

MapThat Scale Print Title

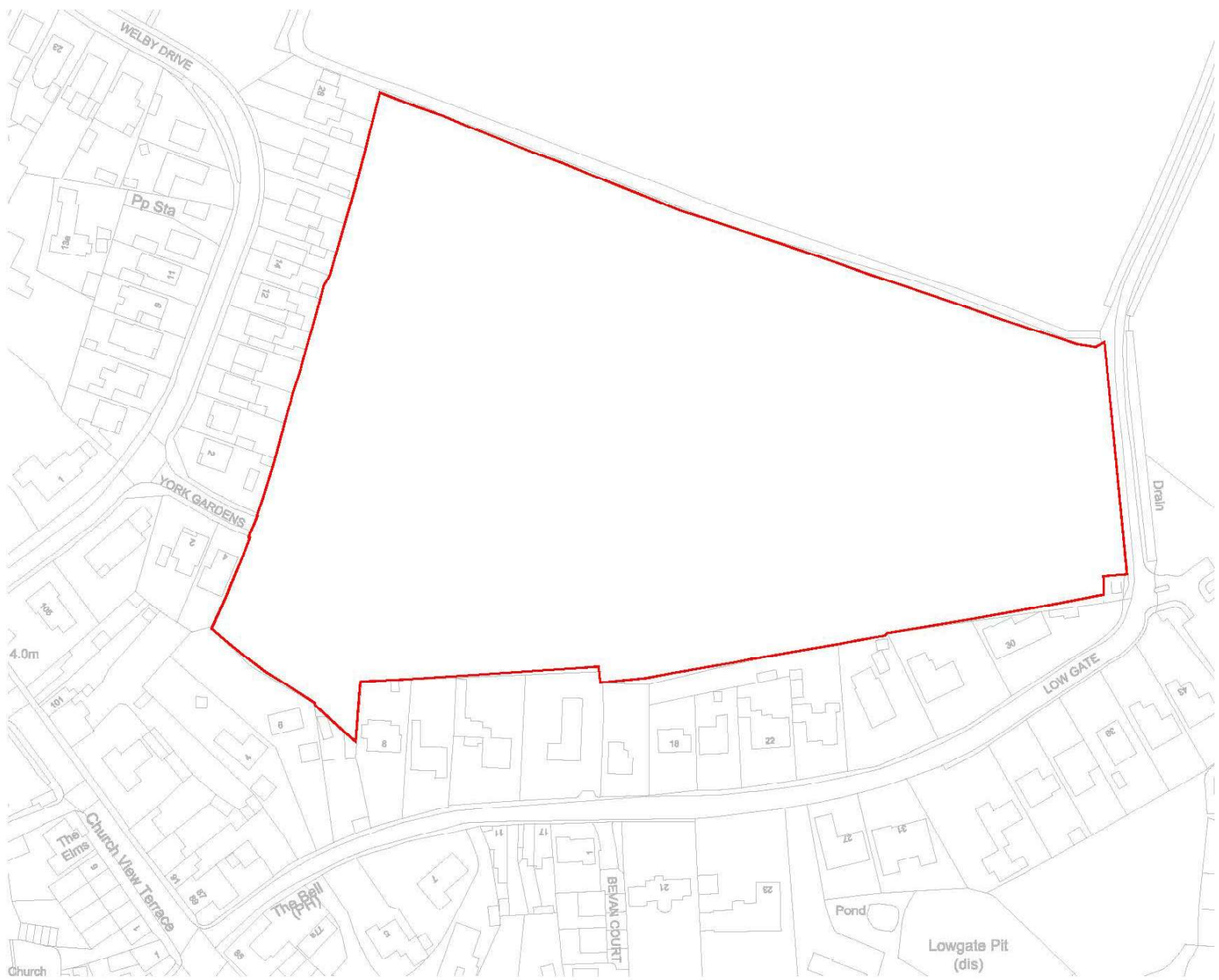


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MAP SCALE 1:2000
CREATED DATE: 26/03/2024
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LIABLE TO DISTORTION
IN SCALE




— RED LINE PLANNING APPLICATION BOUNDARY



York Gardens, **GOSBERTON**

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PLANNING
 subject to structural review
 subject to accurate measured survey

A		24/12/22		RED LINE PLANNING APPLICATION		ED																																									
revision		date		content		drawing																																									
<table border="1"> <tr> <td>project</td> <td colspan="7">PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON</td> </tr> <tr> <td>client</td> <td colspan="7">GLEESON DEVELOPMENTS</td> </tr> <tr> <td>title</td> <td colspan="7">SITE LOCATION PLAN</td> </tr> <tr> <td>date</td> <td>19.11.21</td> <td>scale</td> <td>1:2000</td> <td>drawn</td> <td colspan="3">ED</td> </tr> <tr> <td>drawing number</td> <td colspan="3">3978-1-000 A</td> <td>status</td> <td colspan="3">SN</td> </tr> </table>								project	PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON							client	GLEESON DEVELOPMENTS							title	SITE LOCATION PLAN							date	19.11.21	scale	1:2000	drawn	ED			drawing number	3978-1-000 A			status	SN		
project	PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON																																														
client	GLEESON DEVELOPMENTS																																														
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date	19.11.21	scale	1:2000	drawn	ED																																										
drawing number	3978-1-000 A			status	SN																																										
 <p>Niemien Architects Deck 2 - The Watercourse 42 Leazes & Beverford Road Kingston Leeds LS5 3EG Tel: 0113 239 5400 Fax: 0113 239 5401 office@niemien.co.uk www.niemien.co.uk</p>																																															



OMS													
Greystones	250	2	2	Semi	753	69.96	1	1%	753	69.96			
Miry	254	1	2	Detached	656	60.94	4	6%	3790	304.77			
Gin	350	2	3	Semi	904	83.98	5	5%	4520	419.92			
Sandyford	358	2	3	Semi	984	91.42	1	1%	984	91.42			
Clifden	359	2	3	Detached	984	91.42	3	3%	2952	274.25			
Milford	360	2	3	Detached	919	85.38	16	17%	14704	1366.03			
Strade	354	2	3	Detached	904	83.98	8	9%	7232	671.87			
Neale	355	2	3	Semi	904	83.98	4	4%	3616	335.93			
Jalkey	430	2	4	Detached	1100	101.40	9	10%	10404	966.36			
Grange	451	2	4	Detached	1071	99.50	12	13%	12852	1193.98			
Lanesborough	452	2	4	Detached	1211	112.50	5	5%	6055	562.52			
									Sub-total	69	75%	67352	6257.15

Affordable													
Carrowmore	150	1	1	Dual Apartment	398	37.00	2	2%	796	74.00			
Beltra	151	1	1	Dual Apartment	452	42.00	2	2%	904	84.00			
Greystones	250	2	2	Semi	753	69.96	11	12%	8283	769.51			
Miry	254	1	2	Detached	656	60.94	1	1%	656	60.94			
Gin	350	2	3	Semi	904	83.98	5	5%	4520	419.92			
Sandyford	358	2	3	Semi	984	91.42	1	1%	984	91.42			
Dalkey	450	2	4	Detached	1156	107.40	1	1%	1156	107.40			
									Sub-total	23	74%	17299	1607.18
									Total	92	100%	84651	7864.34


- X 21.03.24 PLOT 61 & 62 HANDED SCHEDULE OF ACCOMMODATION UPDATED TO AMEND GOSBARTON FOR THE CLIENT. JB
- W 20.02.24 ALL HOUSE TYPES REPLACED WITH LESS COMPLIANT TYPES. SCHEDULE OF ACCOMMODATION UPDATED. JB
- U 14.12.23 SKELLS ARENA DOUBLE GARAGE SERVING PLOTS 65&66 MOVED BACK TO CREATE DRIVEWAY PARKING. SM
- V 26.10.23 RELOCATED SUB-STATION TO PRIVATE DRIVE SERVING PLOTS 66-62. SM
- T 25.10.23 UPDATED OPEN PLOT WITH ENGINEERING BASED ON 'SUB-STATION' NOT TO PLOT 61. SM
- S 26.09.23 REVISED FOOTPATH LINKS ON EASTERN BOUNDARY. SM
- R 07.07.23 ADDITION OF DOWN TRENCH. SM
- Q 23.01.23 ENVIRONMENTAL DISTANCES ADDED. FOOTPATH EXTENDED TO BOUNDARY OPPOSITE PLOT 55. SM
- P 07.12.22 AFFORDABLE HOUSING UNITS REVISED. ED
- O 21.10.22 RELOCATED BOUNDARY TO NORTH EAST SERVING PLOTS AND PARKING TO 59-67 REDISTRIKED. ED
- N 30.09.22 PUMP STATION AMENDED IN LINE WITH SPECIALISTS DETAILS. JB
- M 10.09.22 SCHEDULE OF ACCOMMODATION REVISED. SM
- L 02.08.22 PLOT NUMBERS REVISED. AFFORDABLE UNITS ADDED. ED
- K 01.08.22 PATHS ON PLOTS 62, 63 & 70 AND OPPOSITE PLOT 7 REVISED. SM
- J 26.07.22 UPDATED TO CLIENT COMMENTS. SM
- I 25.07.22 UPDATED TO CLIENT COMMENTS. JB
- H 14.07.22 PARKING FOR 4 YORK GARDENS ADDED TO SITE. JB
- G 14.07.22 PLOTS 60&61 REPLACED WITH 60 (PL 1) PLOT 61 REPLACED WITH 60 (PL 1). PLOT 7 REPLACED WITH 337 PLOTS 2ACROSS SWAPPER. JB
- F 08.07.22 LAYOUT AMENDED IN LINE WITH CLIENT COMMENTS RECEIVED ON 08.07.22. SCHEDULE OF ACCOMMODATION AMENDED. JB
- E 30.06.22 LAYOUT AMENDED IN LINE WITH CLIENT COMMENTS RECEIVED ON 20.06.22. PATHS ADDED TO TURNING HEADS. JB
- D 19.11.21 PUMPING MAINS AND WERKEL ROAD ON NORTH SIDE OF SITE RELOCATED TO OPPOSITE SIDE. JB
- C 04.10.21 SECOND PUMP STATION ADDED. ED
- B 22.09.21 PLOTS 61 & 62 TO FOLLOW OFF LINE USING OPENLY EXPOSED TO THE PUMP STATION ADDED. ED
- A 31.08.21 comment. Initial

York Gardens, **GOSBERTON**

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PLANNING
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project PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON	
client GLEESON DEVELOPMENTS	
title SCHEMATIC SITE LAYOUT	
date 01.08.21	scale 1:500@A1
drawing number 3378-1-001 X	checked



Niemen Architects
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York Gardens, GOSBERTON

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Name	Type	Stores	Beds	Format	ft ²	m ²	No.	Mix	Sub-total ft ²	Sub-total m ²			
OMS													
Greystones	250	2	2	Semi	753	69.96	1	1%	753	69.96			
Moy	254	1	2	Detached	656	60.94	5	5%	3280	304.72			
Glin	350	2	2	Semi	904	83.98	5	5%	4520	419.92			
Sandyford	358	2	3	Semi	984	91.42	1	1%	984	91.42			
Clifden	359	2	3	Detached	984	91.42	3	3%	2952	274.25			
Milford	360	2	3	Detached	919	85.38	16	17%	14704	1366.03			
Strade	354	2	3	Detached	904	83.98	8	9%	7232	671.87			
Neale	355	2	3	Semi	904	83.98	4	4%	3616	335.93			
Dalkey	450	2	4	Detached	1156	107.40	9	10%	10404	966.56			
Grange	451	2	4	Detached	1071	99.50	12	13%	12852	1193.68			
Lanesborough	452	2	4	Detached	1211	112.50	5	5%	6055	562.52			
									Sub-total	69	75%	67202	6222.15
Affordable													
Carrowmore	150	1	1	Dual Apartment	398	37.00	2	2%	796	74.00			
Beltra	151	1	1	Dual Apartment	452	42.00	2	2%	904	84.00			
Greystones	250	2	2	Semi	753	69.96	11	12%	8283	769.51			
Moy	254	1	2	Detached	656	60.94	1	1%	656	60.94			
Glin	350	2	2	Semi	904	83.98	5	5%	4520	419.92			
Sandyford	358	2	3	Semi	984	91.42	1	1%	984	91.42			
Dalkey	450	2	4	Detached	1156	107.40	1	1%	1156	107.40			
									Sub-total	23	25%	17209	1607.18
									Total	92	100%	84611	7864.34

