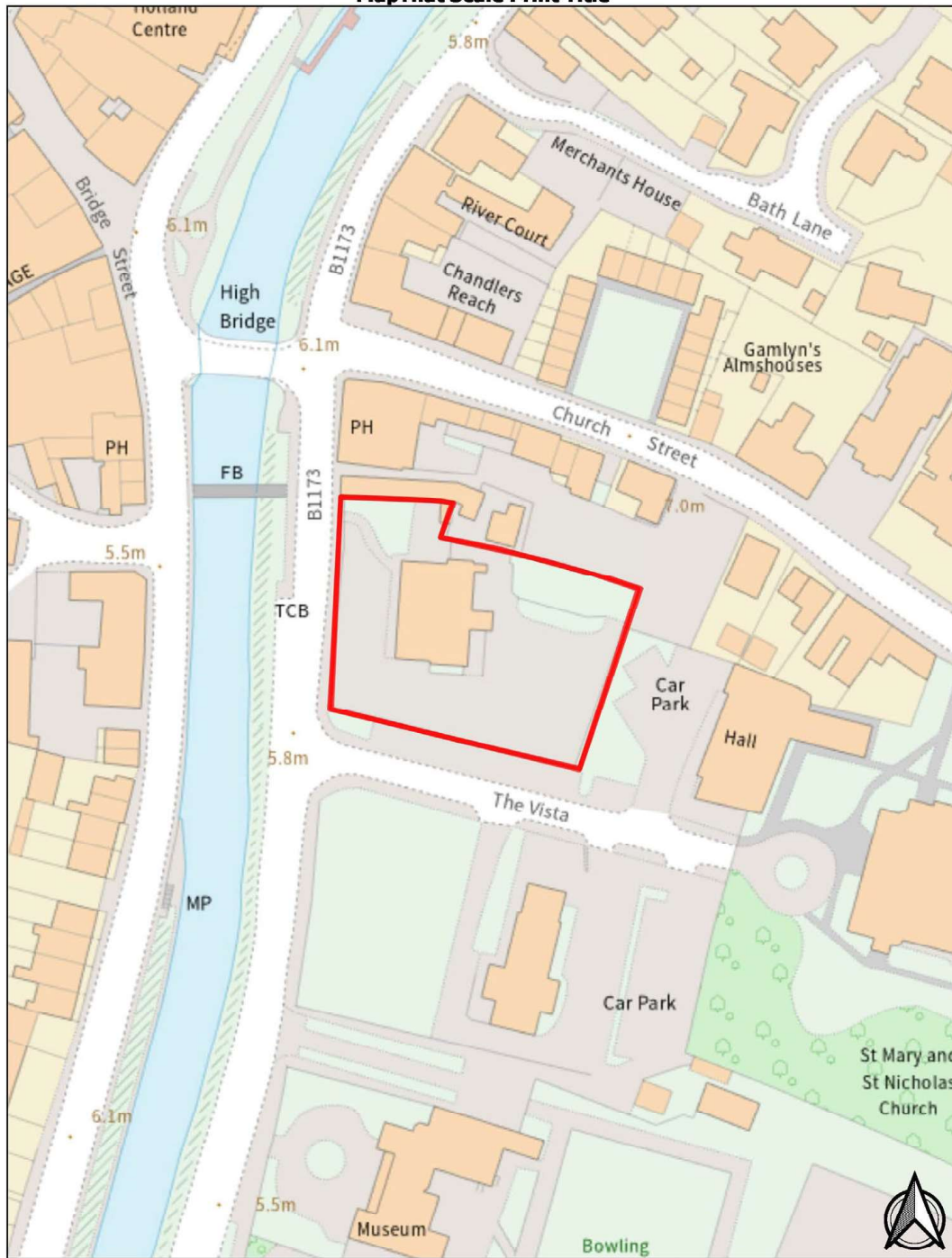


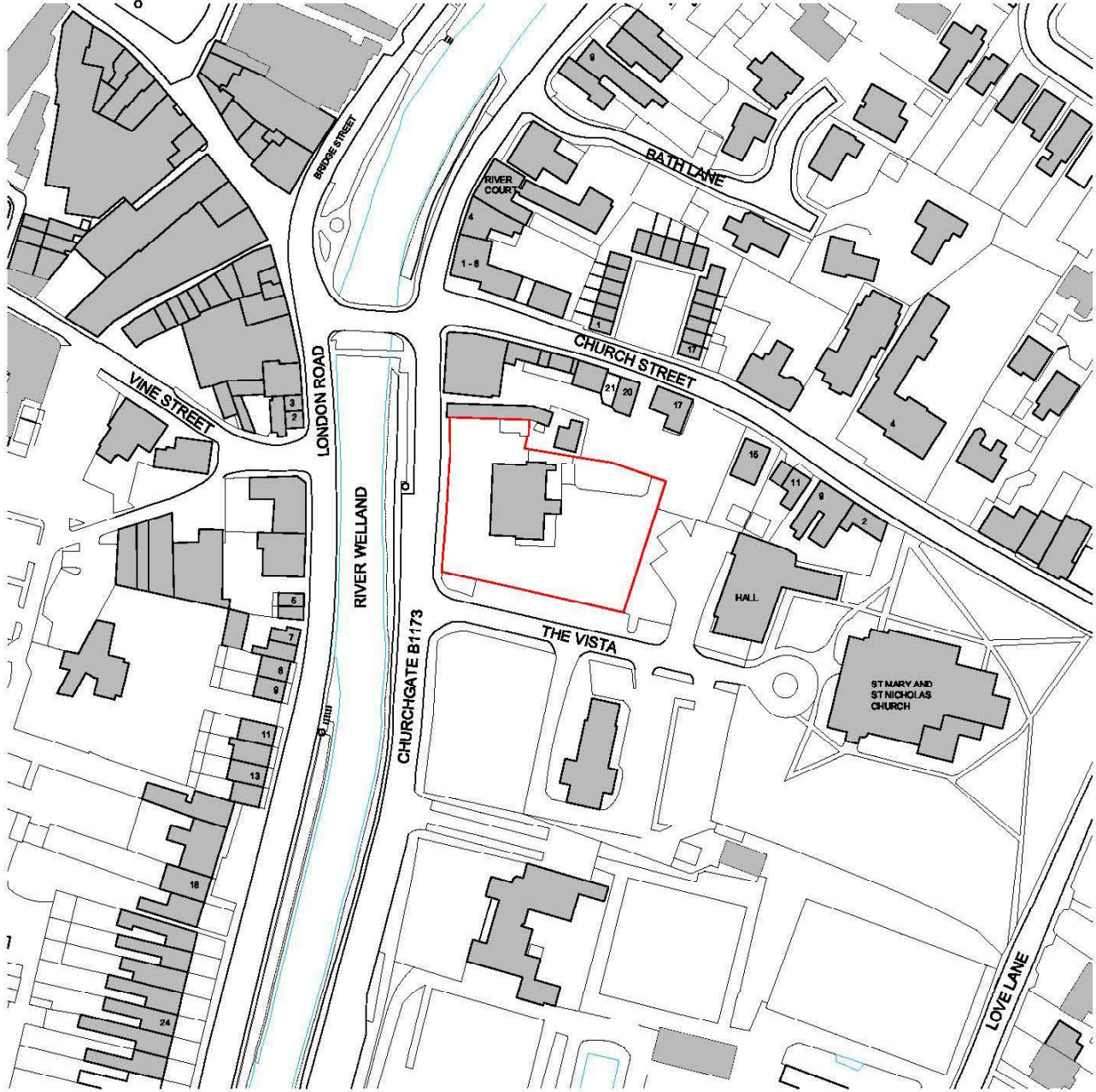
Welcome to the Planning Committee

MapThat Scale Print Title



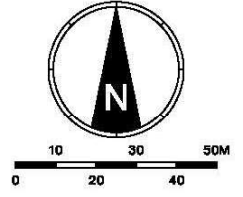
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MAP SCALE 1:1000
CREATED DATE: 25/03/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE



SITE LOCATION PLAN

- GENERAL NOTES:**
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 2. COPYRIGHT OF THIS DRAWING IS RESERVED BY RDT ARCHITECTS.
 3. THIS DRAWING IS FOR PLANNING PURPOSES ONLY.



KEY:

—	SITE BOUNDARY
	SITE AREA = 0.83 ACRES / 0.26 HECTARE

NOTES:

1. ORDNANCE SURVEY INFORMATION TAKEN FROM ORDNANCE SURVEY, (C) CROWN COPYRIGHT 2008.

PL1	PLANNING ISSUE	NS	28.04.23
REV	DESCRIPTION	BY	DATE

PROJECT WORK STAGE

PLANNING

CLIENT
CRISPEN HOLDINGS LTD

PROJECT
**PROPOSED NEW CARE HOME
FORMER BULL & MONKIE PUBLIC HOUSE
CHURCHGATE SPALDING, PE11 2RA**

DRAWG TITLE
SITE LOCATION PLAN

PROJECT	ORIGINATOR	ZONE	LEVEL	TYPE	DIS	NUMBER
1315PL	RDT	ZZ	XX	DR	A	0001

STATUS | SUBTILITY DESCRIPTION
-

DRAWN BY	DATE	SCALE	CHECKED BY
NS	OCT 2021	1:1250	CC

RDT PROJECT REF.	PAPER SIZE	REVISION
1315	A3	PL1



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GENERAL NOTES

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- THE DRAWING IS FOR LANDSCAPE PURPOSES ONLY.

NOTES

- EXISTING SURVEY INFORMATION HAS BEEN USED FOR TOPOGRAPHICAL SURVEY TO DRAWING. THIS WORK PRODUCED BY OTHER SURVEYORS, BEING TO OBTAIN SURVEY INFORMATION FOR THE SITE.

KEY

- EXISTING SURVEY INFORMATION HAS BEEN USED FOR TOPOGRAPHICAL SURVEY TO DRAWING. THIS WORK PRODUCED BY OTHER SURVEYORS, BEING TO OBTAIN SURVEY INFORMATION FOR THE SITE.
- EXISTING TREES
- EXISTING TREES TO REMAIN ON ADDRESS WITHIN SURVEY PRELIMINARY TREE CONSTRAINTS PLAN AND TREE SURVEY SCHEDULE PRODUCED BY ARSITA TREE SURVEY
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE REMOVED ON ADDRESS WITHIN SURVEY PRELIMINARY TREE CONSTRAINTS PLAN AND TREE SURVEY SCHEDULE PRODUCED BY ARSITA TREE SURVEY
- EXISTING TREES TO BE REMOVED ON ADDRESS WITHIN SURVEY PRELIMINARY TREE CONSTRAINTS PLAN AND TREE SURVEY SCHEDULE PRODUCED BY ARSITA TREE SURVEY

PL1	PLANNING ISSUE	NO	18 Oct 23
REV	DESCRIPTION	BY	DATE
PLANNING			
CLIENT CRISPEN HOLDINGS LTD			
PROJECT PROPOSED NEW CARE HOME FORMER BULL & MONKIE PUBLIC HOUSE CHURCHGATE SPALDING, PE11 2RA			
DRAW TITLE EXISTING SITE PLAN			
PROJECT	DATE	LEVEL	SCALE
1315PL	RDT	ZZ	XX DR A 010
STATUS SUBMITAL DESCRIPTION			
-			
DATE	SCALE	PROJECT	CC
CML	OCT 21	1:200	CC
APP. PROJECT NO.	PAPER SIZE	REVISION	
1315	A1	PL1	

rdt
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EXISTING SITE PLAN



GENERAL NOTES

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- THE DRAWING IS FOR LANDSCAPE PURPOSES ONLY.

NOTES

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- ALL LEVELS TO BE CONFIRMED BY CIVIL ENGINEER/CONTRACTOR AT SITE.
- LANDSCAPE INFORMATION FROM PROGRAMMING USE BY REV A LANDSCAPE ARCHITECT PRODUCED BY THE LANDSCAPE ARCHITECT.

