Broadgate, Weston, Lincs

Drawing
 Proposed First Floor Plan & Elevations

| Scale @ A2 | Date |
|------------|----------|
| 1:100 | 03/11/23 |

| Drawn By | Checked By |
|----------|------------|
| NG | LMS |

| Job Number | Status | Purpose of Issue |
|------------|--------|------------------|
| 1564-2 | PL | Planning |

| Drawing No. | Rev |
|----------------|-----|
| 1564-2_PL_GA02 | . |