LEGEND

- 1.8m(6") TIMBER FENCE
- POST & WIRE FENCE
- 0.9m(3") RAIL FENCE
- DRIVE DETAIL
- PROPOSED TREES
- EXISTING TREES
- EXISTING TREES TO BE REMOVED
- AFFORDABLE DWELLINGS: SHARED OWNERSHIP
- AFFORDABLE DWELLINGS: RENT
- AFFORDABLE DWELLINGS: FIRST HOMES

NOTE: BASIS SUBJECT TO ENGINEER'S DESIGN

W	20/02/24	ALL RILLS TO BE CUT BACK TO 100MM DEPTH. LAYERS TO BE REMOVED UP TO 100MM.	31
V	14/12/23	SMALL AREA DOUBLE GARAGE SETTING PLUGS HOWE BACK TO CREATE EXTRA PARKING SPACE.	31
U	26/10/23	RELOCATED SUB STATION TO PRIVATE DRIVE SERVING PLOTS 88-92.	31
T	26/10/23	UPDATED BASKIN RAIL WITH WESTERN VISA ADDITION OF SUB STATION LINK TO PLOT 91.	31
S	25/02/23	REMOVED FOOTPATH LINKS ON EASTERN BOUNDARY.	31
R	07/02/23	ADDITION OF BASKIN TO P.O.S.	31
Q	23/01/23	BANK STONE TRAVEL DISTANCES ADDED. FOOTPATH EXTENDED TO BOUNDARY OPPOSITE PLOT 55.	31
P	07/12/22	AFFORDABLE HOUSING UNITS REVISED.	31
O	21/10/22	RED. THE BOUNDARY TO NORTH EAST REVERSED PLOTS AND PARKING TO SO-62 REPOSITIONED.	31
N	30/09/22	PUMP STATION AMENDED IN LINE WITH SPECIALISTS DETAILS.	31
M	10/09/22	SCHEDULE OF ACCOMMODATION REVISED.	31
L	02/08/22	PLOT NUMBERS REVISED. AFFORDABLE UNITS ADDED.	31
K	01/08/22	PARKING FOR 38 PLOTS 22, 30A TO 34 AND 37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92.	31
J	25/07/22	UPDATED TO CLIENT COMMENTS.	31
I	25/07/22	UPDATED TO CLIENT COMMENTS.	31
H	14/07/22	PARKING FOR 4 VEHICLES GREENFIELD TO SITE.	31
G	13/07/22	PLOTS 20/91 REPLACED WITH 20/11. PLOTS 2/92 REPLACED WITH 404 HT. PLOT 73 REPLACED WITH 337. PLOTS 2/62 SWAPPED.	31
F	08/07/22	LAYOUT AMENDED IN LINE WITH CLIENT COMMENTS RECEIVED ON 28/06/22. SCHEDULE OF ACCOMMODATION AMENDED.	31
E	30/06/22	LAYOUT AMENDED IN LINE WITH CLIENT COMMENTS RECEIVED ON 28/06/22.	31
D	19/11/21	PARKING ADDED TO TURNING HEADS.	31
C	04/10/21	PARKING STATION AMENDED. ROAD ON NORTH SIDE OF SITE RELOCATED.	31
B	23/03/21	500MM SOUTH.	31
A	31/08/21	PLOTS 1-7 PROVIDED TO ALLOW 3M TONED BOUQUING PROPERTY AS PUMP STATION ADDED.	31
revision	date	description	initials

PLANNING
subject to structural review
subject to accurate measured survey

project	PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON
client	GLEESON DEVELOPMENTS
title	PROPOSED SITE LAYOUT INDICATIVE COLOUR
date	01.08.21
scale	1:500 @ A1
drawn	ED
checked	
revision	33/B-1-001 W

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Notes

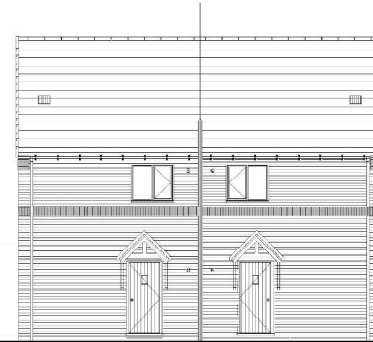
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FRONT ELEVATION



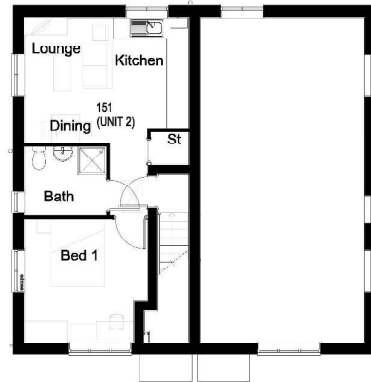
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR AREA
 150/UNIT 1 - 37.0m², 398ft²
 151/UNIT 2 - 37.6m², 404ft²



C06	FF windows moved down 1 brick course	05.09.23
C05	Detailing added below front windows, canopy style corrected, WN4 changed to double operer.	06.04.23
C04	HT151 Front door resized & relocated.	23.01.23
C03	GF Lounge window changed	13.06.22
C02	Internal area figure corrected	23.05.22
C01	Issued for construction	27.05.21
P02	Bedroom enlarged. FF Layout amended.	21.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

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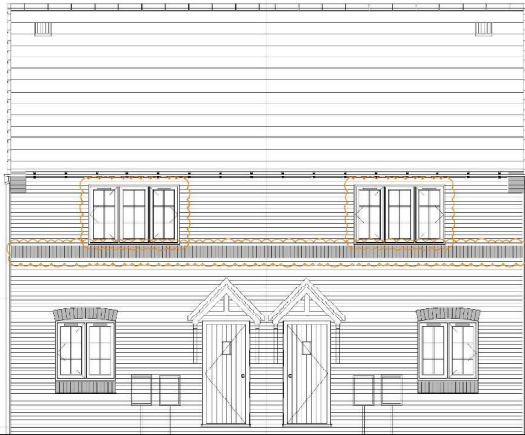
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Project:
150&151 House Type
Rural

Title:
Planning Drawing

Scale:	1:100 @ A2	Date:	22.04.21	Drawn:	OS	Checked:	GE
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Drawing No:	21-150&1-R-0001	Revision:	C06
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For details of
blockwork
strengths,
movement joints
and lintels refer
to structural
engineers
specification



FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

- FEATURES**
- * Rolled profile roof tiles.
 - * Dry verge detail.
 - * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
 - * Arched brick head detail to exposed elevations.
 - * Flat brick head detail to secondary locations
 - * Cottage style windows to exposed elevations.
 - * Soldier brick cills.
 - * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
 - * Soldier band course to commence at 3225mm above DPC.
 - * Vertical panel garage door.
 - * Dark brick below DPC.

- CONCRETE BRICKS**
- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
 - Refer to GF working plan for details of any additional movement joints required.
 - Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

C07, FF windows moved down 1 course of brick	05.09.23
Rev.	Date



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South Yorkshire | S9 1XE

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Project:
150&151 House Type
Rural

Title:
Elevations

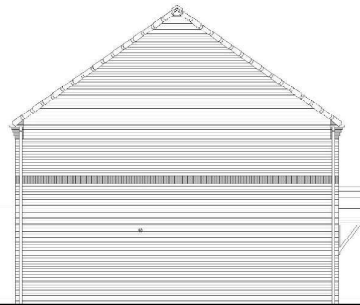
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Drawing No: 21-150&1-R-0301			Revision: C07

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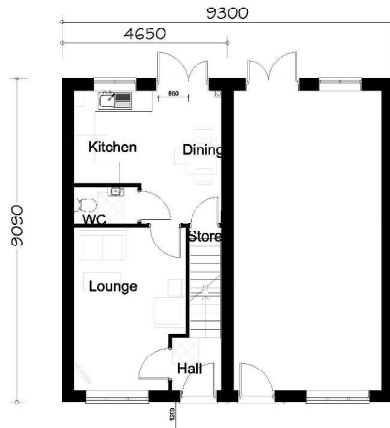
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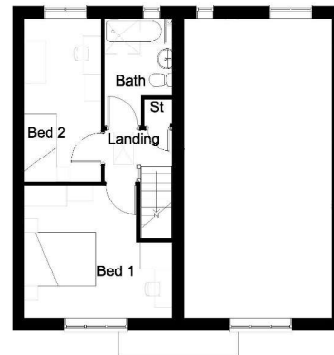
SIDE ELEVATION



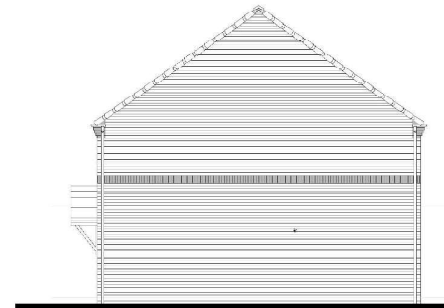
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION

FLOOR AREA
70.04m², 753ft²



CD3	FF windows on front elevation moved down 1 brick course	05.09.23
CD2	Lounge window changed	13.06.22
CD1	Issued for construction	27.05.21
P01	Initial issue	20.04.21
Rev.	Comments	Date

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Project:
**250 House Type
Rural**

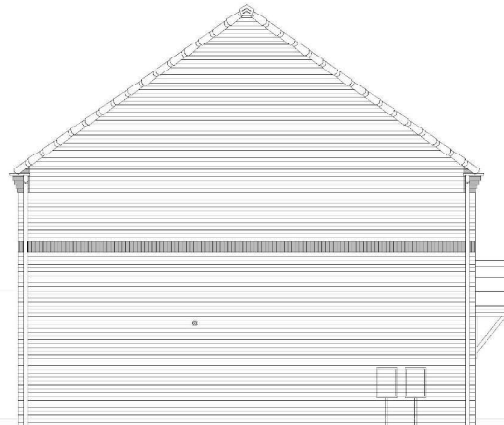
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Planning Drawing

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Drawing No: 21-250-R-0001	Revision: C03
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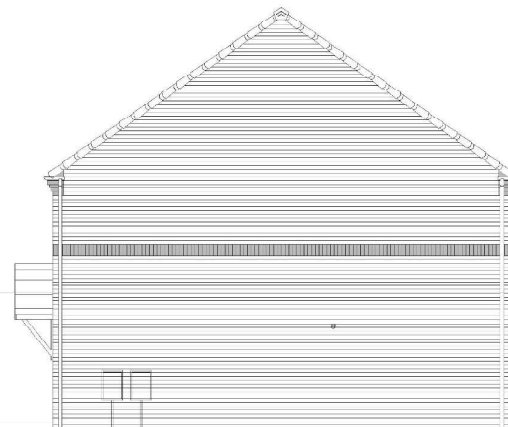
For details of blockwork strengths, movement joints and lintels refer to structural engineers specification



- FEATURES**
- * Rolled profile roof tiles.
 - * Dry verge detail.
 - * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
 - * Arched brick head detail to exposed elevations.
 - * Flat brick head detail to secondary locations
 - * Cottage style windows to exposed elevations.
 - * Soldier brick cills.
 - * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
 - * Soldier band course to commence at 3225mm above DPC.
 - * Vertical panel garage door.
 - * Dark brick below DPC.