KEY

- EXISTING BUILDING FOOTPRINT
- PROPOSED BUILDING FOOTPRINT
- EXISTING TREES
- PROPOSED TREES
- EXISTING ROAD/PROPOSED ROAD
- EXISTING FOOTPATH/PROPOSED FOOTPATH
- EXISTING DRIVEWAY/PROPOSED DRIVEWAY
- EXISTING PAVEMENT/PROPOSED PAVEMENT
- EXISTING GRASS/PROPOSED GRASS
- EXISTING PLANTING/PROPOSED PLANTING
- EXISTING FENCE/PROPOSED FENCE
- EXISTING WALL/PROPOSED WALL
- EXISTING GATE/PROPOSED GATE
- EXISTING LIGHTING/PROPOSED LIGHTING
- EXISTING SIGNAGE/PROPOSED SIGNAGE
- EXISTING UTILITIES/PROPOSED UTILITIES
- EXISTING SERVICES/PROPOSED SERVICES
- EXISTING LANDSCAPE/PROPOSED LANDSCAPE
- EXISTING FURNITURE/PROPOSED FURNITURE
- EXISTING ACCESS POINT/PROPOSED ACCESS POINT
- EXISTING RETAINING WALL/PROPOSED RETAINING WALL
- EXISTING PAVING/PROPOSED PAVING
- EXISTING PLANTING/PROPOSED PLANTING
- EXISTING FENCE/PROPOSED FENCE
- EXISTING LIGHTING/PROPOSED LIGHTING
- EXISTING SIGNAGE/PROPOSED SIGNAGE
- EXISTING UTILITIES/PROPOSED UTILITIES
- EXISTING SERVICES/PROPOSED SERVICES
- EXISTING LANDSCAPE/PROPOSED LANDSCAPE
- EXISTING FURNITURE/PROPOSED FURNITURE

PL2 UPDATED LINE WITH COMMENTS NB 11.05.23
 PL1 PRELIMINARY ISSUE NB 08.04.23
 REV 1 PRELIMINARY ISSUE NB 08.04.23
 PROJECT WORK SHEET

PLANNING

CLIENT: CRISPEN HOLDINGS LTD

PROJECT: PROPOSED NEW CARE HOME FORMER BULL & MONKIE PUBLIC HOUSE CHURCHGATE SPALDING, PE11 2RA

DRAW TITLE: PROPOSED SITF PL AN

PROJECT	ORIENTATION	DATE	LEVEL	TYPE	ISSUE	SHEET NO.	TOTAL SHEETS
1315PL	RDT	ZZ	XX	DR	A	1100	1100

STATUS: SUBMITTAL DESCRIPTION

DATE	BY	SCALE	ORIENTATION
NB	MAY 22	1:200	CC

DATE	BY	SCALE	ORIENTATION
1315	A1	PL2	

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PROPOSED SITE PLAN

REVISIONS
 1. ALL DRAWINGS TO BE MARKED BY UPDATING ANY DIMENSIONS
 INDICATED TO BE IN CONFLICT WITH THE
 DIMENSIONS OF THE EXISTING BUILDING ONLY
 DIMENSIONS TO BE MARKED BY THE ARCHITECT ONLY



- KEY**
- BACK OF HOUSE
 - BEDROOMS
 - ENTRANCE PLAZA
 - HORIZONTAL CIRCULATION
 - LIVING & DINING
 - RESIDENTS ANCILLARY ACCOMMODATION
 - STAFF / MANAGEMENT
 - VERTICAL CIRCULATION

KEY

★ BLOCK / CONCOURSE PLAZA



PL1	PLANNING ISSUE	NS	16.04.23
REV	DESCRIPTION	BY	DATE
PLANNING			
PROJECT NAME: CRISPEN HOLDING LTD			
PROJECT: PROPOSED CARE HOME, FORMER BULL & MONKIE PUBLIC HOUSE, CHURCHGATE SPALDING, PE11 2RA			
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN			
PROJECT	COORDINATION	DATE	ISSUE
1316PL	RDT ZZ 00 IDR A	2100	
STATUS: SUSTAINABILITY DISCUSSION			
DRAWN BY	DATE	SCALE	CHECKED BY
NS	DEC 2021	1:100	CC
REV PROJECT NO.	DATE	SCALE	ISSUED BY
1316		A1	PL1

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 www.rdtarchitects.co.uk

PROPOSED - GROUND FLOOR PLAN

REVISIONS
 1. ALL DRAWINGS TO BE MARKED BY UPDATING ANY DIMENSIONS
 INDICATED WITH TO BE ACCURATE
 2. DIMENSIONS OF THE DRAWING SUBJECT TO THE TOLERANCES
 SPECIFIED IN THE RELEVANT BUILDING CODE



- KEY**
- BACK OF HOUSE
 - BEDROOMS
 - HORIZONTAL CIRCULATION
 - LIVING & DINING
 - RESIDENTS AUXILIARY ACCOMMODATION
 - STAFF / MANAGEMENT
 - VERTICAL CIRCULATION

KEY

★ BLOCKED / CONCRETE SLAB



PL1 PLANNING ISSUE NS 28.04.23
 DATE DATE

PLANNING

CLIENT
 CRISPEN HOLDING LTD

PROJECT
 PROPOSED CARE HOME, FORMER BULL
 & MONKIE PUBLIC HOUSE, CHURCHGATE
 SPALDING, PE11 2RA

**PROPOSED
 FIRST FLOOR PLAN**

PROJECT	DATE	USER	TYPE	NO	STATUS
1316PL	RDT	ZZ	01	IDR	A
STATUS: SUBMITTAL / DISPOSITION					

ISSUED BY	DATE	SCALE	CHECKED BY
NS	DEC 2021	1:100	CC
NS PROJECT NO.	1316	A1	PL1



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 01430 820000
 E: rdt@rdtarchitects.co.uk
 W: www.rdtarchitects.co.uk

PROPOSED - FIRST FLOOR PLAN

REVISIONS
 1. ALL DRAWINGS TO BE MARKED BY UPDATING ANY DIMENSIONS
 2. DIMENSIONS MUST BE ACCURATE
 3. DIMENSIONS OF THE DRAWING SUBJECTS MUST BE TO SCALE
 4. DIMENSIONS MUST BE TO SCALE



- KEY**
- BACK OF HOUSE
 - BEDROOMS
 - HORIZONTAL CIRCULATION
 - LIVING & DINING
 - RESIDENTS AUXILIARY ACCOMMODATION
 - STAFF / MANAGEMENT
 - VERTICAL CIRCULATION

KEY
 * BLOOD CONTROL PLANT



PL1 PLANNING ISSUE NS 18.04.23
 DATE BY DATE

PLANNING

CRISPEN HOLDING LTD

PROPOSED CARE HOME, FORMER BULL & MONKIE PUBLIC HOUSE CHURCHGATE SPALDING, PE11 2RA

PROPOSED SECOND FLOOR PLAN

PROJECT	DATE	TYPE	NO	REVISION		
1316PL	RDT	ZZ	02	IDR	A	2300

DATE	SCALE	CREATED BY	
NS	DEC 2021	1:100	CC

NO	DATE	SCALE	CREATED BY
1316	A1	PL1	



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 01454 600110
 rdt@rdtarchitects.co.uk
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PROPOSED - SECOND FLOOR PLAN

REVISIONS
 1. ALL DRAWINGS TO BE CHECKED BY EMPLOYEES OF THE ARCHITECTS
 2. ANY CHANGES TO BE MADE TO BE APPROVED BY THE ARCHITECTS
 3. ANY CHANGES TO BE MADE TO BE APPROVED BY THE ARCHITECTS



- KEY**
- BACK OF HOUSE
 - BEDROOMS
 - EXTERNAL AMENITY
 - HORIZONTAL CIRCULATION
 - LIVING & DINING
 - RESIDENTS ANCILLARY ACCOMMODATION
 - STAFF / MANAGEMENT
 - VERTICAL CIRCULATION

KEY

★ BLOORING COMPLIANCE PLAN



PL1	PLANNING ISSUE	NS	18.04.23
REV	DESCRIPTION	BY	DATE
PLANNING			
PROJECT NAME STAGE			
CRISPEN HOLDING LTD			
PROJECT			
PROPOSED CARE HOME, FORMER BULL & MONKIE PUBLIC HOUSE CHURCHGATE SPALDING, PE11 2RA			
DRAWING TITLE			
PROPOSED THIRD FLOOR PLAN			
PROJECT	ORGANISATION	LEVEL	TYPE
1316PL	RDT	03	IDR
STATUS	SUSTAINABILITY INFORMATION		
1316	RDT	ZZ	03
ISSUED BY	DATE	SCALE	CHECKED BY
NS	DEC 2021	1:100	CC
REV PROJECT NO.	NO. OF SHEETS	SHEET NO.	PL1
1316	A1	1316	PL1

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PROPOSED - THIRD FLOOR PLAN

1. ALL DIMENSIONS TO BE GIVEN IN METERS. ANY DIMENSIONS SHOWN MUST BE TO BE ACCURATE.
 2. DIMENSIONS OF ALL ELEMENTS SHOWN IN THIS PLAN MUST BE TO BE GIVEN IN METERS ONLY.



- KEY**
- BACK OF HOUSE
 - HORIZONTAL CIRCULATION
 - STAFF / MANAGEMENT
 - VERTICAL CIRCULATION

KEY

* BLOCKED / OCCUPIED AREA



PL1 PLANNING ISSUE NS 28.04.23
 BY DATE

PROJECT STAGE
PLANNING

CITY
 CRISPEN HOLDING LTD

PROJECT
 PROPOSED CARE HOME, FORMER BULL & MONKIE PUBLIC HOUSE, CHURCHGATE SPALDING, PE11 2RA

DRAW TITLE
 PROPOSED LOWER GROUND FLOOR

PROJECT	DATE	TYPE	NO	REVISION
1316PL	RDT	ZZ	B1	IDR A 2000

STATUS | SUSTAINABILITY DISCIPLINE

DRAWN BY NS DATE DEC 2021 SCALE 1:100 CHECKED BY CC

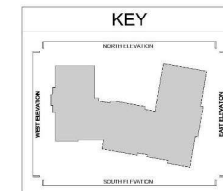
NS PROJECT NO. 1316 AREA A1 SHEET NO. PL1



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PROPOSED - LOWER GROUND FLOOR PLAN

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KEY
 * BUILDING/GEOMETRIC CLADDING



ELEVATION A-A - WEST ELEVATION



ELEVATION B-B - SOUTH ELEVATION

PL2 PLANNING AMENDMENTS NS 06.12.23
 PL1 PLANNING ISSUE NS 28.04.23
 REV DESCRIPTION BY DATE

PROJECT WORK SHEET
PLANNING
 CLIENT
 CRISPEN HOLDING LTD

PROJECT
 PROPOSED CARE HOME, FORMER BULL & MONK PUBLIC HOUSE (C/O) URGICATC SPALDING, PE11 2RA

DRAWING TITLE
 PROPOSED ELEVATIONS SHEET 1

PROJECT	COORDINATOR	ZONE	LEVEL	TYPE	DATE	NUMBER
1315PL	RDT	ZZ	DR	A	3000	

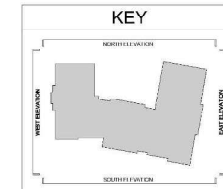
ISSUED BY	DATE	SCALE	ISSUED BY
NS	DEC 2021	1 : 100	CC
REF PROJECT REF.	DATE SIZE	REVISION	
1315	A1	PL2	



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PROPOSED - ELEVATIONS - SHEET 1

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KEY
 * BUILDING EXISTENCE/CLADDING



ELEVATION C-C - EAST ELEVATION



ELEVATION D-D - NORTH ELEVATION

PL2	PLANNING AMENDMENTS	NS	06.12.23
PL1	PLANNING ISSUE	NS	28.04.23
REV	DESCRIPTION	BY	DATE

PROJECT WORK SHEET
PLANNING
 CLIENT
 CRISPEN HOLDING LTD

PROJECT
 PROPOSED CARE HOME, FORMER BULL & MONKIE PUBLIC HOUSE (C/O LURCHGATE SPALDING, PE11 2RA

DRAWING TITLE
 PROPOSED ELEVATIONS SHEET 2

PROJECT	ORIGINATOR	ZONE	LEVEL	TYPE	DEL.	NUMBER
1315PL	RDT	ZZ	ZZ	DR	A	0001

STATUS	SUITABILITY	DESCRIPTION
NS	DEC 2021	1 : 100
CC		
REF PROJECT REF.	1315	DATE SIZE
		A1
		REVISION
		PL2



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PROPOSED - ELEVATIONS - SHEET 2