FRONT ELEVATION

SIDE ELEVATION



- CONCRETE BRICKS**
- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
 - Refer to GF working plan for details of any additional movement joints required.
 - Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

REAR ELEVATION

SIDE ELEVATION

C07. FF front ele windows moved down 1 course of brick	05.09.23
Rev. Comments	Date

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Project:
250 House Type
Rural

Title:
Elevations

Scale: 1:100 @ A3	Date: 22.04.21	Drawn: OS	Checked: GE
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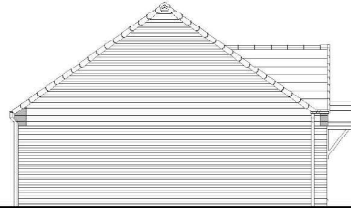
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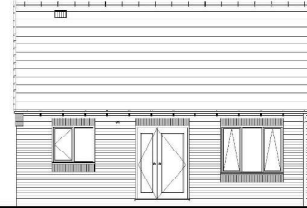
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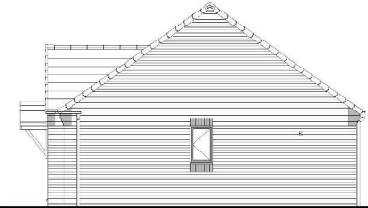
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN

FLOOR AREA
61.0m², 656ft²



Rev.	Comments	Date
C02	Lounge window changed	13.06.22
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21

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South Yorkshire | S9 1XE

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Project:
**254 House Type
Rural**

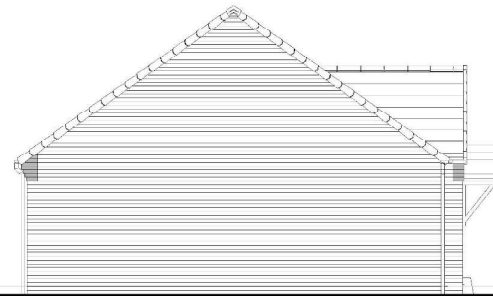
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Planning Drawing

Scale:	Date:	Drawn:	Checked:
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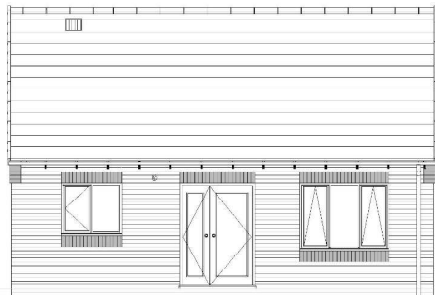
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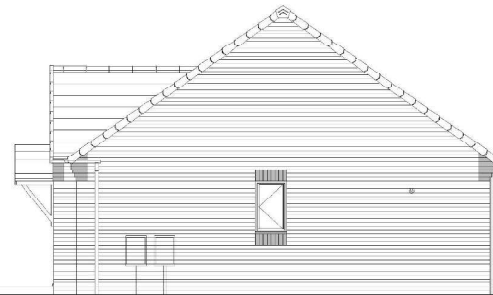
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

FEATURES

- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations
- * Flat brick head detail to secondary locations
- * Cottage style windows.
- * Soldier brick cills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets"
- * Dark brick below DPC

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.L. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

Rev.	Comments	Date
08.11.22	CUB. 'Features' note corrected	

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Project:
254 House Type
Rural

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

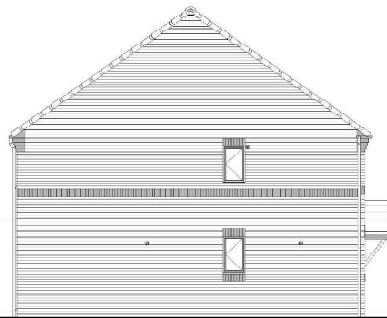
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21-254-R-0301	C05

Notes

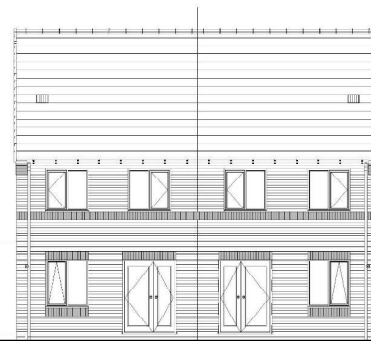
Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



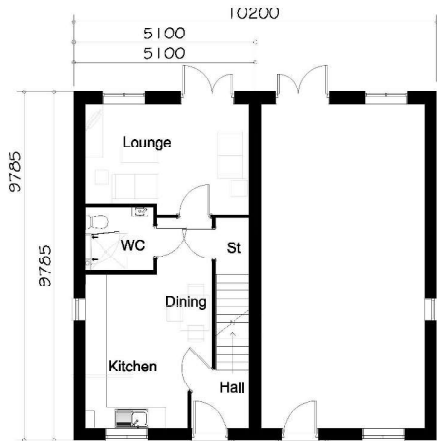
FRONT ELEVATION



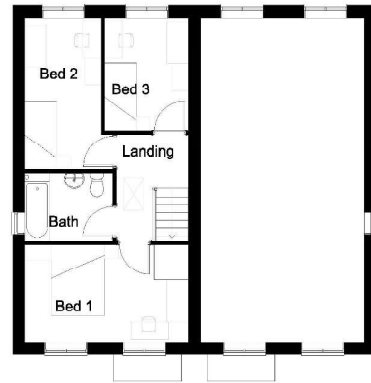
SIDE ELEVATION



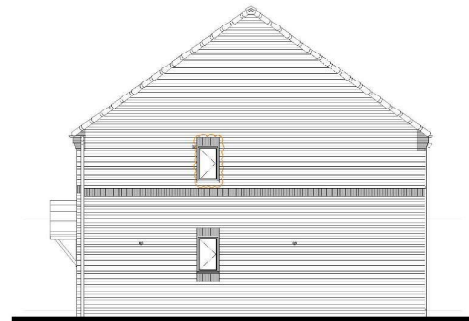
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION

FLOOR AREA
84.04m², 904ft²



Rev.	Comments	Date
L05	FF windows moved down 1 brick course	06.09.23
C04	Front and rear elevation ridge line corrected, WN1 changed to flying mullion	21.06.23
C03	Lounge window changed	13.06.22
C02	GF layout updated	31.05.22
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21

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Project:
**350 House Type
Rural**

Title:
Planning Drawing

Scale:	Date:	Drawn:	Checked:
1:100 @ A2	22.04.21	OS	GE

Drawing No:	Revision:
21-350-R-0001	C05



FRONT ELEVATION



SIDE ELEVATION

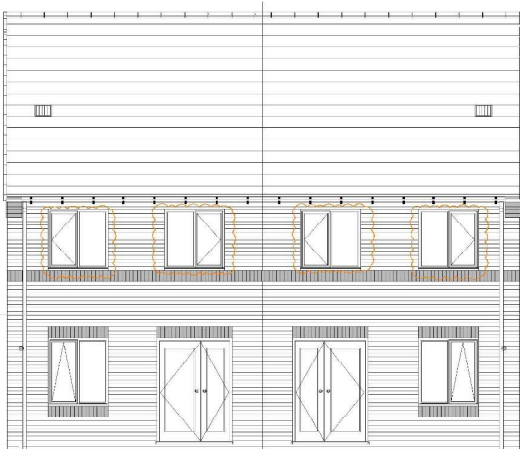
For details of blockwork strengths, movement joints and lintels refer to structural engineers specification

FEATURES

- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations.
- * Flat brick head detail to secondary locations
- * Cottage style windows to exposed elevations.
- * Soldier brick cills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
- * Soldier band course to commence at 3225mm above DPC.
- * Vertical panel garage door.
- * Dark brick below DPC.

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)



REAR ELEVATION



SIDE ELEVATION

Rev.	Comments	Date
07	FF windows moved down 1 brick course	07.09.23

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Project:
350 House Type
Rural

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

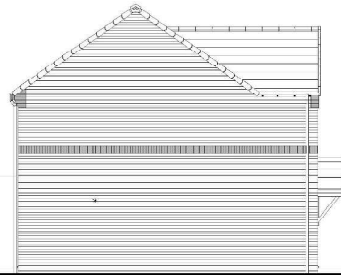
Drawing No:	Revision:
21-350-R-0301	C07

Notes

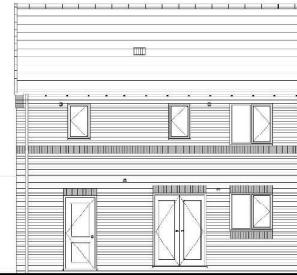
Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



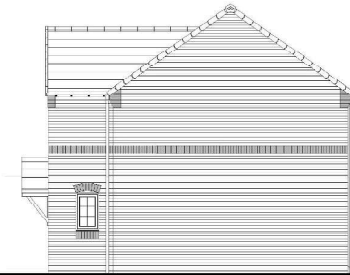
FRONT ELEVATION



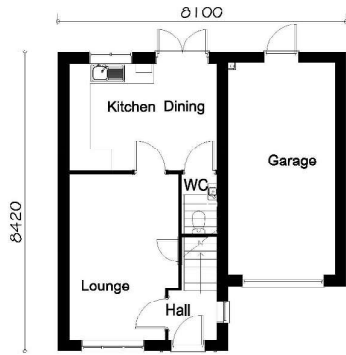
SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR AREA
84.0m², 904ft²



C04	FF windows moved down 1 brick course	06.09.23
C03	Side elevation window style corrected, WN4 changed to flying mullion.	18.05.23
C02	Personnel door position corrected	17.01.23
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

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Project:
354 House Type
Rural

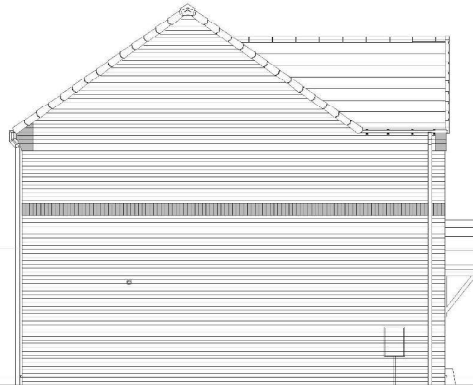
Title:
Planning Drawing

Scale:	1:100 @ A2	Date:	22.04.21	Drawn:	OS	Checked:	GE
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Drawing No:	21-354-R-0001	Revision:	C04
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FRONT ELEVATION

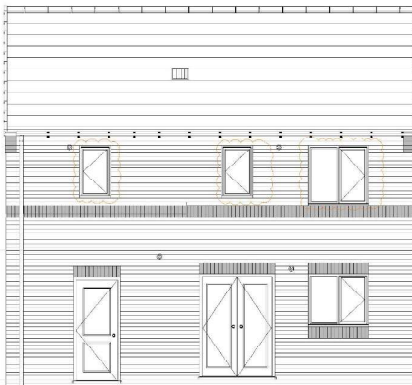


SIDE ELEVATION

For details of
blockwork
strengths,
movement joints
and lintels refer
to structural
engineers
specification

- FEATURES**
- * Rolled profile roof tiles.
 - * Dry verge detail.
 - * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
 - * Arched brick head detail to exposed elevations.
 - * Flat brick head detail to secondary locations
 - * Cottage style windows to exposed elevations.
 - * Soldier brick cills.
 - * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
 - * Soldier band course to commence at 3225mm above DPC.
 - * Vertical panel garage door.
 - * Dark brick below DPC.

- CONCRETE BRICKS**
- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
 - Refer to GF working plan for details of any additional movement joints required.
 - Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)



REAR ELEVATION



SIDE ELEVATION

Rev.	Comments	Date
	C07. FF windows moved down 1 brick course	07.09.23

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Project:
354 House Type
Rural

Title:
Elevations

Scale: 1:100 @ A3	Date: 22.04.21	Drawn: OS	Checked: GE
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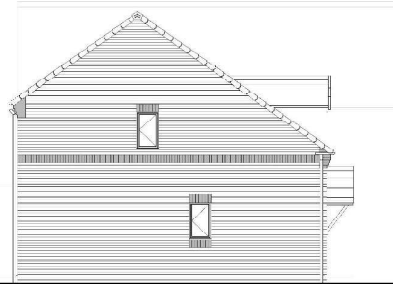
Drawing No: 21-354-R-0301	Revision: C07
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Notes

Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



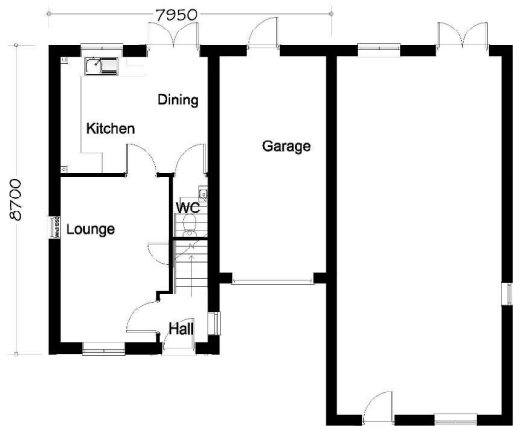
FRONT ELEVATION



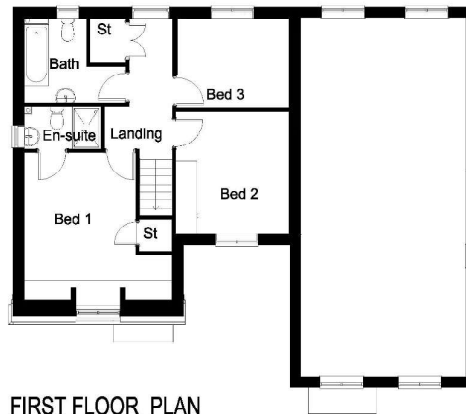
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR AREA
84.00m², 904ft²



C05	FF windows moved down 1 brick course	04.10.23
C04	Window alterations for ADO compliance	25.05.23
C03	Personnel door position corrected	17.01.23
C02	o/a plot width aim corrected	27.05.22
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

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Project:
**355 House Type
Rural**

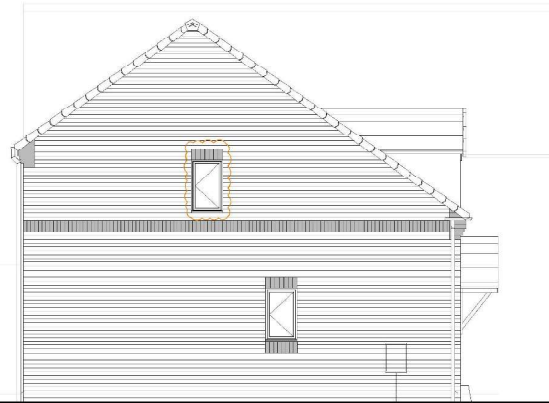
Title:
Planning Drawing

Scale:	Date:	Drawn:	Checked:
1:100 @ A2	22.04.21	OS	GE

Drawing No:	Revision:
21-355-R-0001	C05



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

For details of blockwork strengths, movement joints and lintels refer to structural engineers specification

FEATURES

- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations
- * Flat brick head detail to secondary locations
- * Cottage style windows.
- * Soldier brick cills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets"
- * Soldier band course at 3525mm above dpc
- * Vertical panel garage door
- * Dark brick below DPC

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

C07. FF windows moved down 1 brick course

04.10.23

Rev.	Comments	Date

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Project:
355 House Type
Rural

Title:
Elevations

Scale: 1:100 @ A3	Date: 22.04.21	Drawn: OS	Checked: GE
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Drawing No: 21-355-R-0301	Revision: C07
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Notes

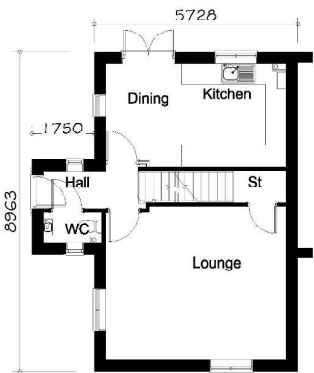
Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



SIDE ELEVATION

FRONT ELEVATION

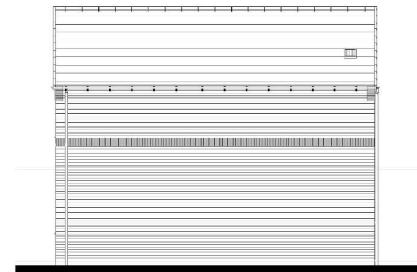
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



Elevation when detached

SIDE ELEVATION

FLOOR AREA
91.44m², 984ft²



C03	FF windows moved down 1 brick course	06.09.23
C02	Bathroom extract on side elevation moved, window changes for ADO compliance.	25.05.23
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

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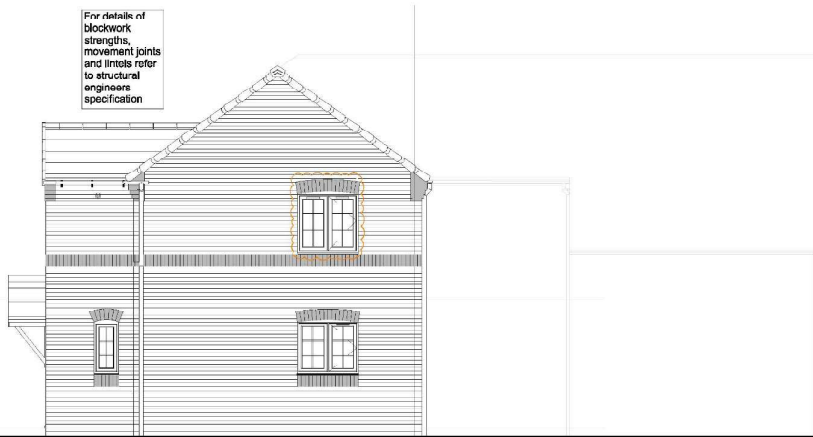
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Project:
358/9 House Type
Rural
Title:
Planning Drawing

Scale:	1:100 @ A2	Date:	22.04.21	Drawn:	OS	Checked:	GE
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Drawing No:	21-358/9-R-0001	Revision:	C03
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For details of
blockwork
strengths,
movement joints
and lintels refer
to structural
engineers
specification



SIDE ELEVATION



FRONT ELEVATION

FEATURES

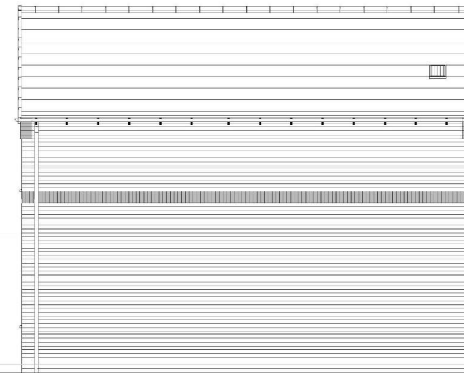
- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations.
- * Flat brick head detail to secondary locations
- * Cottage style windows to exposed elevations.
- * Soldier brick cills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
- * Soldier band course to commence at 3225mm above DPC.
- * Vertical panel garage door.
- * Dark brick below DPC.

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.E. are available from Group Technical If more detail is required (Document Ref: STRUCT-010)



REAR ELEVATION



Elevation when detached

SIDE ELEVATION

Rev.	Comments	Date
06.09.23	U06. FF windows moved down 1 brick course	

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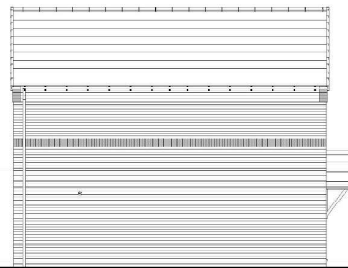
Project: 358/9 House Type			
Rural			
Title: Elevations			
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Drawing No: 21-358/9-R-0301			Revision: C06

Notes

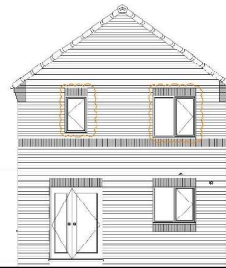
Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



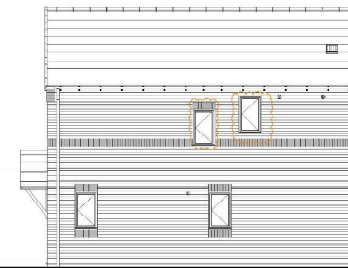
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR AREA
85.4m², 919ft²



C04	FF windows moved down 1 brick course	06.09.23
C03	Half landing replaced with a kitewinder, WC window moved.	07.11.22
C02	Lounge window changed	13.06.22
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

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Project:
**360 House Type
Rural**

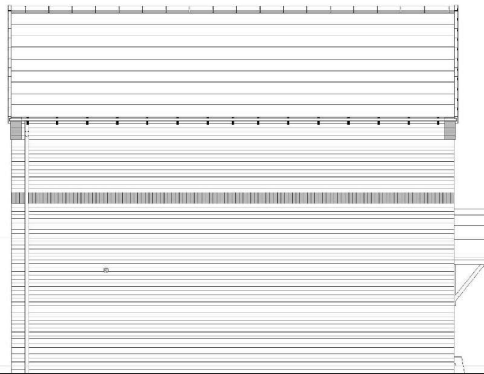
Title:
Planning Drawing

Scale: 1:100 @ A2	Date: 22.04.21	Drawn: OS	Checked: GE
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Drawing No: 21-360-R-0001	Revision: C04
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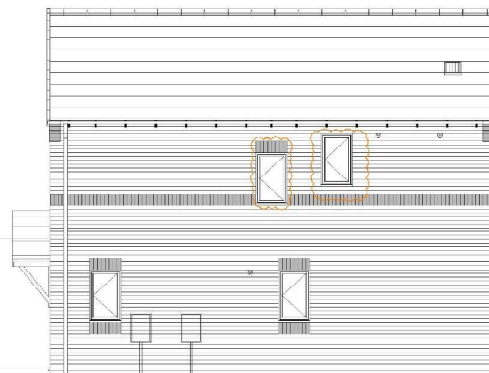
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

FEATURES

- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations.
- * Flat brick head detail to secondary locations
- * Cottage style windows to exposed elevations.
- * Soldier brick cills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
- * Soldier band course to commence at 3225mm above DPC.
- * Vertical panel garage door.
- * Dark brick below DPC.

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

Rev.	Comments	Date
006	FF windows moved down 1 brick course	08.09.23

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Project:
360 House Type
Rural

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

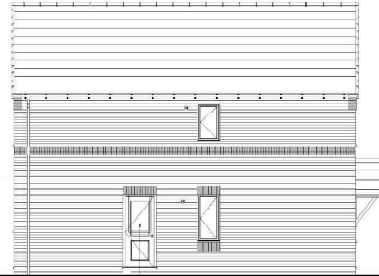
Drawing No:	Revision:
21-360-R-0301	C06

Notes

Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



FRONT ELEVATION

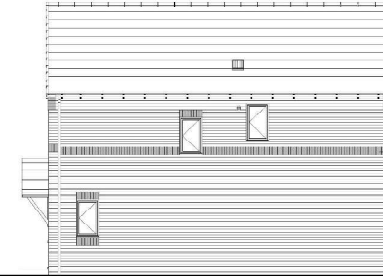


SIDE ELEVATION

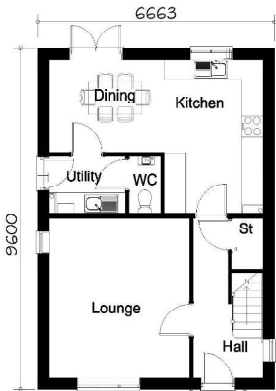
Window on exposed corner plots



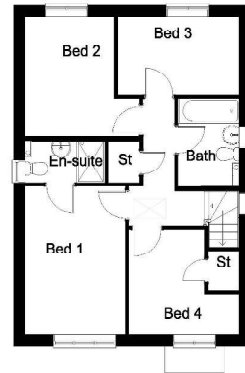
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR AREA
107.40m², 1156ft²



C03	FF windows moved down 1 brick course	06.09.23
C02	Half landing replaced with a kitewinder stair, stair window moved, bathroom wall extended.	07.11.22
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

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Project:
**450 House Type
Rural**