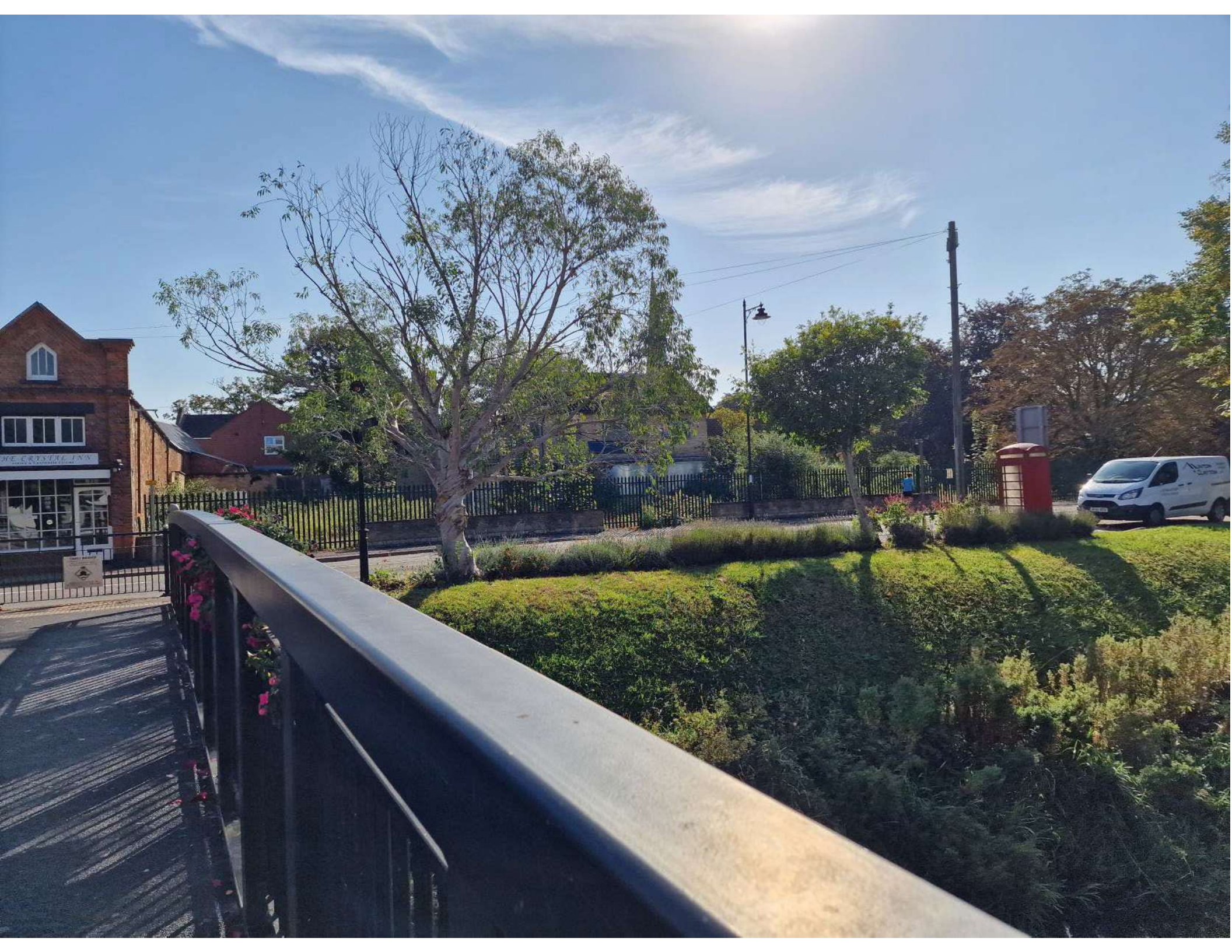
MUNTON & CLAYTON
Steelwork Services Ltd

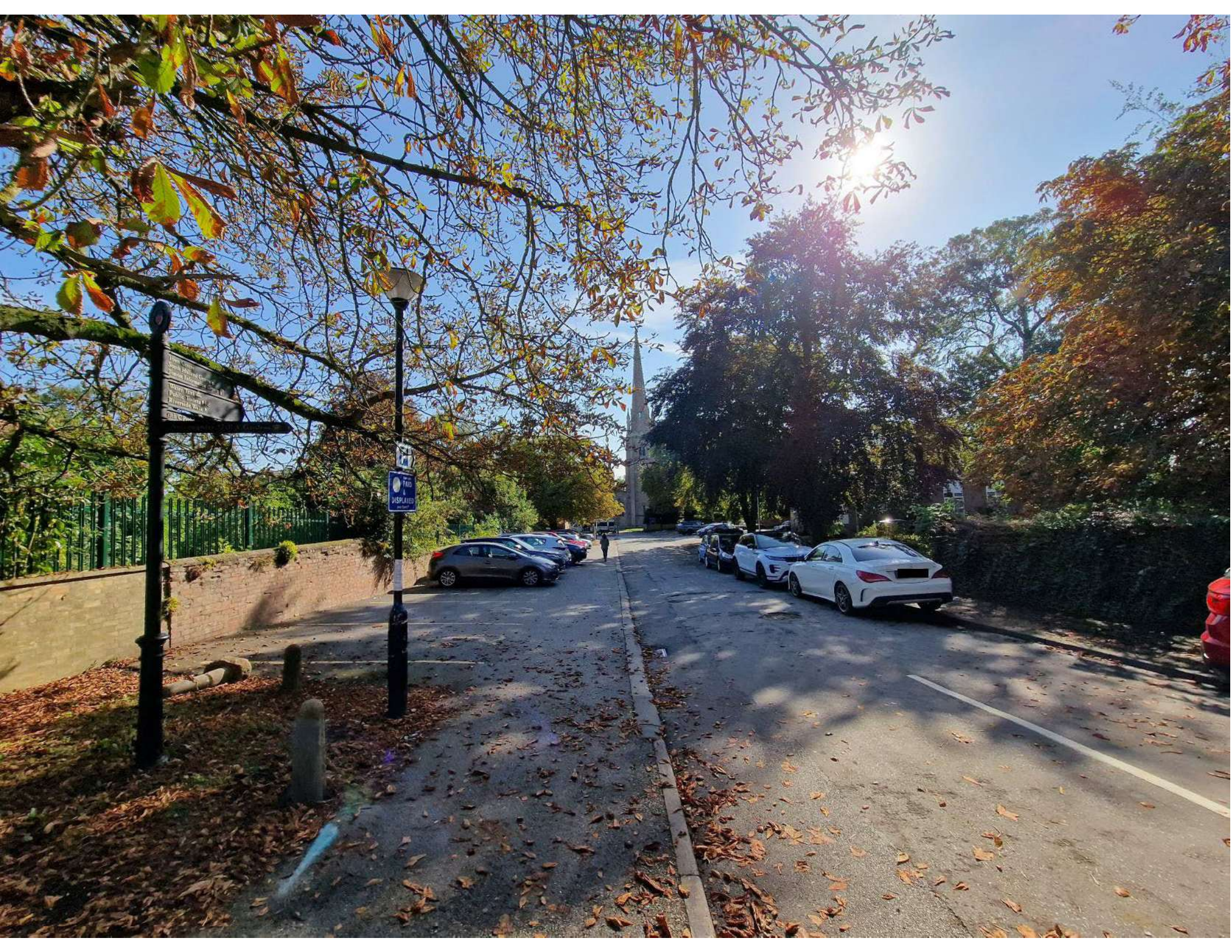


0.5m 5.0m







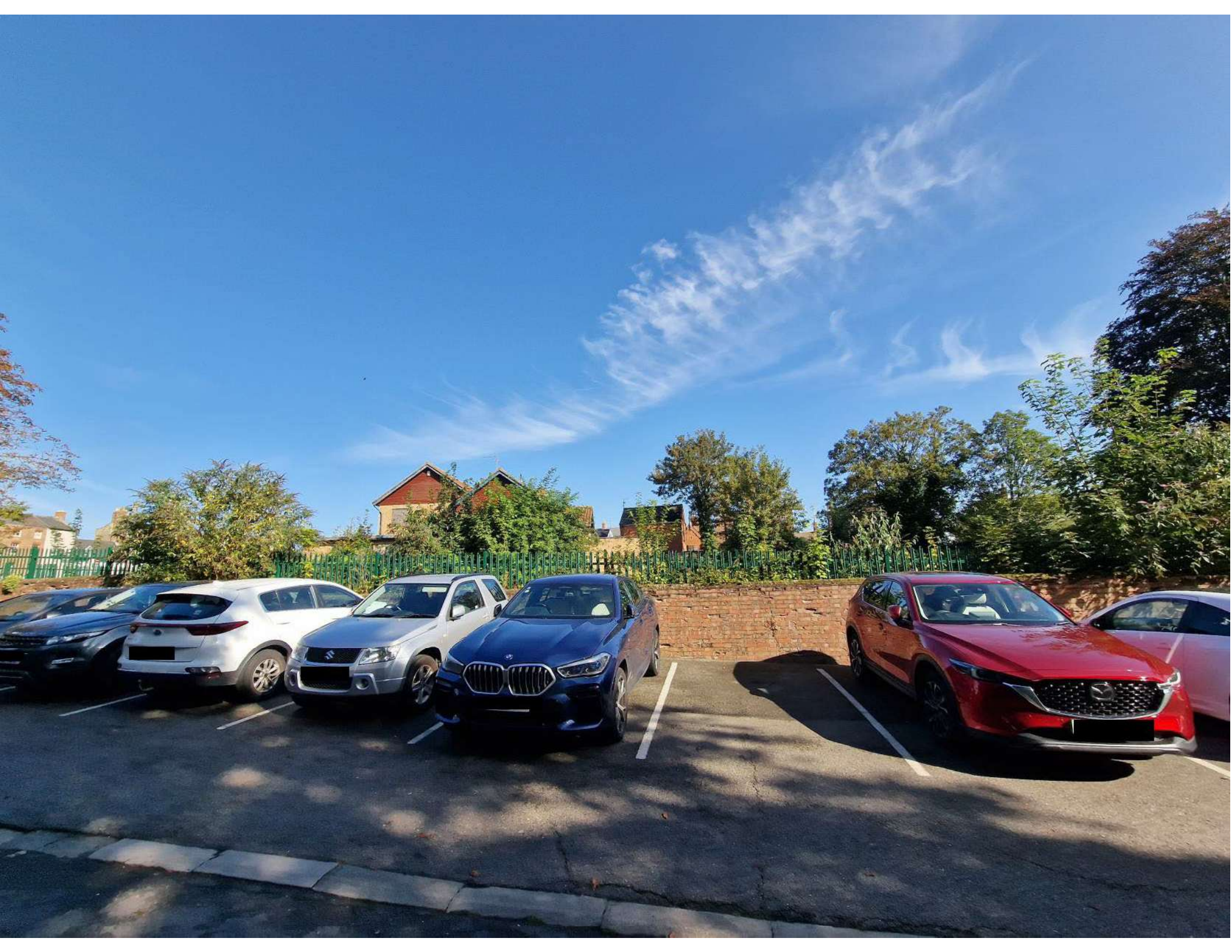














A two-story brick building with a tiled roof and two chimneys. The building is in a state of disrepair, with several windows and doors boarded up with grey panels. Some of the boarded-up areas have graffiti, including the words "SPY" and "NE". The building is surrounded by overgrown vegetation and debris.

A stone wall in the foreground, partially covered in moss and debris. It appears to be a boundary or a retaining wall. To the right of the wall, there is a wooden fence and some green plants.