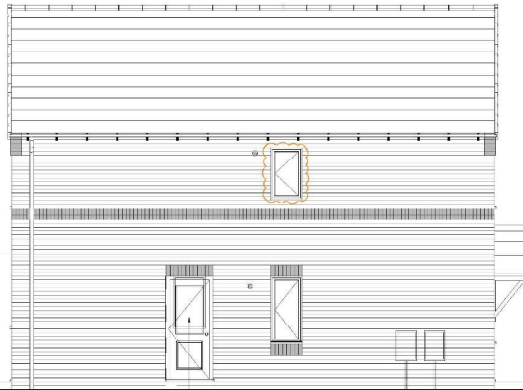
Title:
Planning Drawing

Scale: 1:100 @ A2	Date: 22.04.21	Drawn: OS	Checked: GE
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Drawing No: 21-450-R-0001	Revision: C03
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FRONT ELEVATION

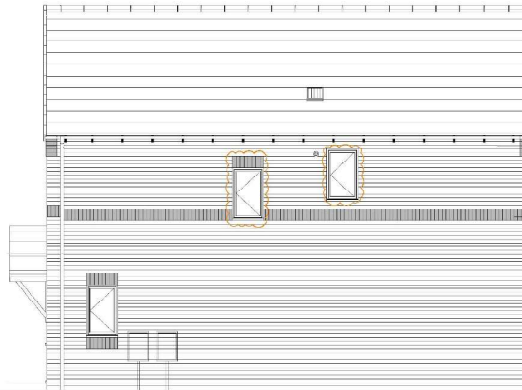


SIDE ELEVATION

Window on exposed corner plots



REAR ELEVATION



SIDE ELEVATION

FEATURES

- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations.
- * Flat brick head detail to secondary locations
- * Cottage style windows to exposed elevations.
- * Soldier brick cills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
- * Soldier band course to commence at 3225mm above DPC.
- * Vertical panel garage door.
- * Dark brick below DPC.

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

Rev.	Comments	Date
C04	FF windows moved down 1 brick course	08.09.23

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Project:
450 House Type
Rural

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

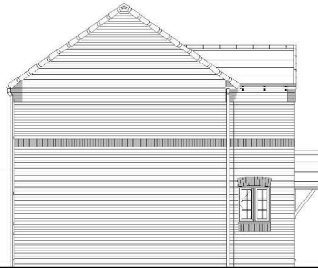
Drawing No:	Revision:
21-450-R-0301	C04

Notes

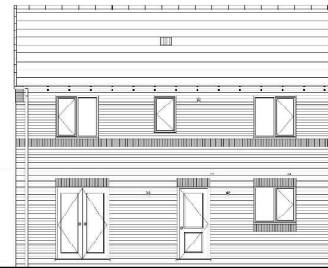
Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



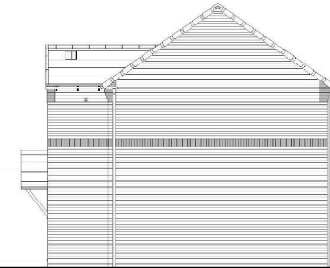
FRONT ELEVATION



SIDE ELEVATION



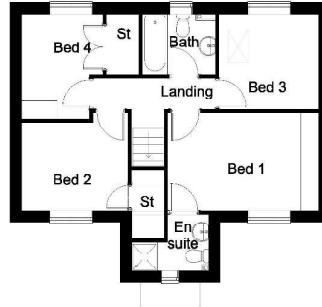
REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR AREA
99.58m², 1071ft²



C02	FF windows moved down 1 brick course	06.09.23
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21
Rev.	Comments	Date

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Project:

451 House Type
Rural

Title:
Planning Drawing

Scale:	Date:	Drawn:	Checked:
1:100 @ A2	22.04.21	OS	GE

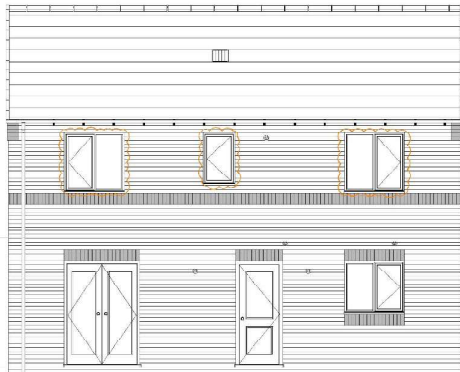
Drawing No:	Revision:
21-451-R-0001	C02



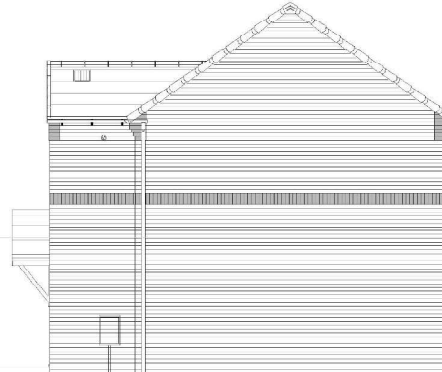
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

FEATURES

- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations.
- * Flat brick head detail to secondary locations
- * Cottage style windows to exposed elevations.
- * Soldier brick cills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets".
- * Soldier band course to commence at 3225mm above DPC.
- * Vertical panel garage door.
- * Dark brick below DPC.

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

Rev.	Comments	Date
C03	F+ windows moved down 1 brick course	08.09.23

gleeson

Gleeson Homes (Head Office)
Unit 5, Europa Court | Sheffield Business Park | Sheffield |
South Yorkshire | S9 1XE

01142 612900

www.gleesonhomes.co.uk

Project:
451 House Type
Rural

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

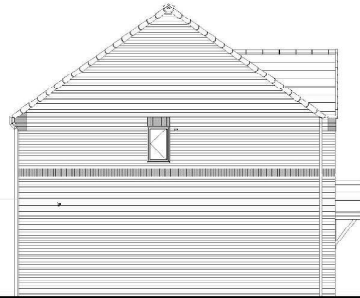
Drawing No:	Revision:
21-451-R-0301	C03

Notes

Do not scale from this drawing. If in need of further detail, refer back to the Technical Department.



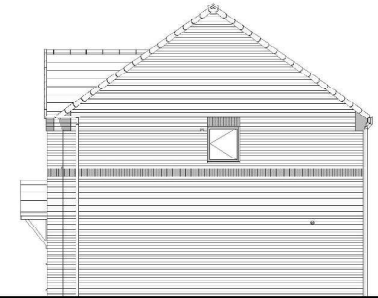
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

FLOOR AREA
112.55m², 1211ft²



Rev.	Comments	Date
C04	FF windows moved down 1 brick course	06.09.23
C03	WN5 changed to flying mullion	22.06.23
C02	Personnel door position corrected	17.01.23
C01	Issued for construction	27.05.21
P01	Initial issue	22.04.21

gleeson

Gleeson Homes (Head Office)
Unit 5, Europa Court | Sheffield Business Park | Sheffield |
South Yorkshire | S9 1XE

01142 612900

www.gleesonhomes.co.uk

Project:
**452 House Type
Rural**

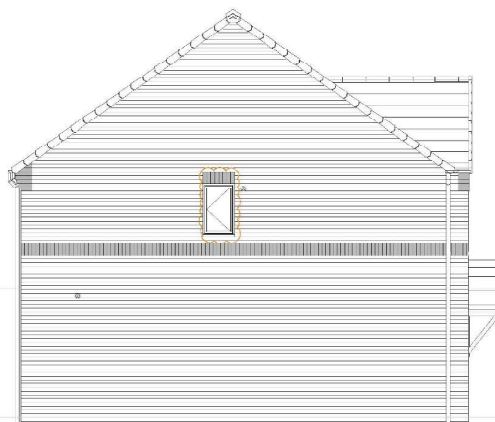
Title:
Planning Drawing

Scale:	Date:	Drawn:	Checked:
1:100 @ A2	22.04.21	OS	GE

Drawing No:	Revision:
21-452-R-0001	C04



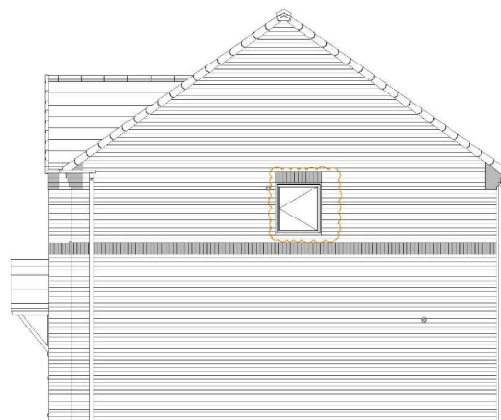
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

For details of
blockwork
strengths,
movement joints
and lintels refer
to structural
engineers
specification

FEATURES

- * Rolled profile roof tiles.
- * Dry verge detail.
- * Exposed rafter feet at eaves, with brick corbel to gable in same brick as main elevation.
- * Arched brick head detail to exposed elevations
- * Flat brick head detail to secondary locations
- * Cottage style windows.
- * Soldier brick chills.
- * Cottage style main entrance door, with dual pitch canopy over on "gallows brackets"
- * Soldier band course at 3525mm above dpc
- * Vertical panel garage door
- * Dark brick below DPC

CONCRETE BRICKS

- Where concrete bricks are used in lieu of standard clay bricks, bed joint reinforcement must be installed in the outer leaf, two courses above and below any opening, extending 600mm beyond either side of the opening.
- Refer to GF working plan for details of any additional movement joints required.
- Working examples from the S.E. are available from Group Technical if more detail is required (Document Ref: STRUCT-010)

Rev.	Comments	Date
G05.	FF windows moved down 1 brick course	08.09.23

gleeson

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South Yorkshire | S9 1XE

01142 612900

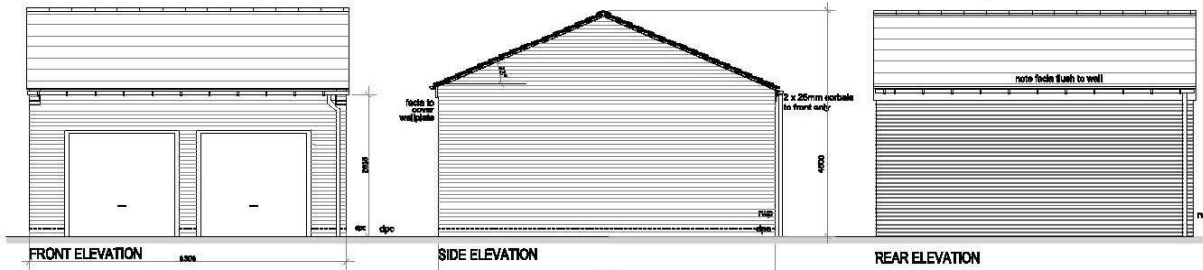
www.gleesonhomes.co.uk

Project:
452 House Type
Rural

Title:
Elevations

Scale:	Date:	Drawn:	Checked:
1:100 @ A3	22.04.21	OS	GE

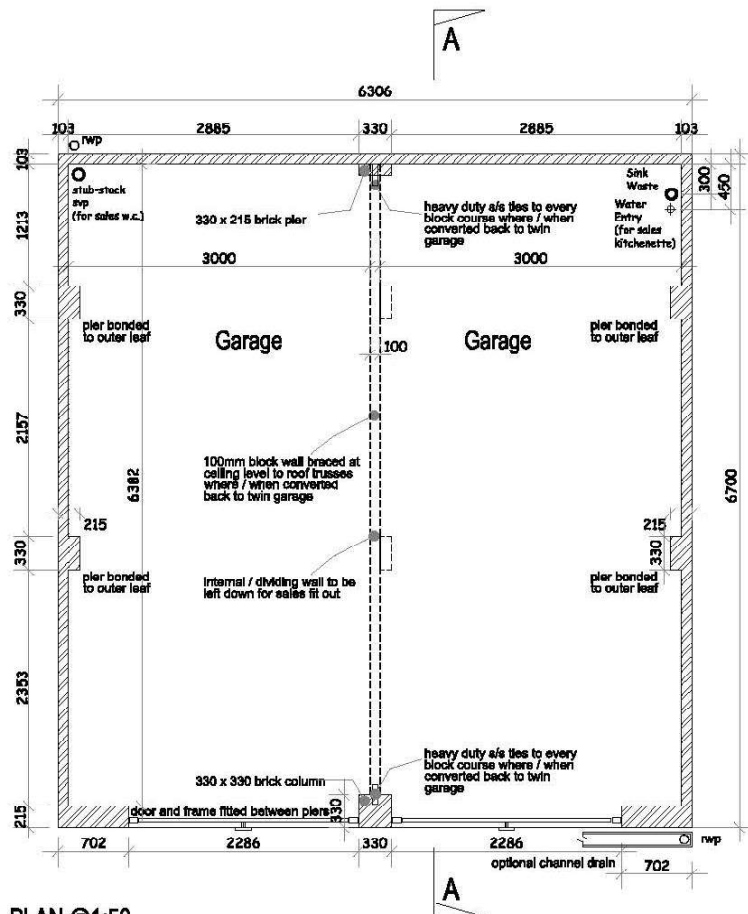
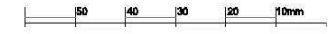
Drawing No:	Revision:
21-452-R-0301	C05