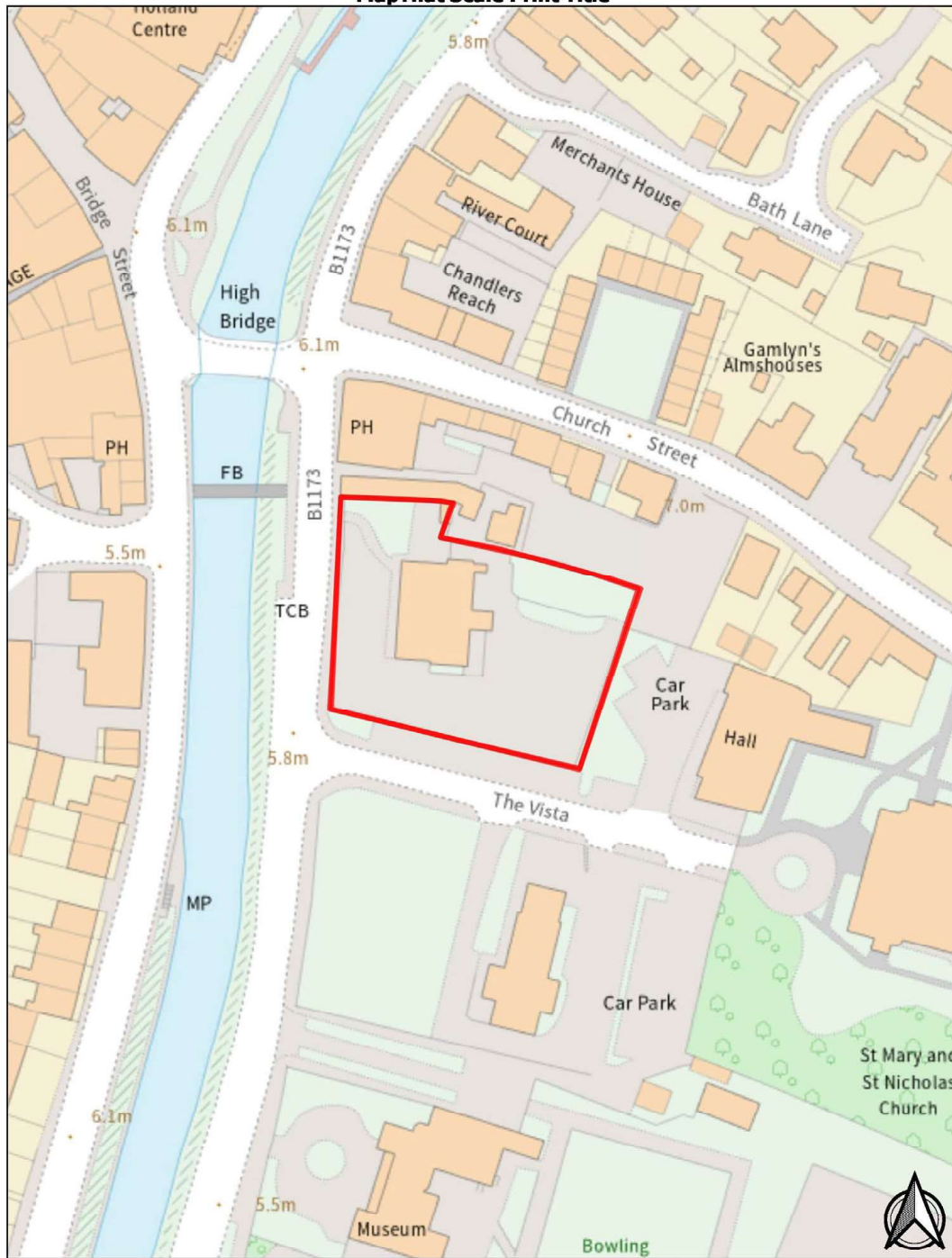
A large area of ground covered in debris, including branches, leaves, and trash. A large, flat, light-colored object, possibly a piece of wood or a stone, lies prominently in the foreground. The ground is uneven and appears to be a mix of dirt and organic matter.

A wooden fence running along the right side of the image. The fence is made of vertical wooden posts and horizontal planks. There are some green plants growing near the fence, and a large, dark, cylindrical object, possibly a pipe or a log, is visible near the fence.



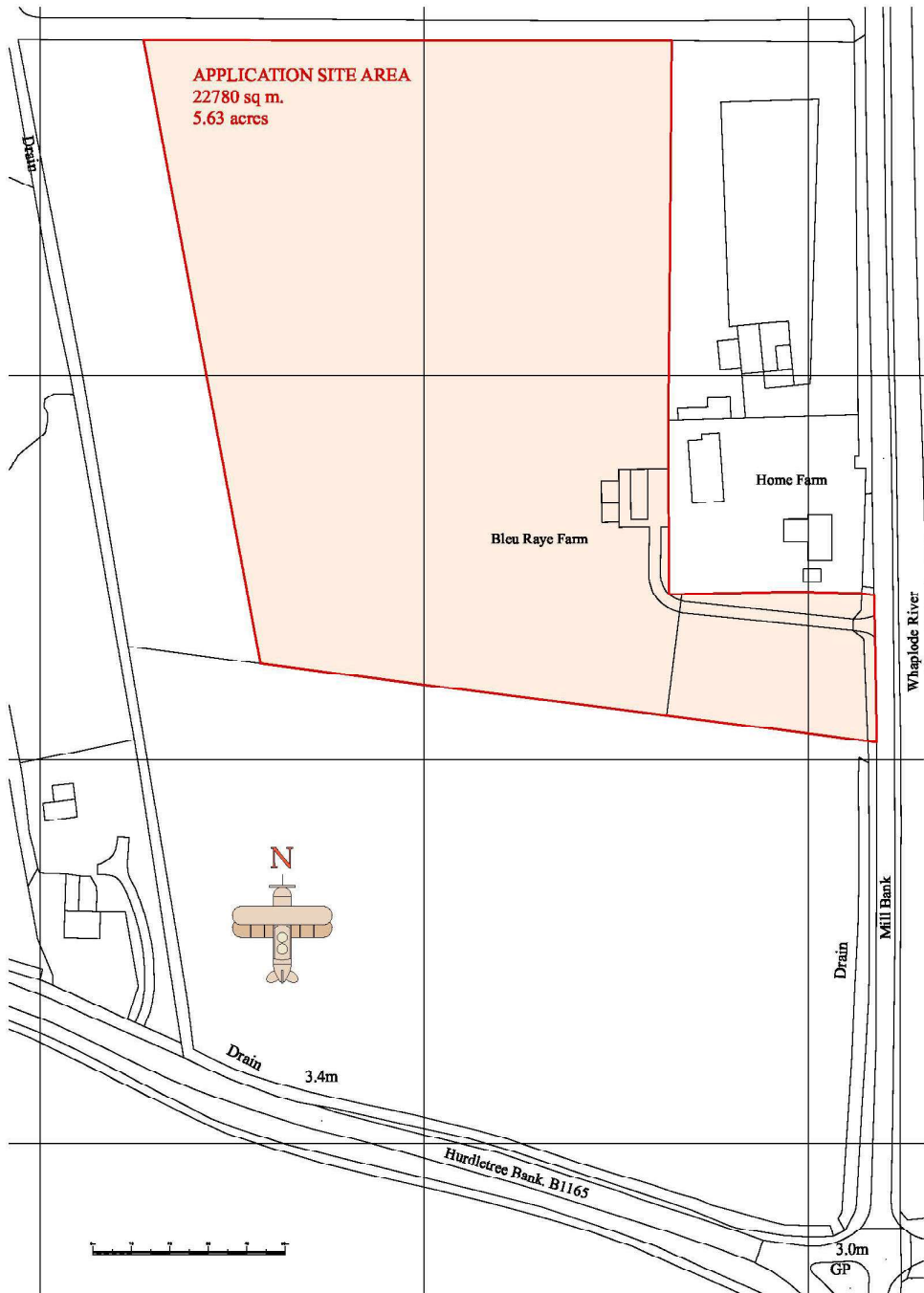


MapThat Scale Print Title



MapThat Scale Print Title





NOTES

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All details shown on this drawing are based upon typical site conditions related to the area. No responsibility can be accepted for abnormal conditions unless they have been reported in detail so that design amendments may be considered.
All works and materials are to be in full accordance with current British Standards, Building Regulations, Agreement Certificates and Manufacturers printed instructions.
All Building Regulations inspections are to be carried out at the appropriate stages of work.

RAINWATER DRAINAGE

New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill.

SOAKAWAY USING CRATES

Trench of soakaway to be provided slightly larger than designed depth after porosity test (if required) but just over 100mm from invert level of pipe. Provide suitable geotextile over the base and up the sides of the trench over 100mm level and compact bed of coarse sand. Install Aquacell crate units or equivalent as manufacturer's details. Geotextile to be wrapped around crates. Provide 100mm of coarse sand between the trench walls and over the Aquacell structure. Backfill with suitable material.

UNDERGROUND FOUL DRAINAGE

Underground drainage to consist of 110mm diameter UPVC proprietary pipe work to give a 1:40 fall laid on 100mm granular bed conforming to BS882 1983, Table 4 and selected as-dug backfill to 1 in 40 gradient to mains connection. Provide 600mm suitable cover (900mm under drives). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible waste. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1:2009.
Drains with less than 900mm cover under roads/parking to have reinforced concrete bridging over. Drains with less than 600mm cover not under roads/parking to have concrete paving slabs as bridging over pipes with 75mm granular fill between top of drains and underside of slabs.

PVC-U root bends to base of soil stack and trapped back inlet gully (low-back P-trap and square loppe) bedded and surrounded with 100mm concrete.

450mm dia. polypropylene inspection chambers bedded on selected as-dug material with cover and frame. Class A15 (BS-EN 124) cover and frame in paths and planted areas. Class R125 (BS-EN 124) cover and frame in road and parking areas. Concrete bed and surround to cover frames.

Lightweight inspection chamber covers to be of screw down type.

Drains under building encased in 25mm fibreglass and 100mm concrete, cast integrally with floor slab where crown within 300mm of slab underside.

Flexible drain joints to be provided within 150mm of entering building and within 150mm of inspection chamber connection, followed by 600mm long "rocker" pipe.

Protect drains passing through walls from differential settlement with 25mm fibreglass wrap and bead over.

Fill drain trenches with concrete where within one metre of building and lower than foundation, up to lowest level of foundation. Where further than one metre from building, fill drain trench with concrete up to level below foundation equal to distance from building less 150mm.

Excavating / Backfilling:

Lower part of trench:-

From bottom to 300mm above crown of pipe the trench must have vertical sides and be of a width as small as practicable but not less than external diameter of pipe plus 300mm or larger dimension if specified.

Formation for beds generally:-

Excavate to formation immediately before laying beds or pipes.

Remove mud, rock projection, boulders and hard spots and replace with consolidated bedding material.

Harden local soft spots by tamping in bedding material.

HEALTH AND SAFETY

The contractor is reminded of their liability to ensure due care, attention and consideration is given in regard to safe practice in compliance with the Health and Safety at Work Act 1974.
The contractor shall ensure that all health, safety and welfare measures required under or by virtue of the provisions of any enactment or regulations, or the working rules of any industry are strictly complied with.

Hazardous Substances:

When hazardous substances are identified as being either flammable, toxic, corrosive and explosive, arrangements must be made to ensure that the use, handling, storage and transport of such substances is safe and without risk to health. A written assessment must be made and if the substance is identified as hazardous, necessary control methods, protective clothing and monitoring established.

The employees working with hazardous substances must be fully informed on the hazard and suitably instructed on safe handling/use of the substance.

Safe systems of work:

Safe systems of work need to be established for all operations of work by relevant supervisors and management. Risk assessments will need to be undertaken and where significant, a method statement completed. These need to be reviewed to ensure that they reflect the hazards, bearing in mind the constantly changing nature of a construction site. Should there be any changes to established safe systems of work, these require to be referred to the originator, whereby revised risk assessments and method statements can be produced.