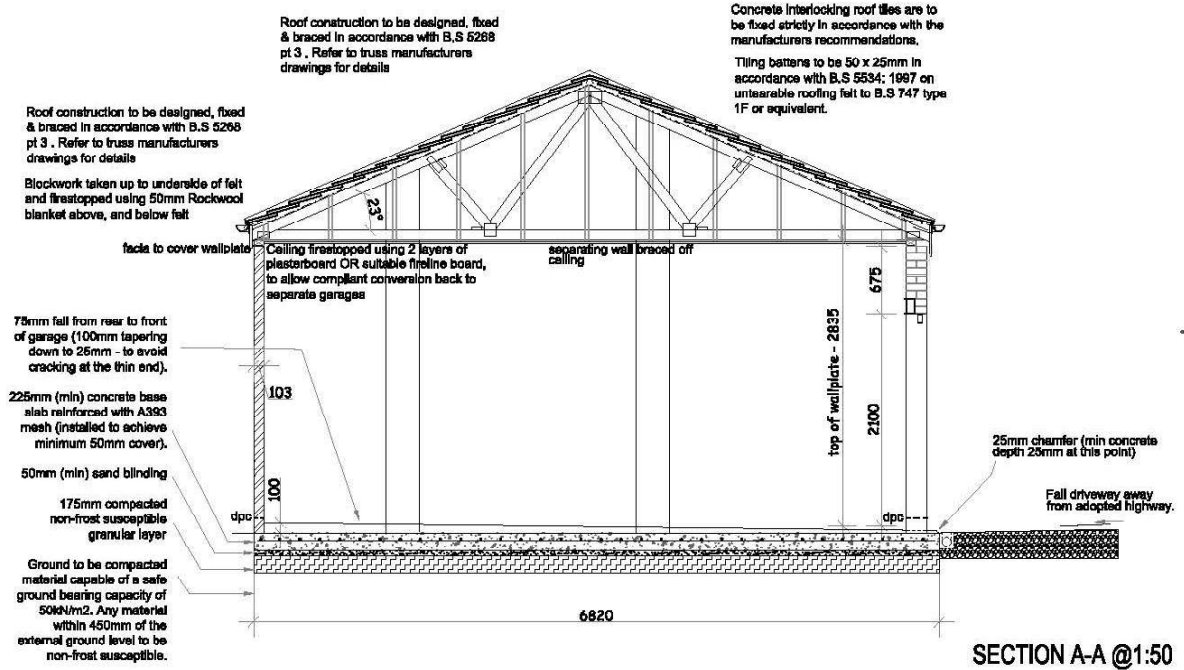
ELEVATIONS @1:100

- Structural Works Notes:**
- Reinforced Concrete shall be a minimum of RC35 to BS8500 Part 1 and BS EN 206-1.7
 - Mesh reinforcement shall be deformed Type 2 high yield steel to BS4483. Minimum lap = 450mm.
 - All concrete to be cured and protected from frost for a minimum of 7 days after casting.
 - The ground is to be stripped of topsoil, vegetation and unsuitable fill before the raft construction begins.
 - Where ground levels are being considered to be raised with site arising fill material placed below the raft foundations, this material is to be tested to determine the material classification in accordance with Table 6/1 of Specification of Highway Works (Vol 1) by a suitably qualified person.

Note:
 Sketch schemes may be based on plan information of unknown origin and is subject to verification and survey.
 Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is not to be scaled. Use figured dimensions only.
 Building areas are liable to adjustment over the course of the design process due to ongoing construction detailing developments.
 Subject to statutory approvals and survey.



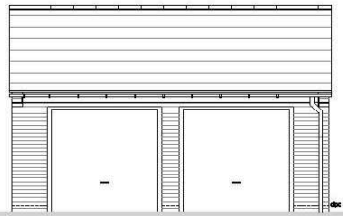
PLAN @1:50



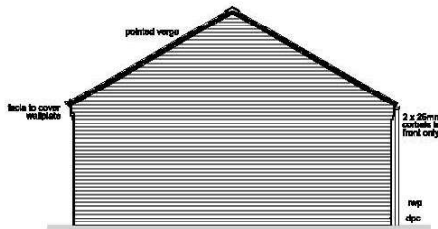
THRESHOLD DETAIL @1:20

gleeson

rev. C Slab and Threshold details added AB 11.03.21
 rev. B Service location corrected DJR 17.08.20
 rev. A Updated to indicate location of services' DJR 04.06.20
 revisions -
 status -
 project Standard Details
 client Gleeson Homes & Regeneration
 title Sales Garage Details
 drawn qb checked . date 17.12.19 scale As Indc. @A3
 job no 0282 drawing no SD704 rev C



FRONT ELEVATION



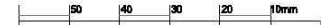
SIDE ELEVATION



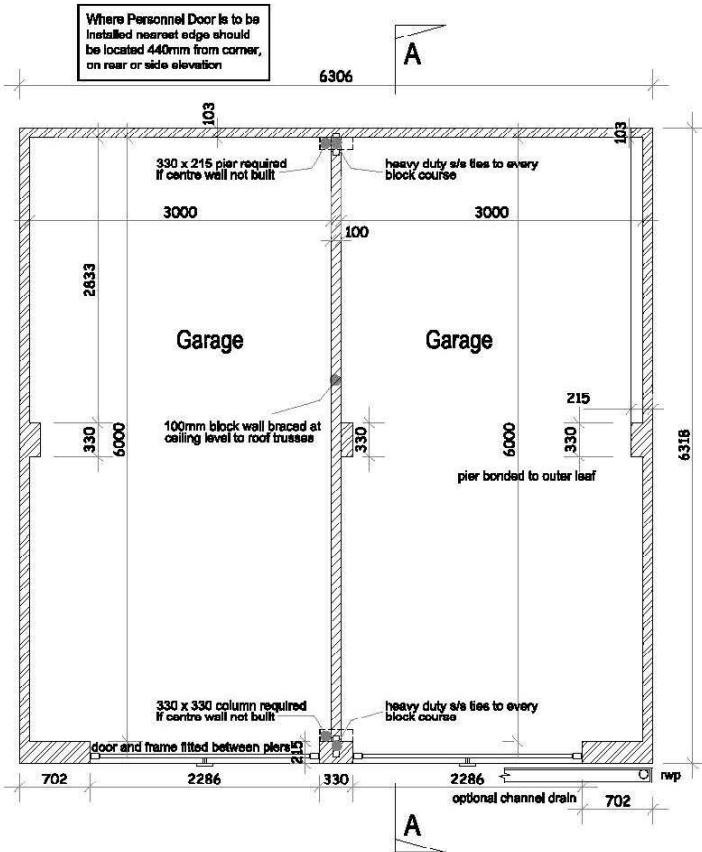
REAR ELEVATION

- Structural Works Notes:**
- Reinforced Concrete shall be a minimum of RC35 to BS8500 Part 1 and BS EN 206-1.7
 - Mesh reinforcement shall be deformed Type 2 high yield steel to BS4483. Minimum lap = 450mm.
 - All concrete to be cured and protected from frost for a minimum of 7 days after casting.
 - The ground to be stripped of topsoil, vegetation and unsuitable fill before the raft construction begins.
 - Where ground levels are being considered to be raised with site arising fill material placed below the raft foundations, site material is to be tested to determine the material classification in accordance with Table 6/1 of Specification of Highway Works (Vol 1) by a suitably qualified person.

Notes:
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 Subject to statutory approvals and survey.



ELEVATIONS @1:100



PLAN @1:50

Roof construction to be designed, fixed & braced in accordance with B.S 5268 pt 3. Refer to truss manufacturers drawings for details

Blockwork taken up to underside of felt and firestopped using 50mm Rockwool blanket above, and below felt

75mm fall from rear to front of garage (100mm tapering down to 25mm - to avoid cracking at the thin end).

225mm (min) concrete base slab reinforced with A363 mesh (installed to achieve minimum 80mm cover).

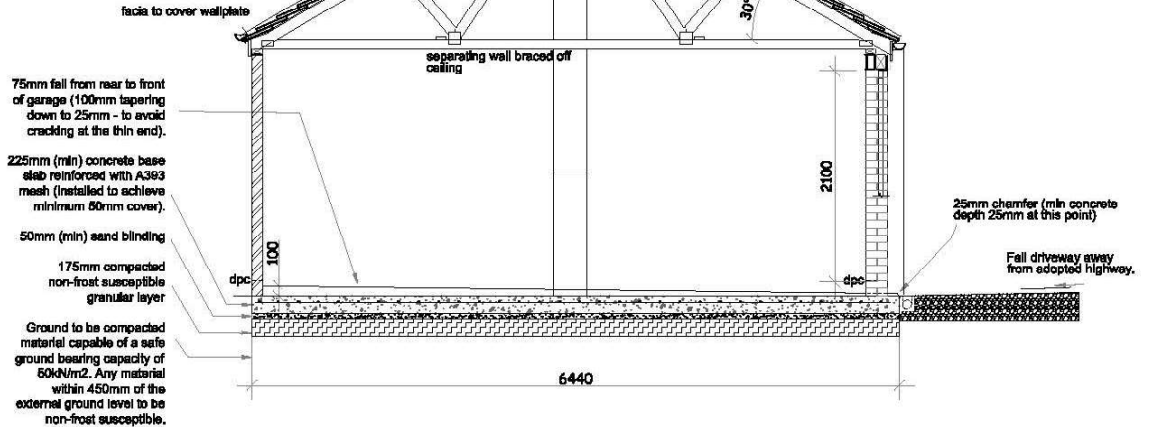
50mm (min) sand blinding

175mm compacted non-frost susceptible granular layer

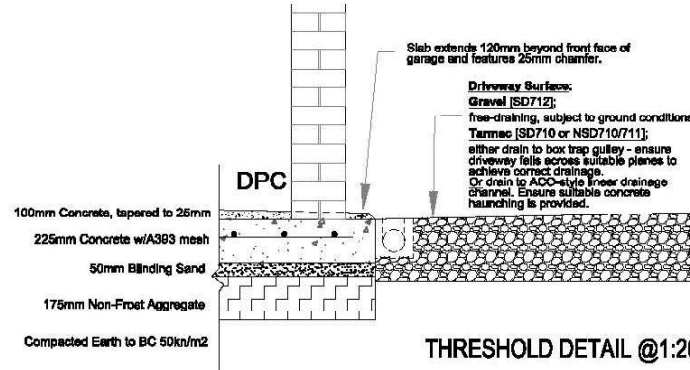
Ground to be compacted material capable of a safe ground bearing capacity of 60kN/m2. Any material within 450mm of the external ground level to be non-frost susceptible.

Concrete interlocking roof tiles are to be fixed strictly in accordance with the manufacturers recommendations.