Adequate arrangements must be made to keep workplaces in a clean, orderly and safe condition, provide and maintain safe means of access to and from all working areas and keep clearly marked as appropriate.

The environment of the workplace shall be safe and without risk to health, satisfactory levels of lighting, temperature, dust, noise, etc, must be maintained.
The requirements of the health and safety at work etc. act 1974 and all duties and obligations imposed by the act, management of health and safety at work regulations 1992 and the construction (design and management) regulations 1994; and all other acts and regulations are to be complied with.

Plant and machinery:

all plant and machinery must be used correctly and be safe and without risk to health. Only competent persons may operate plant and machinery and be trained where necessary.
All plant and machinery must be inspected, serviced and maintained as necessary, all of which shall be properly documented.

Statutory tests and thorough examinations will be undertaken where necessary and correct documentation be maintained.

The contractor will provide and maintain a working environment which is safe and without risk to the health of both its employees and persons who may be affected by its employees.



SOLID WASTE STORAGE (REFUSE)

Bin storage to be in accordance with BS 5906:2005 Code of Practice for waste management in buildings to ensure that there is suitable space/enclosure for bins.
Adequate provision shall be made for the collection of waste as required by the Waste Collection Authority.

Separate containers are to be provided for recycling and non-recycling household waste. Waste collections that are less than weekly may require increased capacity as agreed with the Waste Collection Authority. If a communal solid waste storage facility is used, storage to have a combined capacity of 0.25m³ per unit or as agreed with the Waste Collection Authority.

Refuse storage areas to be sited within 25m of the waste collection point or as specified by the Waste Collection Authority, and placed so that the householder does not need to carry refuse more than 30m. Refuse storage areas are to be positioned away from any windows and ventilators and are not to impede access into the dwelling.

EXTERNAL SURFACE WATER DRAINAGE

Drainage of paving areas to be carried out in accordance with BS 6367:1983 and Approved Document H.

Hard surfaces around the buildings should be provided with a proprietary non-slip permeable surface laid to manufacturer's details and in compliance with BS6171, to allow adequate drainage.

or provided with a non-slip surface and cross fall of 1:40 - 1:60 draining away from the building (or a minimum of 500mm) to a suitable soakaway.
Paths, driveways and other narrow areas of paving should be free draining away from any buildings to a pervious area such as grasslands or to a suitable soakaway.

GENERAL

No work to commence until all statutory approvals have been obtained.
All dimensions are to be checked on site by contractor prior to the commencement of work. Drawings have been prepared solely for the procurement of statutory approvals.
All dimensions are in millimetres.
All levels shown are in metres.

No work is to commence on site until all structural calculations have been approved by the appointed Building Control authority.
Any alterations to the design are to be formally agreed with the Local Authority Planning Department if Town and Country Planning Act legislation applies.
Exact boundary positions are to be determined by reference to the Title Plans and Title documents to the property.

The entire structure is to be built within the legal boundaries of the site with any encroachments over any boundaries formally agreed with adjoining property owners.

ACCESSIBILITY

LEVEL DWELLING (HOLIDAY HOME) APPROACH - WHERE SHOWN

Provide a level approach to the principal entrance door no steeper than 1:20 and at least 900mm wide, with cross falls no greater than 1:40. Approach surface material to be firm and non-slip, capable of supporting the weight of a wheel chair and its user (loose material such as gravel and shingle would not be suitable). Part M compliant ramps where shown.

ACCESSIBLE LEVEL DOOR THRESHOLDS INTO THE BUILDING

Entrance door to have an accessible level threshold provided with a weather bar (maximum height 15mm) with suitable drainage channel. Landings to have a fall of 1:40-1:60 away from the door. Principal entrance door to have a minimum 775mm clear opening between the door leaf and doorstop.

STEPPED ACCESS

3.11 To enable a wide range of people to use them safely, external steps should comply with all of the following.

- a. Steps are uniform with a rise of between 150mm and 170mm and a going of between 280mm and 425mm (for tapered steps measured at a point 270mm from the 'inside' (narrow end) of the step).
- b. Steps have suitable tread nosings.
- c. No individual flight has a rise of more than 1800mm between landings.
- d. Every flight has a minimum clear width of 900mm.
- e. Top, bottom and, where necessary, intermediate landings are provided and every landing is a minimum 900mm long.
- f. Every flight with three or more risers has a suitable grippable handrail on one side of the flight (or to both sides where the flight is wider than 1000mm). This grippable handrail is 850-1000mm above the pitch line of the flight and extends at least 300mm beyond the top and bottom nosings.
- g. Single steps are avoided.

RAMPED ACCESS

3.10 External and internal ramps should comply with all of the following.

- a. The gradient is between 1:20 and 1:15.
- b. The length of each flight at a given gradient meets the provisions of Diagram 3.1.
- c. Flights (whether within a private or communal approach route) have a minimum clear width of 1200mm.
- d. Top and bottom landings are provided to every flight.
- e. An intermediate landing is provided between individual flights and at any change of direction.
- f. Every landing is level and a minimum of 1200mm clear of any door (or gate) swing.

**Proposed Holiday Home Development at ;
Bleu Ray Farm, Millgate, Whaplode
PE12 6RY**

**John Dickie Associates
Chartered Building Engineers
5, Victor Way, Cherry Holt Road,
Bourne, Lincs PE10 9PT
Tel 07778 297733 jda@ndirect.co.uk**

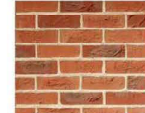
**Drawing Title : Site Location
Scale 1 to 1250 at A3 Portrait**

Date April 2023

Drawing No JDA/2023/885/OS.001



Mitsubishi 14kW R32 ASHP



Two Course Facing Bricks below DPC
Traditional Brick and Stone vs
Light Anthill Blend



Roundstyle Cast Iron Style
Rainwater System by Dectic
Martin - black 112mm half round



Oak Boarding



Sedum Roof with Solar Panels



Marshalls DriveLine Ruff
Prima Permeable Pavers



Stabilised Gravel

MATERIALS
Roofs - Proprietary Sedum Roofs where shown.
Standing Seam Zinc where shown
Exterior Brickwork above DPC - Traditional Brick and Stone - Light Anthill Blend in 1:1 ratio
Windows and doors - Timber hardwood - elevations as shown. Oak stain by Sikens.
Horizontal and vertical cladding where shown - Feather edge Oak boarding - finished with 150mm visible gap
RW Goods
Roundstyle Cast Iron Style Rainwater System by Dectic Martin - black 112mm half round
Lanterns
All Lanterns by Roofmaker Limited
Weatherbar Eaves
Heres approved Black Virocra Framed where shown
Fascias and Skiffs
All in premium high density Anthracite Grey PVCU
Ripe Solid
All formed in solid seasoned Oak timber sections - joinery quality
with Oak finished exteriors
Decking, Steps and Ramps
All top grain hardwood where shown
Balustrade to Raised Areas
Black painted galvanized steel balusters, rails and handrails where shown
Corten 'A' Steel - where shown (Atmospheric Corrosion Resistant Steel)
SYSTEM Quality panels. Acid proof Stainless Steel screws for fixing panels. Waterproof seals at abutments.
Main Roofs
Self Binding Stabilised Gravel
Driveways and parking areas
Marshalls DriveLine Ruff Prima Permeable Pavers
Paths and Paths
Porcelain Slate Grey where shown

Wild Flower/Crowfoot Specification Designated 'WFG' on Drawings
Only sow in Spring or Autumn. The seed must be surface sown and can be applied by machine or broadcast by hand. To get an even distribution and avoid running out divide the seed into two or more parts and sow in overlapping sections. Do not incorporate or cover the seed, but firm to with a roll, or by treading, to give good soil seed contact.

Wild Flowers to include:
Achillea millefolium - Yarrow
Ranunculus bulbosus - Buttercup
Primula veris - Cowslip
Lotus corniculatus - Birdfoot Trefoil
Lonicera caerulea - Honey Suckle (Moon Daisy)
Centaurea nigra - Common Knapsword
Lotus corniculatus - Birdfoot Trefoil
Medicago lupulina - Black Medick
Ranunculus acris - Meadow Buttercup
Erigeron pinnatifidus - Great Willowherb
Ranunculus acris - Wild Cowslip
Pastinaca sativa - Wild Parsnip
Diogenis vulgaris - Wild Marjoram
Ternstroemia officinalis - Dandelion



CLOSE BOARDED FENCING - HEDGEHOG FRIENDLY

*The Facility Managers
Accommodation is within Flood
Zone One and its finished floor
level can be 100mm
above the existing ground level.

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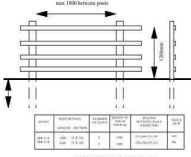
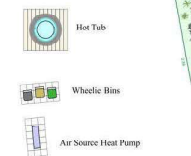
Proposed Holiday Home Development at ;
Bleu Ray Farm
Millgate, Whaplode
PE12 6RY

Drawing Title : Site Layout

Scale 1 to 500 at A2 Portrait

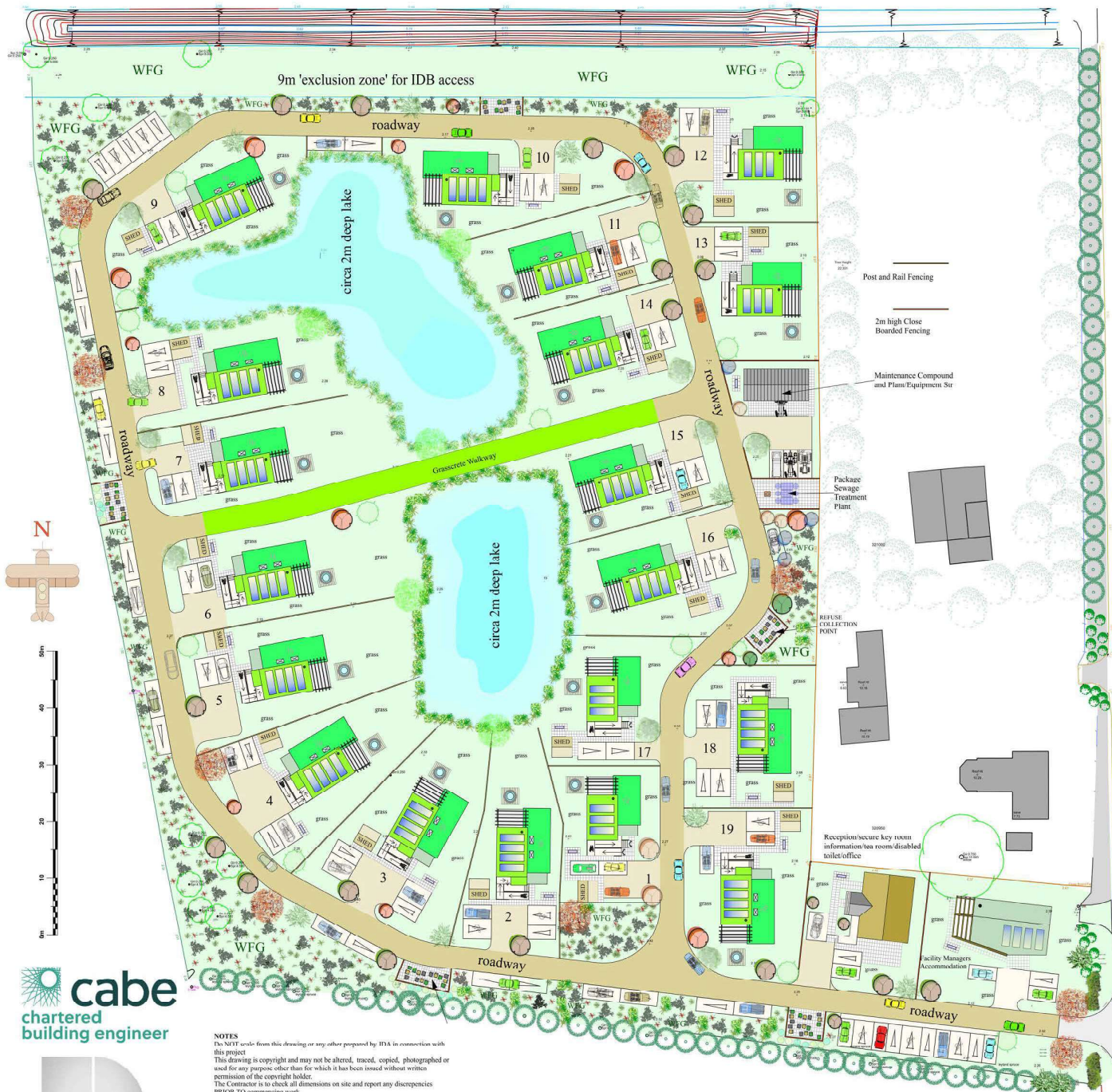
Date April 2023

Drawing No JDA/2023/885/SITE/A2.001



POST AND RAIL FENCING BETWEEN
HOLIDAY LODGE UNITS





- Fagus sylvatica Beech Field 8-10cm CG
- Acer campestre Field Maple Ac.ca 8-10cm CG
- Tilia Cordata - Small Leaved Lime - 8-10cm CG
- Hawthorn Tree Crataegus Laevigata 'Pauls Scarlet' 8-10cm CG
- A/J Apple 'James Grieve' 8-10cm CG
- Quercus Robur - English Oak - 8-10cm CG
- F/W Pear 'Worcester Black' 8-10cm CG
- Crab Apple (Malus Sylvestris) 12-14cm girth containerised root stock.
- Tilia cordata x mongolica 'Harvest Gold' 12-14cm girth containerised root stock.
- Golden Weeping Willow Tree | Salix Chrysoeome 170-150cm Tree in a 9L Pot
- Ground cover shrubs