Tiling battens to be 50 x 25mm in accordance with B.S 5534: 1997 on untearable roofing felt to B.S 747 type 1F or equivalent.



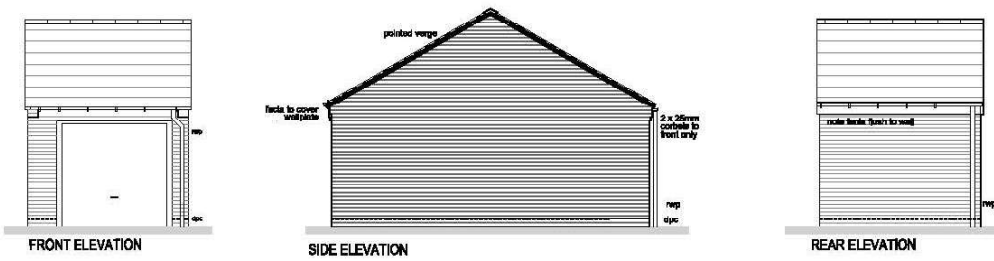
SECTION A-A @1:50



A Slab and threshold details added 11.03.21 AB

revisions	
status	
project	Standard Details
client	Gleeson Homes & Regeneration
title	3m x 6m internal dimension Detached Double Garage Details
drawn	DJR checked . date 02/05/19 scale A4 Inrc.@A3
job no	0282 drawing no SD1701 rev A



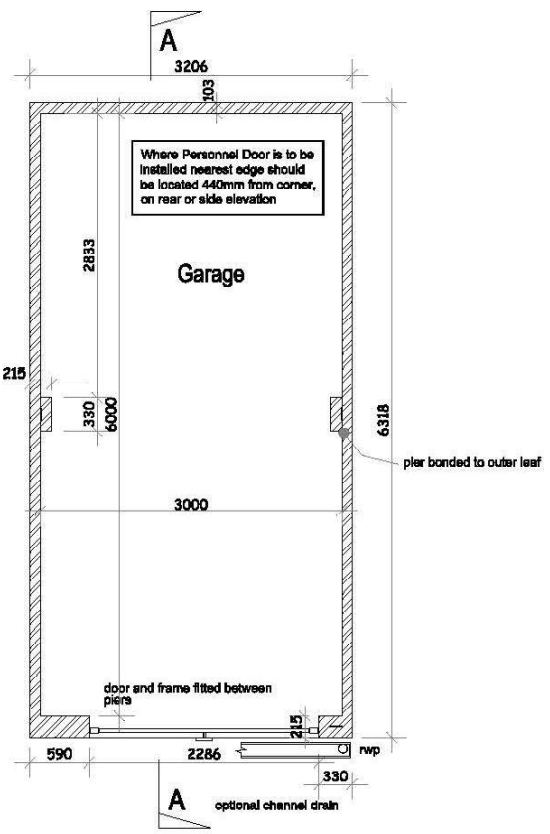
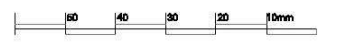


ELEVATIONS @1:100

Structural Works Notes:

- Reinforced Concrete shall be a minimum of RC35 to BS8500 Part 1 and BS EN 206-1.7
- Mesh reinforcement shall be deformed Type 2 high yield steel to BS4483. Minimum lap = 450mm.
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- The ground is to be stripped of topsoil, vegetation and unsuitable fill before the raft construction begins.
- Where ground levels are being considered to be raised with site arising fill material placed below the raft foundations, site material is to be tested to determine the material classification in accordance with Table 6/1 of Specification of Highway Works (Vol 1) by suitably qualified person.

Notes:
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 Subject to statutory approvals and survey.



PLAN @1:50

Roof construction to be designed, fixed & braced in accordance with B.S 5268 pt 3. Refer to truss manufacturers drawings for details.

Blockwork taken up to underside of felt and firestopped using 50mm Rockwool blanket above, and below felt.

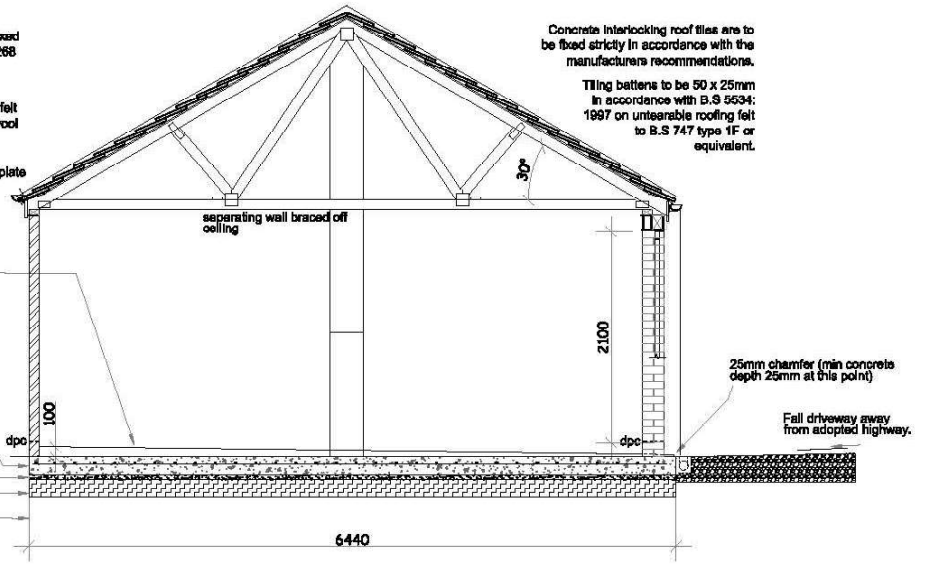
75mm fall from rear to front of garage (100mm tapering down to 25mm - to avoid cracking at the thin end).

225mm (min) concrete base slab reinforced with A393 mesh (installed to achieve minimum 50mm cover).

50mm (min) sand blinding

175mm compacted non-frost susceptible granular layer

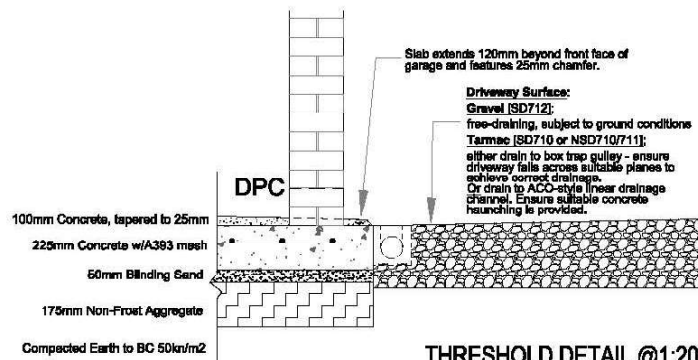
Ground to be compacted material capable of a safe ground bearing capacity of 50kN/m². Any material within 450mm of the external ground level to be non-frost susceptible.



Concrete interlocking roof tiles are to be fixed strictly in accordance with the manufacturers recommendations.

Tiling battens to be 50 x 25mm in accordance with B.S 5534: 1997 on untearable roofing felt to B.S 747 type 1F or equivalent.

SECTION A-A @1:50



THRESHOLD DETAIL @1:20



A Slab and threshold details added 11.03.21 AB

revisions status -

project **Standard Details**

client **Gleeson Homes & Regeneration**

site **3m x 6m internal dimension Detached Single Garage Details**

drawn dfr checked . date 020819 scale AS Indc.@A3

job no 0282 drawing no SD1700 rev A



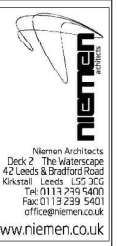
- LEGEND**
- RED BRICK / GREY ROOF TILE
 - BUFF BRICK / GREY ROOF TILE
 - STONE / GREY ROOF TILE
 - BLACK MACADAM ASPHALT PERFORABLE HIGHWAYS CONSTRUCTED TO LA STANDARDS
 - BLACK MACADAM ASPHALT PERFORABLE FOOTPATHS & CYCLE WAY CONSTRUCTED TO LA STANDARDS
 - PERFORABLE SURFACE SHARED PRIVATE DRIVES, DRIVEWAYS AND PARKING BAYS

York Gardens, **GOSBERTON**

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PLANNING
 subject to structural review
 subject to accurate measured survey

revision	date	comment	by
C	21.03.24	PLAT 61 & 62 HANDED	JB
B	23.02.24	UPDATED IN ACCORDANCE WITH LATEST SITE LAYOUT, ADDITIONAL SURFACE FINISHES ADDED	JB
A	04.10.22	RED LINE BOUNDARY REVISED	ED
			PH/SH
project PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON			
client GLEESON DEVELOPMENTS			
title MATERIALS PLAN			
date	scale	drawn	ED
10.08.22	1:500@A1		
drawing number	checked		
3378-1-003 C			



LEGEND

- 1.2m x 1.2m MIN STORE
- IN COLLECTION POINT
- TRAVEL DISTANCE WITHIN 30m



York Gardens, **cosberton**

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PLANNING
 subject to structural review
 subject to accurate measured survey

A	25.02.24	PL0101 & 02 FINDER	B
revision	date	revision	author
project PROPOSED RESIDENTIAL YORK GARDENS, COSBERTON			
client GLEESON DEVELOPMENTS			
title REFUSE PLAN			
date	time	drawn	check
25.02.24	15:00@A1	JB	
drawing number	sheet		
3378-1-004 A			



Niemen Architects
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 42 Leeds & Bradford Road
 Kirkstall Leeds LS3 5JG
 Tel: 0113 295 5400
 Fax: 0113 295 5401
 info@niemen.co.uk

www.niemen.co.uk

N
 S
LEGEND
 (Green circle) WALL MOUNTED ELECTRIC VEHICLE CHARGING POINT
 (Green square) STAIRWELL FLOOR MOUNTED ELECTRIC VEHICLE CHARGING POINT
 FOR FURTHER INFORMATION AND DETAILS, PLEASE REFER TO DRAWING NO.251 - EV CHARGING POINT INSTALLATION DETAILS



York Gardens, **GOSBERTON**

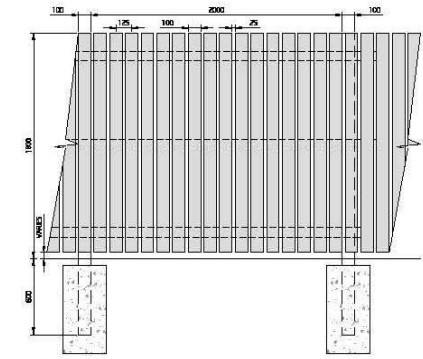
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PLANNING
 subject to structural review
 subject to accurate measured survey

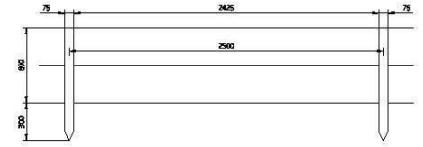
no	25.02.24	date	25.02.24	drawn	1500@A1	sheet	JB	checked	
project	PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON								
client	GLEESON DEVELOPMENTS								
title	EV CHARGE PLAN								
no	3378-1-005	date		drawn		sheet	A	checked	



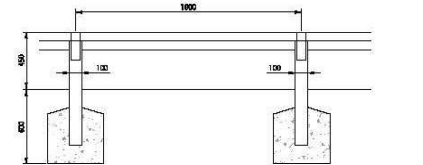
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 Fax: 0113 293 5401
 e: info@niemen.co.uk
 www.niemen.co.uk