Red-Graded Grassland
 Landscape Contractor to ensure that the top 600mm of re-graded grassland is sown using a Limonette Uratant Meadow Mix 1500 from seed supplier. Forageable seeds (accounted for) 100% grass seed and 20% wildflower seed by weight. All subsequent management should involve grazing and/or hay cutting. Remove weeds using repeated cultivation or an herbicide. Then plough or dig to bury the surface vegetation, harrow or rake to produce a medium till, and roll, or tread, to produce a firm surface. Only sow in Spring or Autumn. The seed must be surface sown and can be applied by machine or broadcast by hand. To get an even distribution and avoid nesting cut the soil to 100mm or more parts and sow in overlapping sections. Do not incorporate or cover the seed, but firm in with soil, or by treading, to give good soil-to-seed contact. Ongoing management once established - meadow management based around a main summer hay cut in combination with autumn and spring mowing or grazing. Meadow grassland to not cut or graze from spring through to late July/August to give the sown species an opportunity to flower. After flowering in July or August take a 'hay cut' - cut back with a scythe, petrol trimmer or tractor mower to c.50mm. Leave the hay to dry and shed for 1-7 days then remove from site. Mow or graze the re-growth through to late autumn/winter to c.50mm and again in spring if needed.

Re-planting (returning the landscape to a similar state to the maximum mature land in comparison)
 • To encourage as much natural diversity as possible to enable natural processes to develop and natural ecosystems:
 - Restore indigenous hedgerows to all boundaries
 - Minimise interventions
 - Limit tree planting to selected fruit trees
 - Create a shallow pond as indicated
 - Encourage the natural regeneration of scrub and woodlands
 - Avoid grazing
 - Install beehives
 - Introduce a small number of tree trunks to enable insect diversity
 - Avoid the use of chemicals, herbicides and fertilisers.

- Wild Flower/Grassland Specification**
 Only sow in Spring or Autumn. The seed must be surface sown and can be applied by machine or broadcast by hand. To get an even distribution and avoid nesting cut the soil to 100mm or more parts and sow in overlapping sections. Do not incorporate or cover the seed, but firm in with soil, or by treading, to give good soil-to-seed contact.
- Wild Flowers to include:**
- Acutis micranthem - yellow
 - Ranunculus bulbosus - Bulbous Buttercup
 - Primula veris - Cowslip
 - Lotus corniculatus - Birdfoot Trefoil
 - Lucummen pratense - Vasey Ditch - (Ditch Daisy)
 - Centaura nigra - Common Knapweed
 - Lotus corniculatus - Birdfoot Trefoil
 - Medicago lupulina - Black Medick
 - Ranunculus acris - Meadow Buttercup
 - Trigonopogon pratensis - Goat's-beard
 - Dianus carota - Wild Carrot
 - Pastinaca sativa - Wild Parsnip
 - Origanum vulgare - Wild Marjoram
 - Taraxacum officinale - Dandelion

PLANTING-GENERAL PLANTING INSTRUCTIONS
 Before planting, remove any non-perishable containers and carefully press any badly damaged roots. Planting depth or width should be as indicated on the label. Carefully remove excavated, top-soil, packing around evenly spread root or root ball and heel well in. Water plants thoroughly immediately after planting, use a fine rose. Immediately after planting shrubs carefully cut back any damaged, dead or diseased branches and remove any weak, thin or malformed growth. Where and to the extent appropriate for the species, cut back to encourage growth. After planting, fork and rake soil to a fine tilth with approved combers and no hoes.

Hedgerow Domes
 It is recommended that new hedgerow domes be established within the development proposals. The details of such measures, including the specification and number of features TBA under the detailed landscaping proposals are finalised. These features would be integrated within sheltered areas of the landscaping proposals, contiguous to off-site connecting hedges where possible.

Nesting Birds - General Safeguarding
 All habitats capable of supporting nesting birds should not be subject to clearance and/or management works during the recognised nesting bird season (March - August inclusive).

PLANNING CONSENT COMPLIANCE
 The soft landscaping scheme must be installed on or approved no later than the time planning consent is received. The occupation of the dwelling to which it relates or of the completion of development, whichever is the earlier. The management plan shall be implemented in accordance with the details contained therein. Any trees, shrubs or hedges forming part of the approved landscaping that are removed, become diseased or unfit for purpose (in the opinion of the LPA) within five years of the implementation of the landscaping scheme shall be replaced during the next available planting season by the Developer, or their successors in title with an equivalent size, number and species being replaced. Any replacement trees, shrubs or hedgerows dying within five years of planting shall themselves be replaced with an equivalent size, number and species. If greater tree planting scheme shall be carried out in accordance with the approved details at the first available planting season.

Tree planting should ideally be carried out between October and March.
 Mark out the estimated spread of roots, adding an extra 30-60cm (1-2ft). Excavate to the depth of the root ball and fork over the base and sides. Place the plants in the hole, checking that the roots can be spread out fully. Where necessary, adjust the size of the planting hole. The correct planting depth will place the soil around the tree level with the planting site. Firm around the plants carefully to eliminate air pockets as the planting hole is filled. Specimen trees will require staking or guying for a year or more after planting until established on permanent windward.

Biodiversity enhancements - native planting and enhancements
 Any new (or strengthened) hedgerows to be planted on site must comprise only native species that provide pollen, nectar and fruit in order to provide a diverse food source for birds, insects and other wildlife. Hedgerows will include a mixture of at least five of the following species, based on native availability, holly (Ilex aquifolium), hawthorn (Crataegus monogyna), elder (Sambucus nigra), blackthorn (Prunus spinosa), dog rose (Rosa canina), wild cherry (Prunus avium), field maple (Acer campestre) and guelder rose (Rhamnus frangula) - cut or be planted in double rows to create a dense hedgerow. Refer to Landscaping Specification and the Site Layout for full details.

Any hedgerows must be appropriately managed with traditional techniques where possible to maximise their benefits for wildlife using hedge-laying rather than flailing or trimming. If trimming is necessary, ensure it is carried out every 2 to 3 years and in sections so that not all parts of the hedgerow are cut at the same time (except as visibility safety). Flailing must be avoided.

Any proposed trees to be planted must comprise native species which provide foraging opportunities for various invertebrate and bird species.

Floral beds within any landscaped areas must include some night scented flowers to attract moths and other nocturnal flying insects (which will provide foraging opportunities for bats). Species should include evening primrose (Oenothera biennis), sweet rocket (Hesperis matronalis), honeysuckle (Lonicera sp.), lavender (Lavandula sp.), white jasmine (Jasminum officinale), night-scented geranium (Sida acuta), night-scented stock (Matthiola incana) and Sweetgum (Liquidambar styraciflua).



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 Tel 07778 297733 jda@ndirect.co.uk

Proposed Holiday Home Development at ;
 Bleu Ray Farm
 Millgate, Wharfedale
 PE12 6RW

Drawing Title : Site Layout - SOFT LANDSCAPING

Scale 1 to 500 at A2 Portrait

Date April 2023

Drawing No JDA/2023/885/LANDSCAPING/A2.001

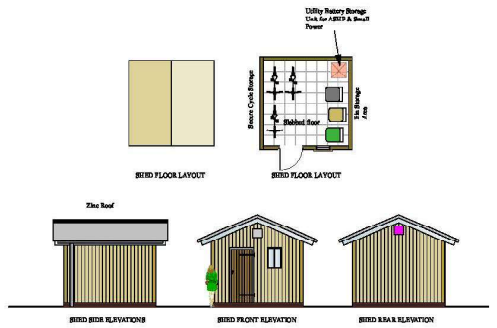


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3B UNIT

2B UNIT

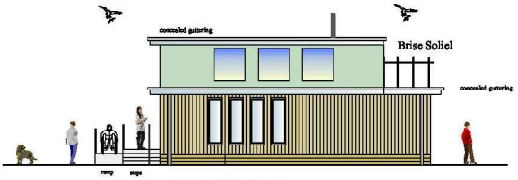
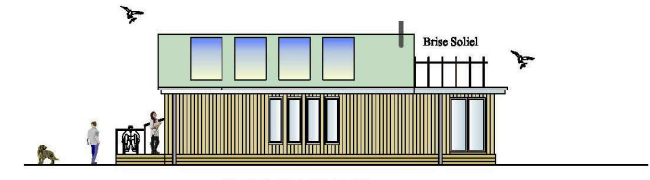
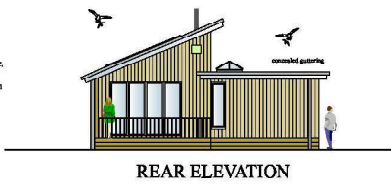
CHARGING OF ELECTRIC VEHICLES
Electrical vehicle charge point to be provided to all units.



SHED DETAILS



MATERIALS
Roofs - Proprietary Sedum Roofs where shown.
Standing Seam Zinc where shown.
Facing Bricks where shown: Traditional Brick and Stone Light Amhill Blend in Lime based mortar.
Windows and doors - Timber hardwood - elevations as shown. Oak stain by Sikken.
Horizontal and vertical cladding where shown - Feather edge Oak boarding - unfinished with 150mm visible gap.
RV Goods
Kurandyke Cami Truss Style Rainwater System by Breu Martin - Max 112mm half round
Landscape
All Laneset by Roofmaker Limited
Woodburner Flue
Hetas approved black Vitreous Enamel where shown
Paving and Slabbing
All in premium high density Anticlastic Grey PVCU
Brise Soleil
All formed in solid seasoned Oak timber sections - joinery quality with Oak dowelled connections
Decking, Steps and Ramps
Anti slip Iralu hardwood where shown
Balustrading to Railed Areas
Black painted galvanneal steel balusters, rails and handrails where shown
Corten 'A' Steel - where shown (Atmospheric Corrosion Resistant Steel)
S355J2W Quality panels. Acid proof Stainless Steel screws for fixing panels. Waterproof seals at abutments.
Main Roadway
Self Binding Stabilised Gravel
Driveways and parking areas
Mantle Driveline Buff Pavers Permeable Paviors
Paths and Patios
Porcelain Slate Grey where shown.



- Schwegler Sparrow Terrace 'BOX SST'
- Instock Eco-habitat for Swifts 'BOX IES'
- Integrated Eco Bat Box

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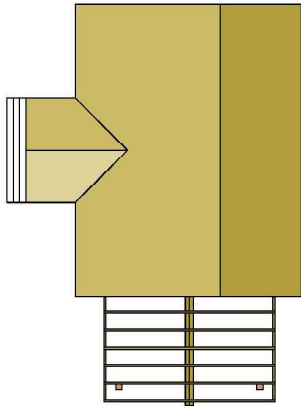
Proposed Holiday Home Development at ;
Bleu Ray Farm
Millgate, Whaplode
PE12 6RY

Drawing Title : Lodge Designs

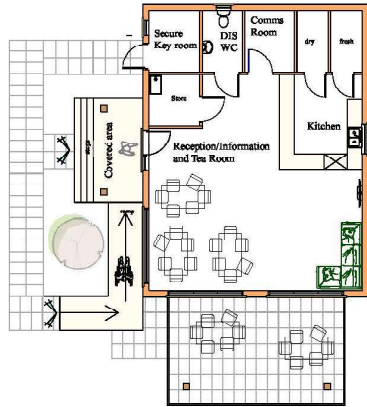
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Date April 2023

Drawing No JDA/2023/885/LODGESA2/001

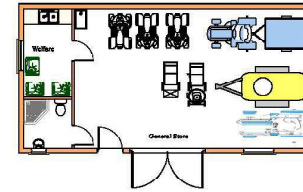


ROOF LAYOUT

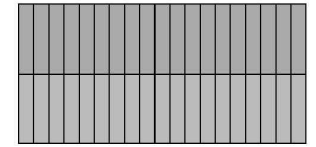


FLOOR LAYOUT

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GENERAL STORAGE/LANDSCAPING MACHINERY BUILDING FLOOR LAYOUT



GENERAL STORAGE/LANDSCAPING MACHINERY BUILDING ROOF LAYOUT



SIDE ELEVATION/ENTRANCE

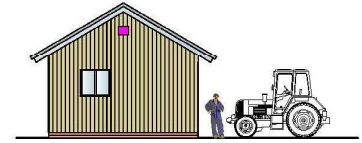


Sedum Roof with Solar Panels

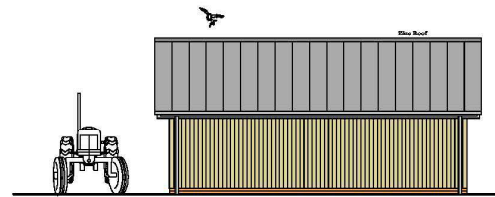


FRONT ELEVATION

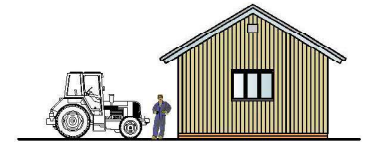
CHARGING OF ELECTRIC VEHICLES
 Electrical vehicle charge point to be provided to all units.



SIDE ELEVATION - WEST



REAR ELEVATION



SIDE ELEVATION - EAST



SIDE ELEVATION - EAST

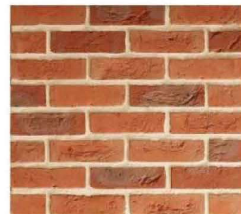


Oak Boarding

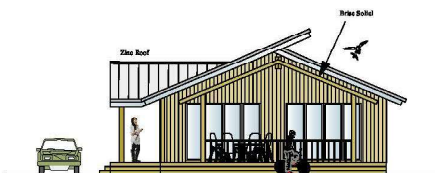
MATERIALS
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 All formed in solid seasoned Oak timber sections - joinery quality with Oak dowelled connections
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 Balustrading to Raised Areas
 Black painted galvanneal steel balusters, rails and handrails where shown
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 Main Roadway
 Self Binding Stabilised Gravel
 Driveways and parking areas
 Marshalls Driveline Buff Priors Permeable Paviers
 Paths and Patios
 Porcelain Slate Grey where shown



REAR ELEVATION



Two Course Facing Bricks below DPC
 Traditional Brick and Stone co
 Light Amthill Blend



FRONT ELEVATION

- Schwegler Sparrow Terrace 'BOX SST'
- Instock Eco-habitat for Swifts 'BOX IES'
- Integrated Eco Bat Box

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Proposed Holiday Home Development at ;
 Bleu Ray Farm
 Millgate, Whaplode
 PE12 6RY

Drawing Title : Maintenance Shed and Reception Building

Scale 1 to 200 at A3 Portrait

Date April 2023

Drawing No JDA/2023/885/BUILDINGS.001



Existing access into the site



Looking North up Millgate



Looking South down Millgate



Home Farm – Application site to rear



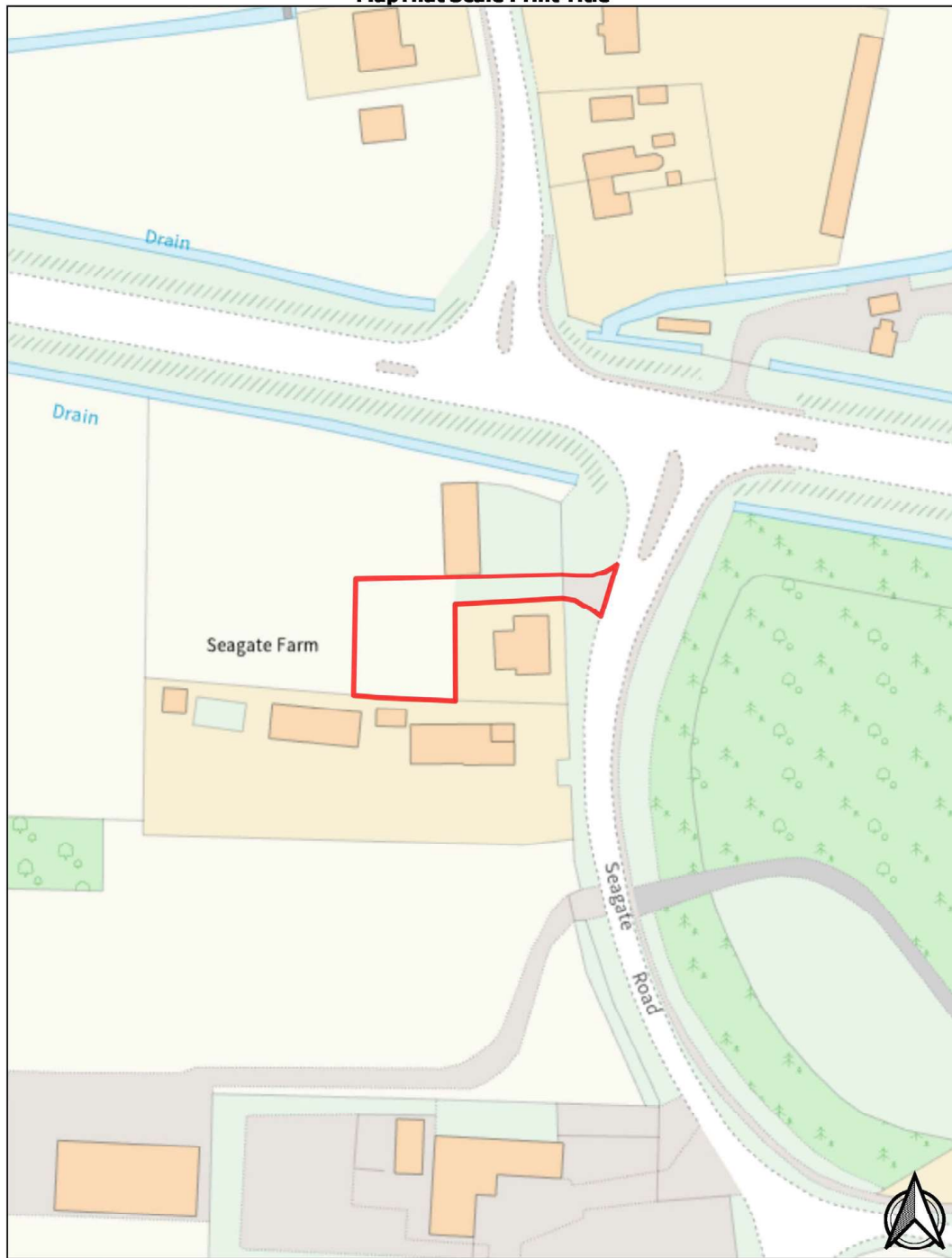
Southern part of the application Site

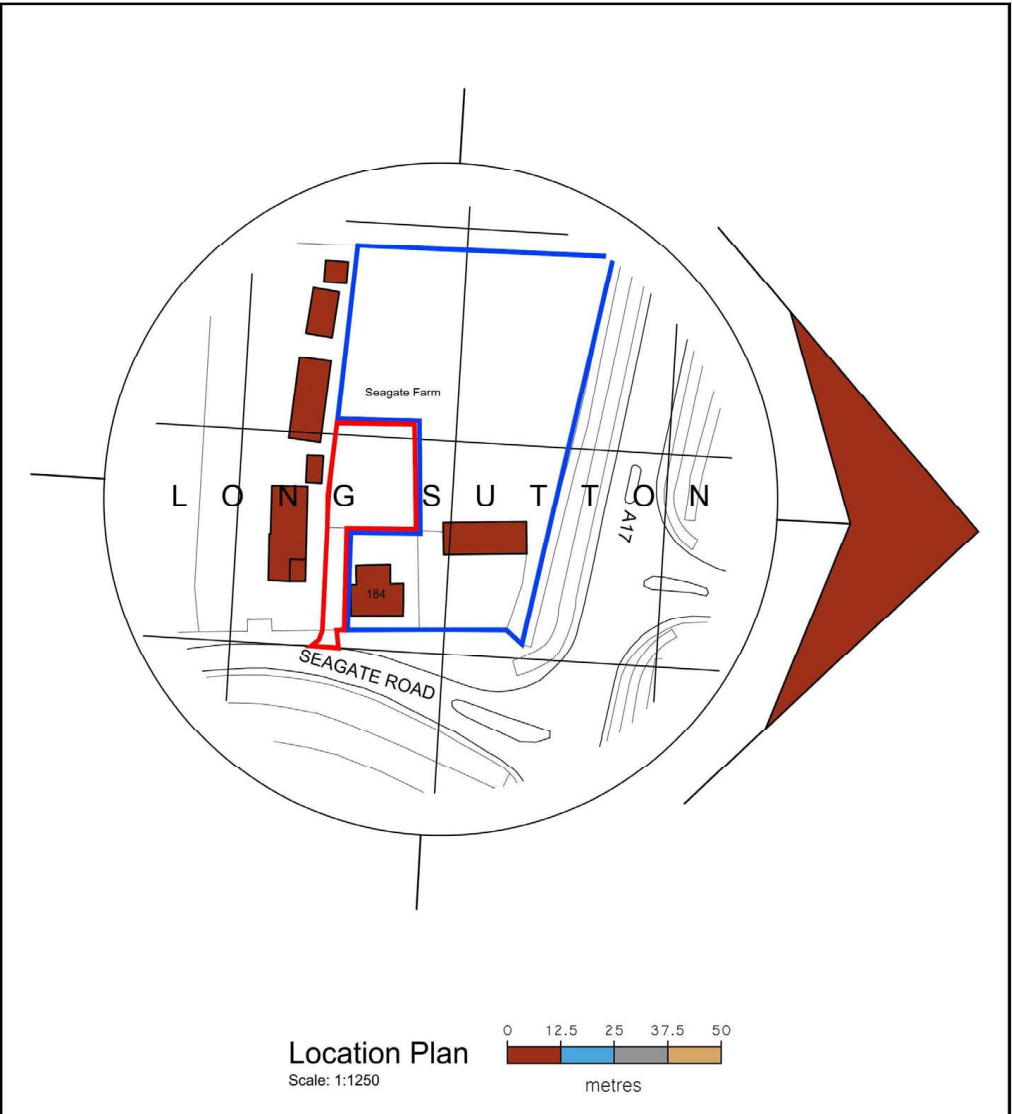
MapThat Scale Print Title



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- General Notes**
1. This drawing shall not be scaled, figured dimensions only to be used.
 2. All dimensions are shown in 'mm' unless otherwise stated.
 3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
 4. This drawing is to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.
 5. Any discrepancies are to be brought to the designers attention.