1.8m HIGH FENCE
TYPICAL ELEVATION @ 1:20



POST & WIRE FENCE
TYPICAL ELEVATION @ 1:20



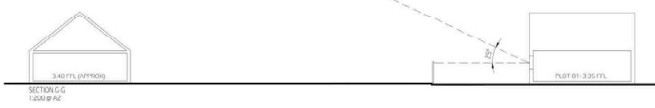
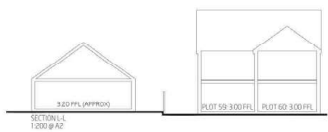
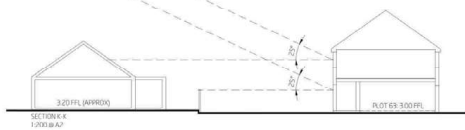
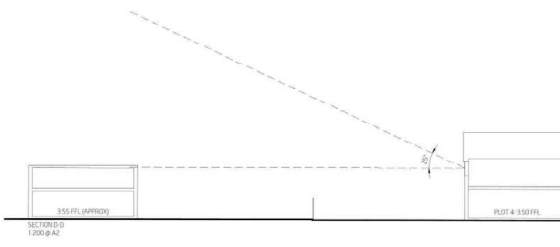
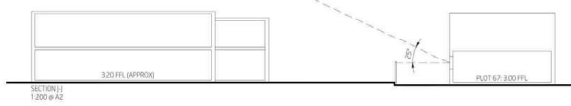
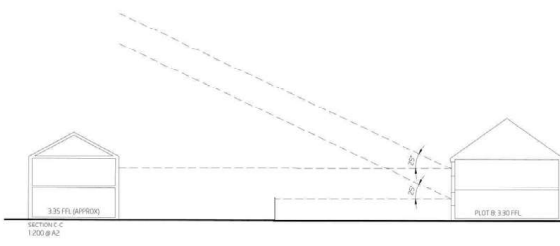
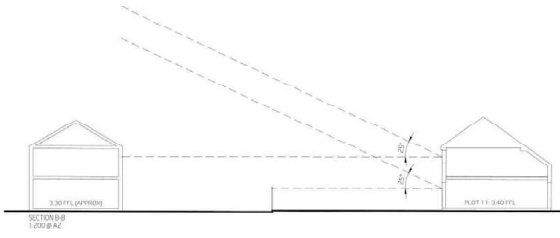
KNEE RAIL FENCE
TYPICAL ELEVATION @ 1:20

York Gardens, GOSBERTON
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PLANNING
 subject to structural review
 subject to accurate measured survey

A	25.02.24	DATE	25.02.24	DATE	15:00@A1	BY	JB
PROJECT		PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON					
DRAWN		GLEESON DEVELOPMENTS					
TITRE		BOUNDARY TREATMENT PLAN					
DRAWING NUMBER		3378-1-005 A					
PROJECT		PLOT 01 & 02 HANDED					
DRAWN		NIEMEN ARCHITECTS					
BY		JB					

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SITE LAYOUT 1:1250

York Gardens, **GOSBERTON**

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PLANNING
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 subject to accurate measured survey

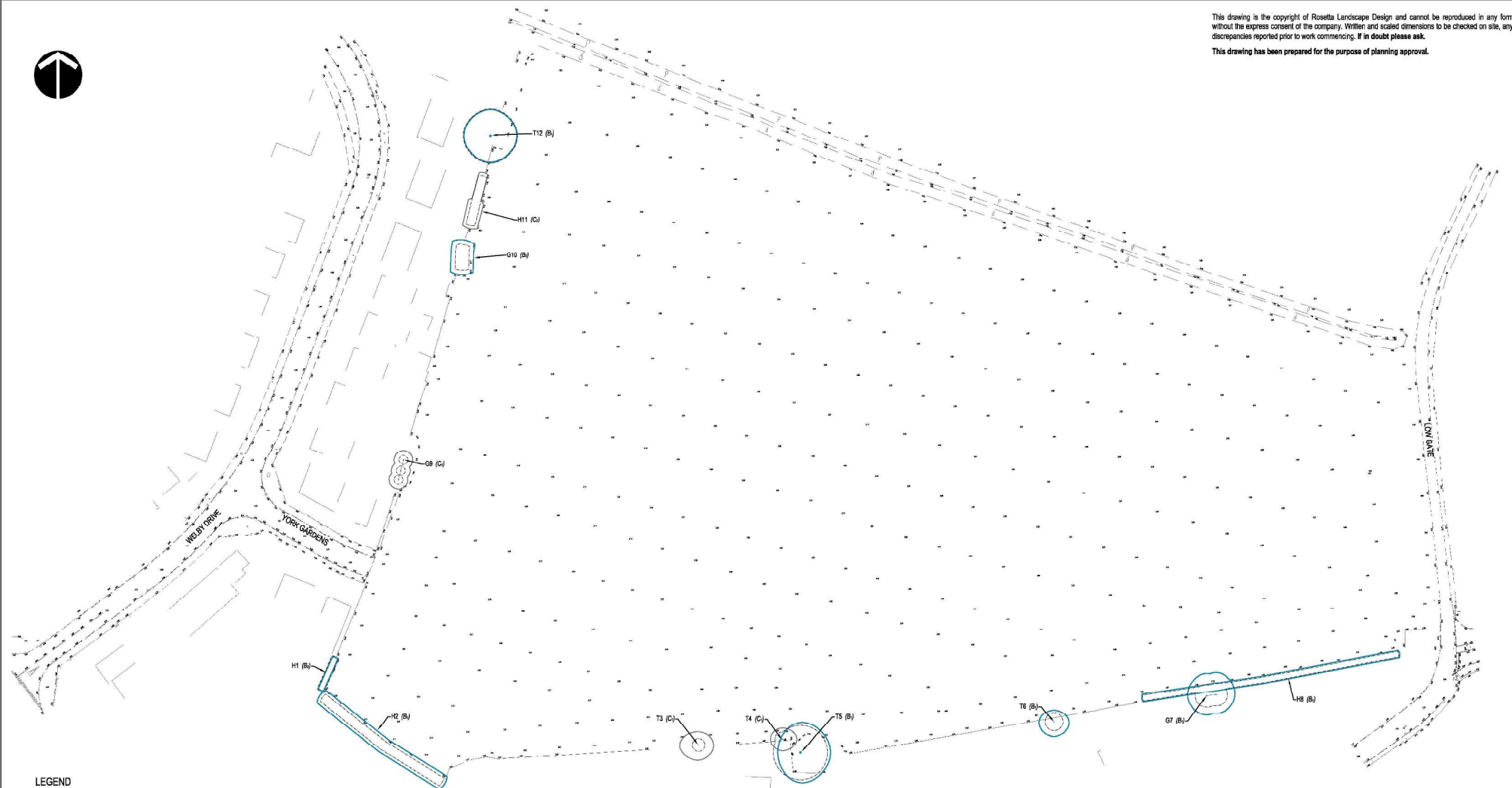
no	20.02.24	SITE LAYOUT UPDATED TO CURRENT REVISION. MAJOR AMENDMENTS TO HOUSE TYPE SECTIONS.	JB
revision	17.01.23	ADDITIONAL SECTIONS ADDED.	JB
date	6.09	ISSUED	JB
project	PROPOSED RESIDENTIAL YORK GARDENS, GOSBERTON		
client	GLEESUN DEVELOPMENTS		
title	SITE SECTIONS		
date	15.12.21	scale	1:200 @ A1
drawing no	3378-1-002 B	drawn	JB
checked		ED	










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 This drawing has been prepared for the purpose of planning approval.



LEGEND

-  Site boundary
-  Existing tree, retention categories A1 to A3
-  Existing tree, retention categories B1 to B3
-  Existing tree, retention categories C1 to C3
-  Existing tree, retention category U
-  Additional vegetation - not surveyed
-  Root protection area

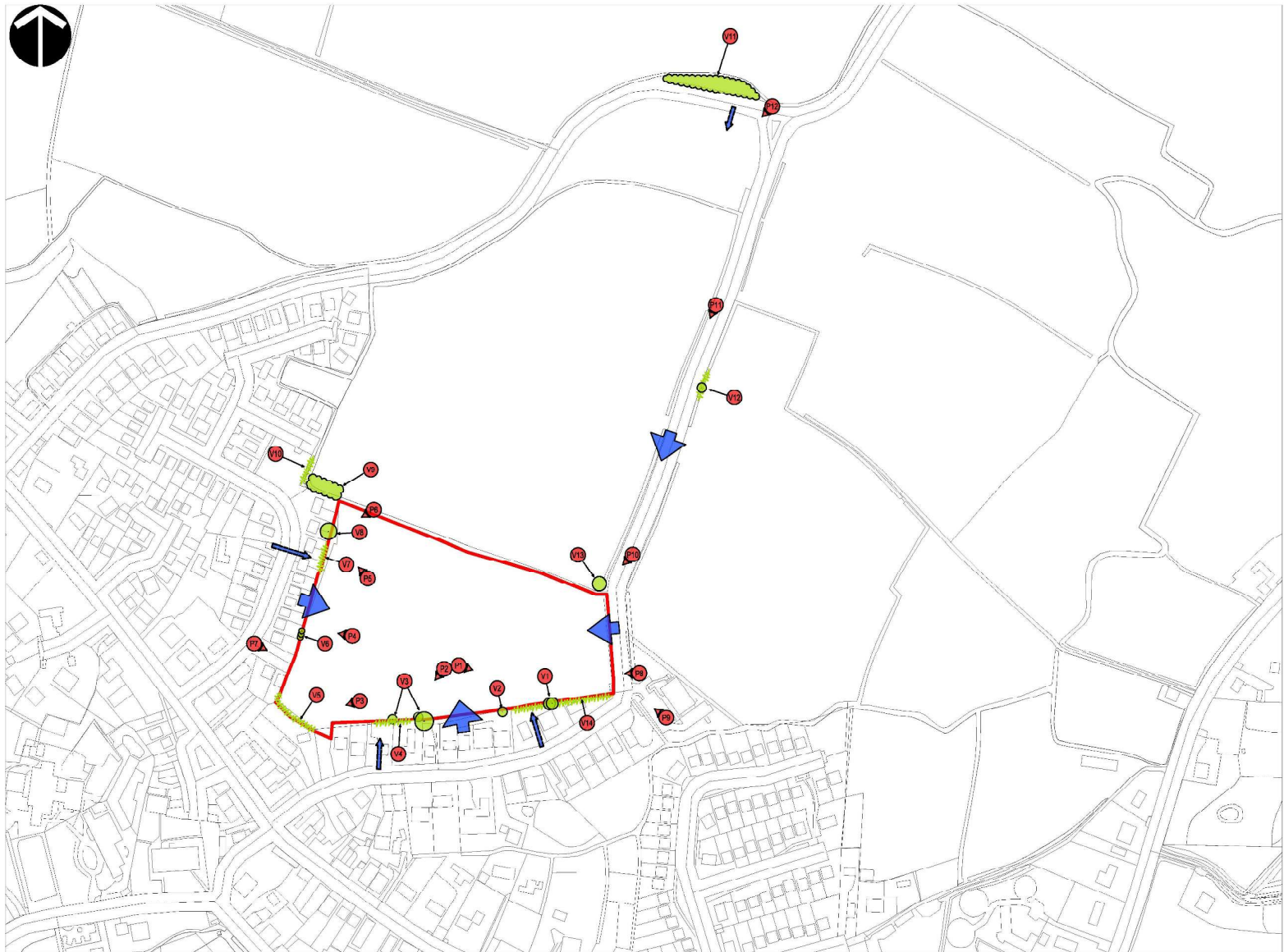
Note: Tree retention categories & root protection area as defined by BS 5837:2012

Base: Survey Hub 'Topographical Survey', 4865, received 24Jun21

PROJECT	York Gardens, Gosberton		
TITLE	Existing Trees on Site		
CLIENT	Gleeson Homes & Regeneration		
DATE	09 Jul 21	SCALE 1 : 500	SHEET A1
DRAWN	MP/jr	DRAWING NO	3796/1
CHECKED	MP	REVISION	-











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 Email: design@rosettalandscape.co.uk
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This drawing has been prepared for the purpose of planning approval.

LEGEND

-  Site boundary
-  Existing tree
-  Existing hedge
-  Existing vegetation
-  Vegetation reference number
-  Photographic viewpoint
-  Primary view of site
-  Secondary view of site

PROJECT	York Gardens, Gosberton		
TITLE	Existing Situation / Landscape Analysis		
CLIENT	Gleeson Homes & Regeneration		
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