Status

FOR APPROVAL

Job Title Proposed Change of Use of Land, Rear of 184 Seagate Road, Long Sutton, PE12 9AD For: Mrs A Hoey	Date February 2024	Drawn by BR Checked by SJ
	Drawing Title Planning Drawing Location Plan	Job No. SE-2012 Sheet Size A4

SWANN EDWARDS

ARCHITECTURE

Swann Edwards Architecture Limited, Black Barn, Fen Road,
Guyhim, Wisbech, Cambs. PE13 4AA
t 01945 450694 e info@swannedwards.co.uk w www.swannedwards.co.uk



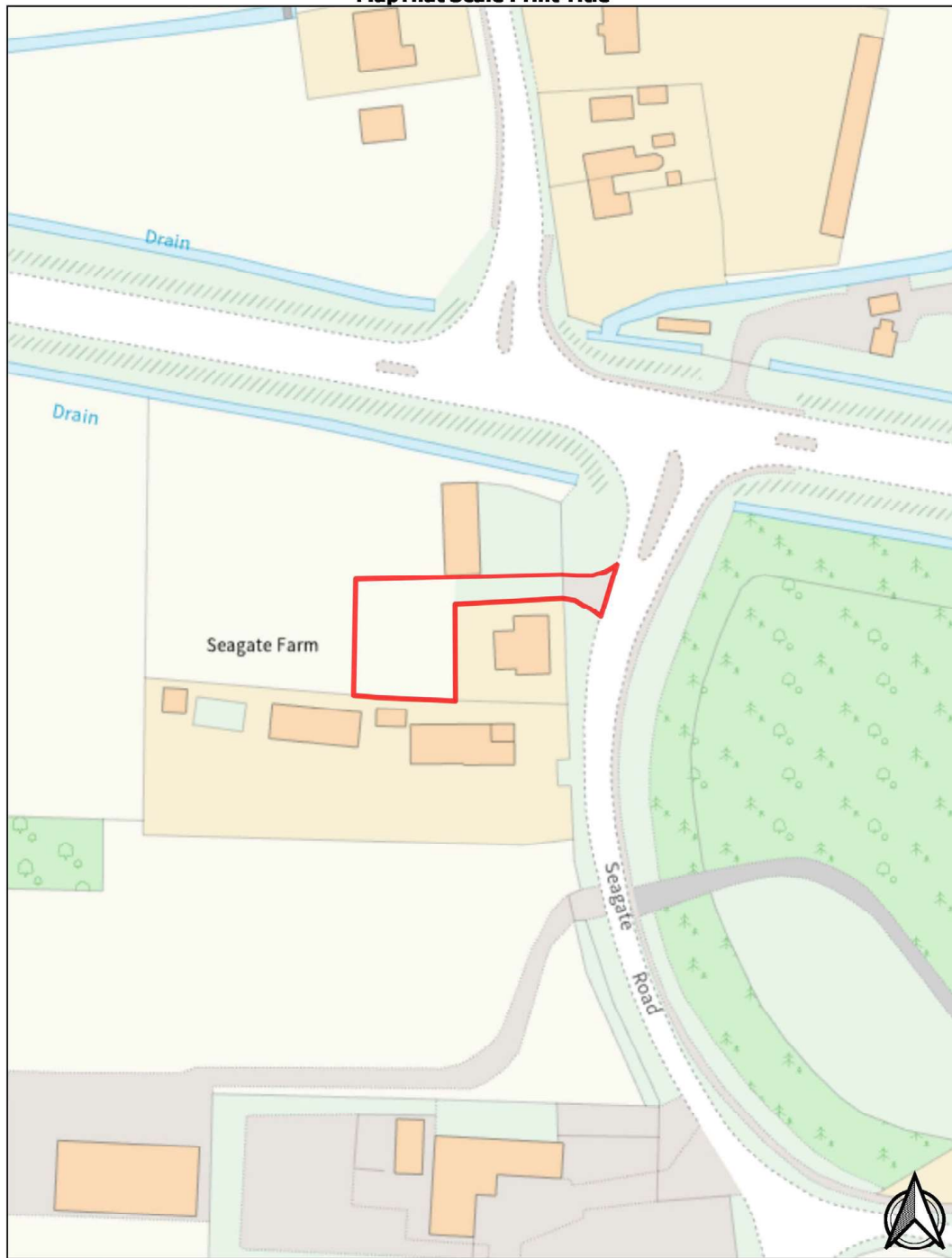
Above: No 184 Seagate & domestic access



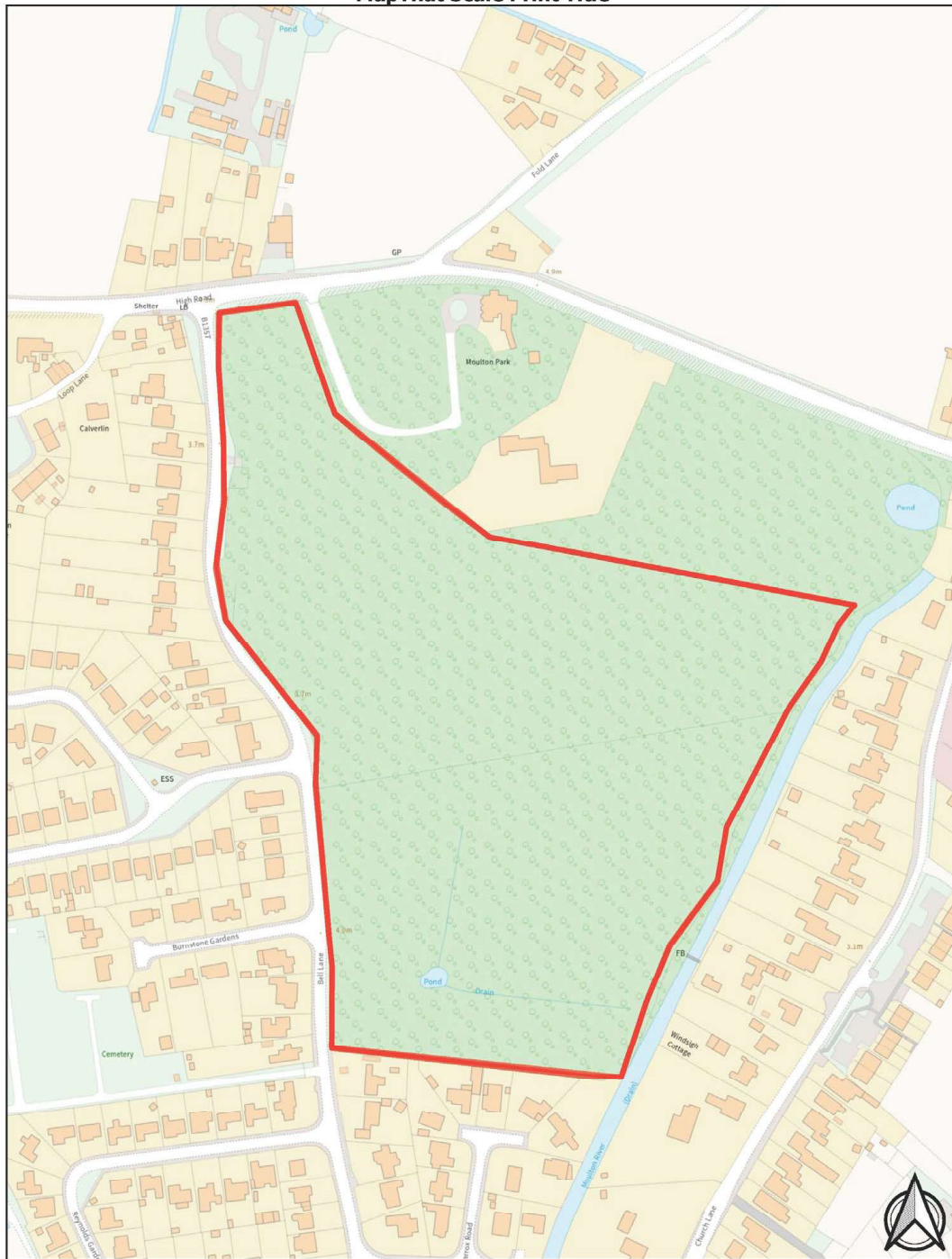
Building located on land to rear of 184



Existing access to rest of the land, currently being utilised, for 'annexe' and outbuilding.



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Notice
Trespassers will
be prosecuted









BURNSTONE GARDENS



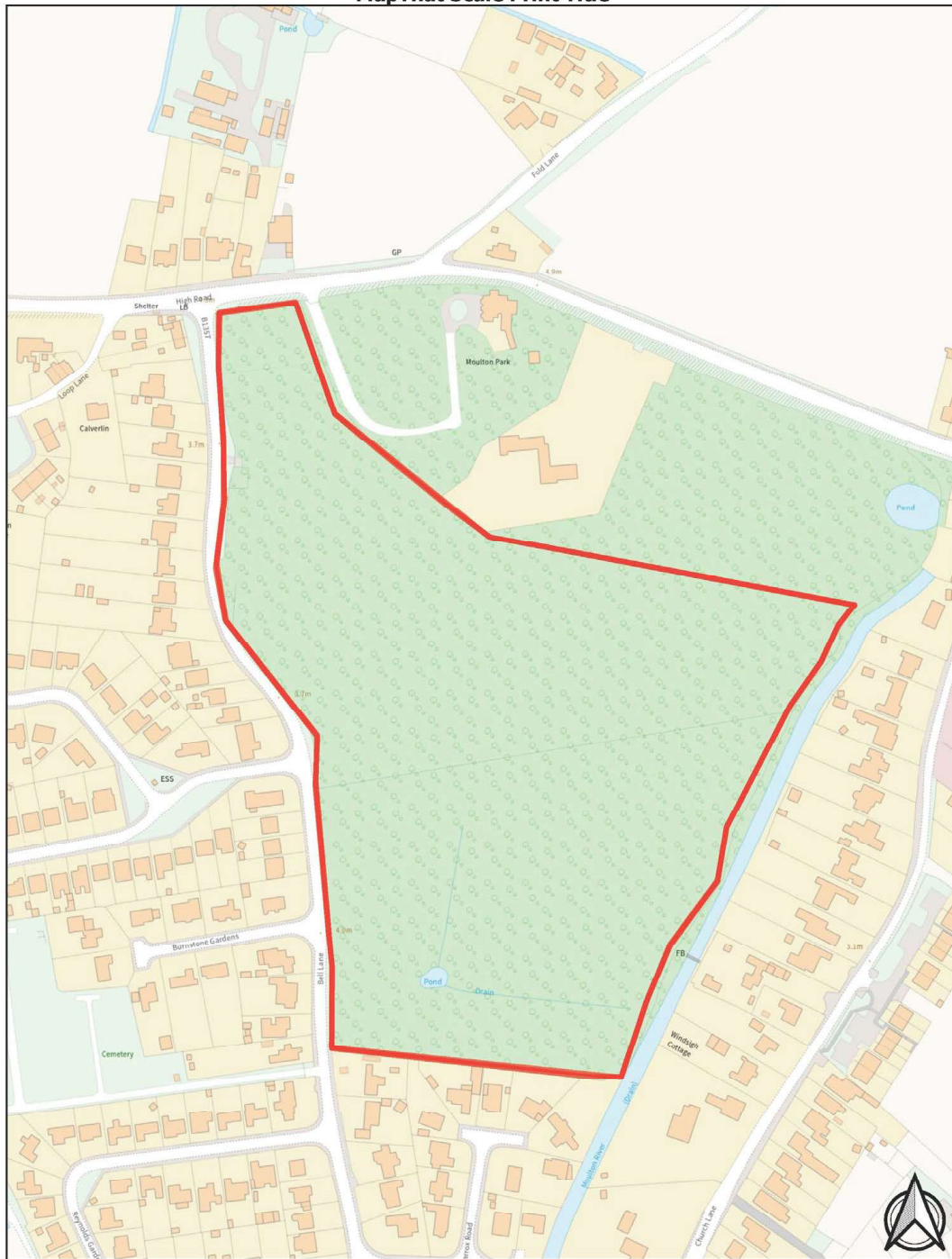








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