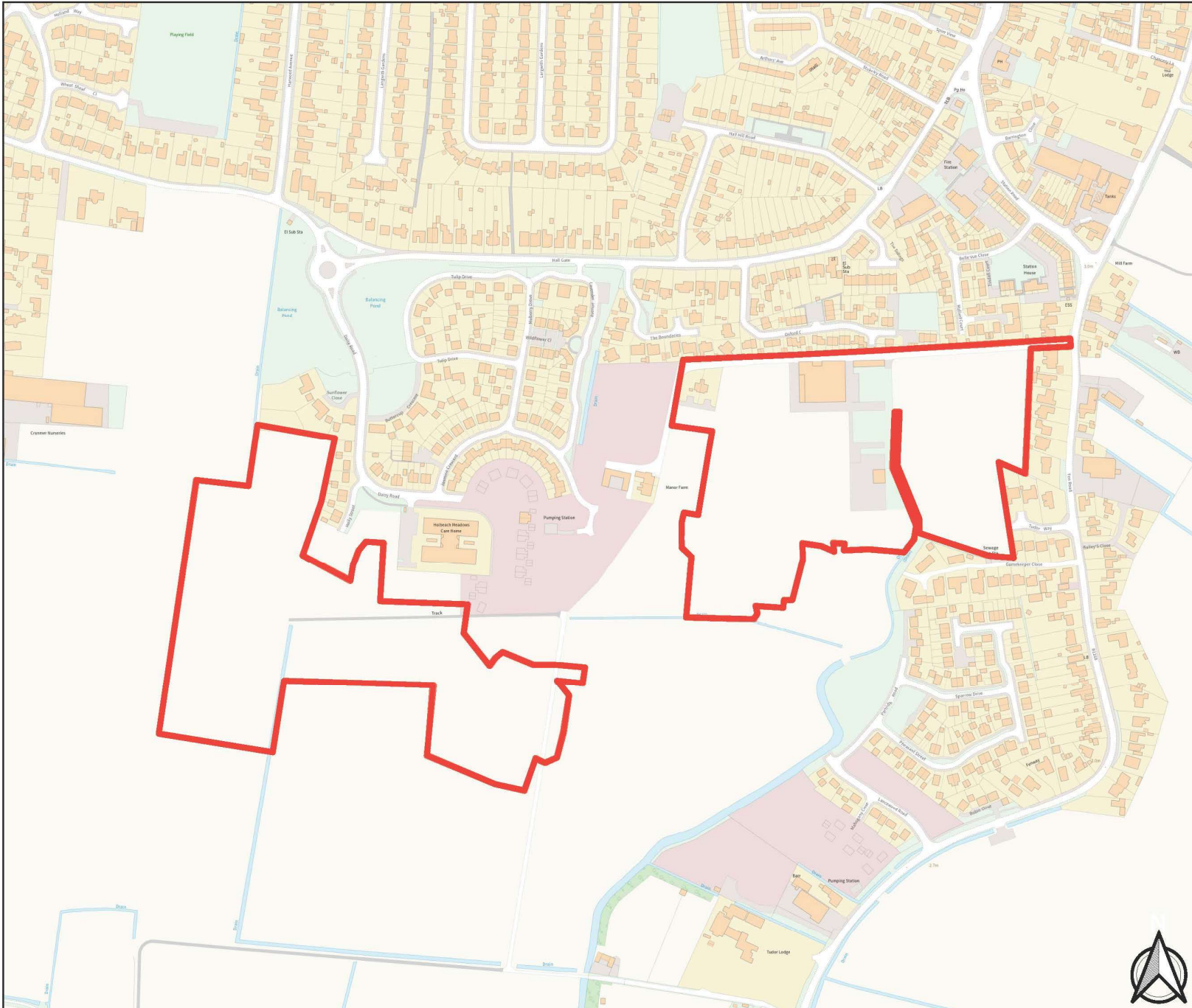


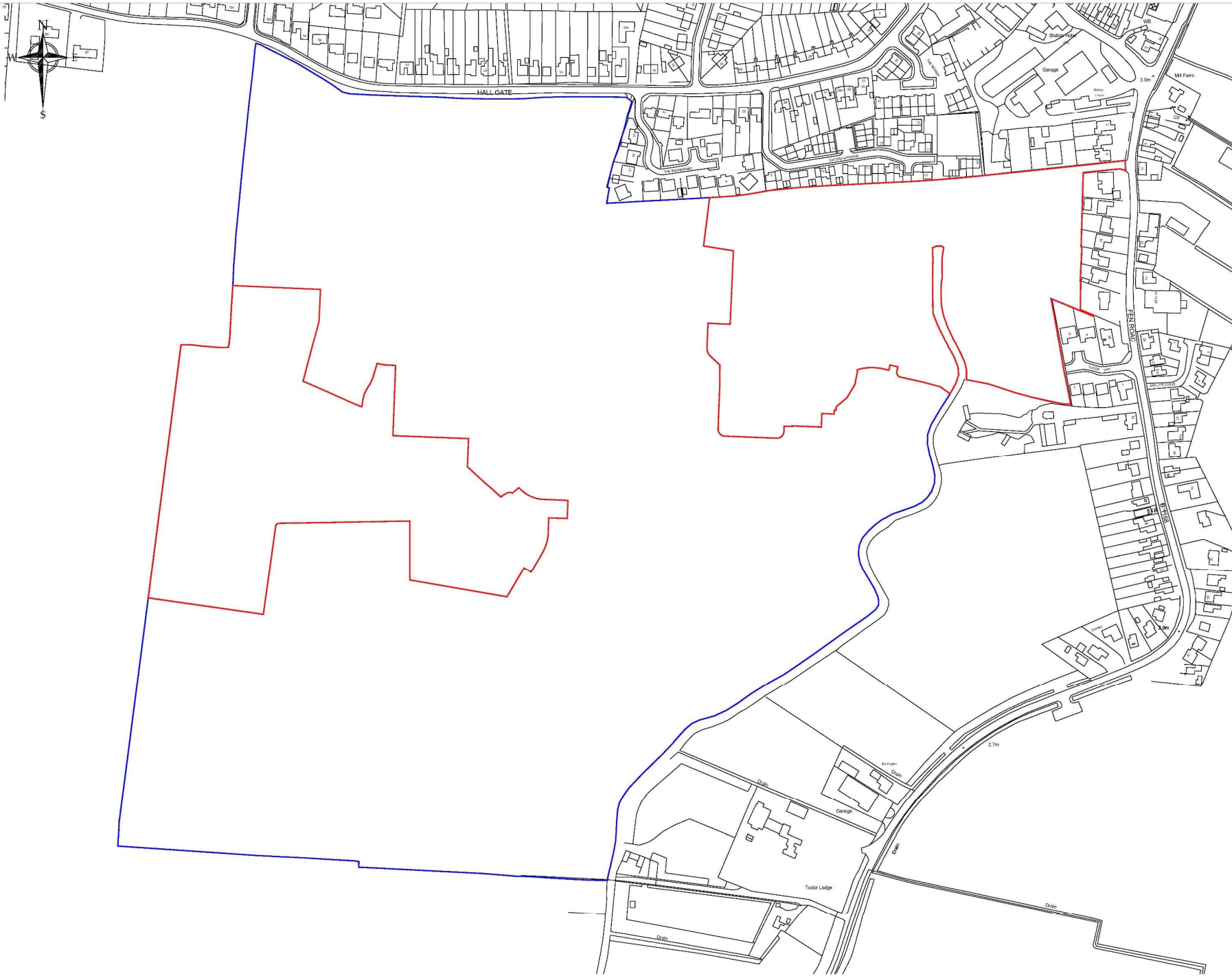
Welcome to the Planning Committee

MapThat Scale Print Title



MAP SCALE 1: 5000
CREATED DATE: 24/04/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE





KEY

- Phase 3 Site Boundary
- Extent of further land in Applicants Ownership

Rev	Date	Description
1	23.11.23	Red Line Boundaries Updated



1 Goodson Road, Lincs Gateway, Business Park,
Spalding, Lincs, PE12 6FY T: 01408 490690

PROJECT: **Proposed Residential Development at Holbeach Meadows (Phase 3)**

DRAWING: **Location Plan (Phase 3)**

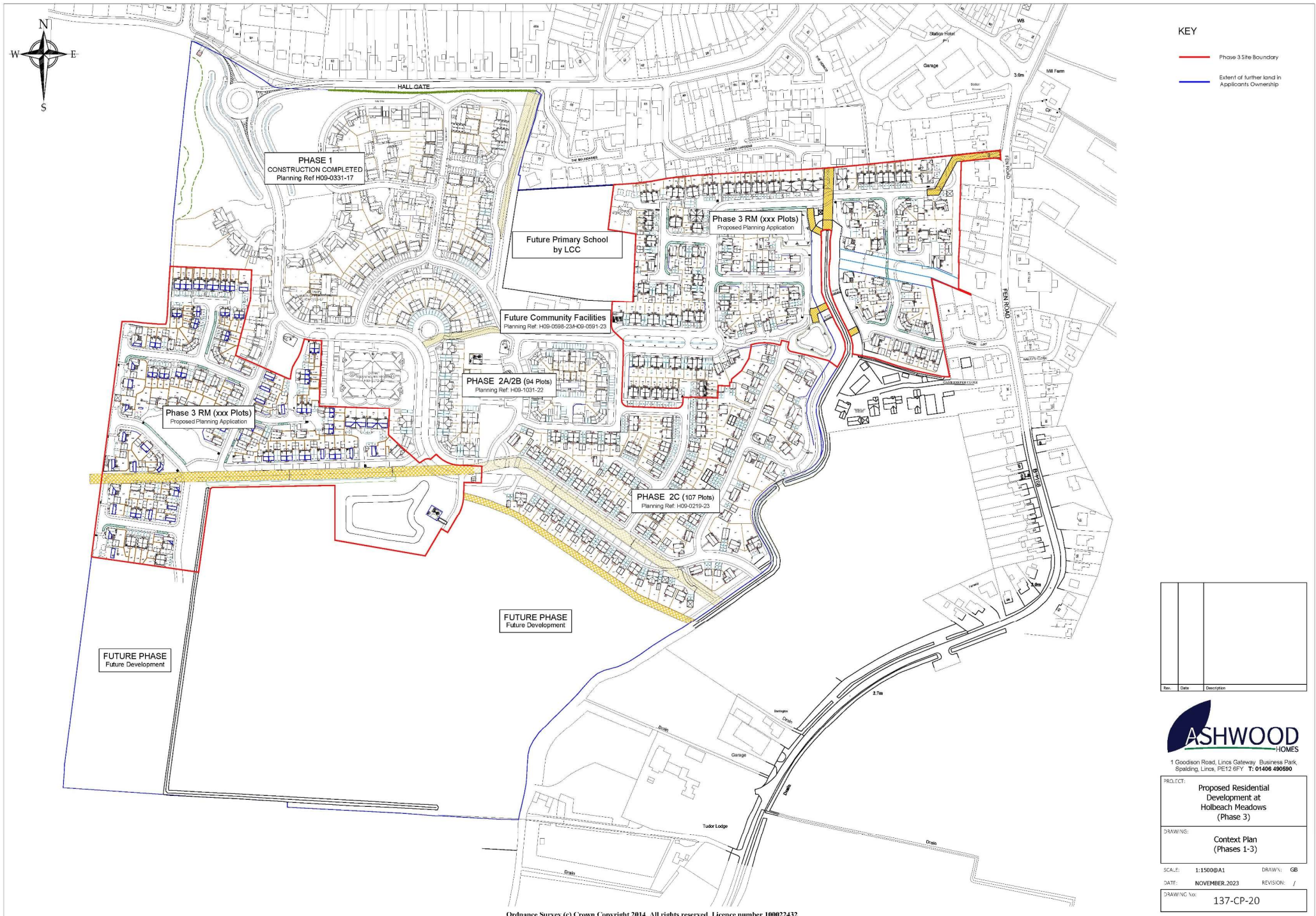
SCALE: **1:1500@A1** DRAWN: **GB**
DATE: **OCT.2022** REVIS ON: **A**

DRAWING No: **137-LP-01**



KEY

- Phase 3 Site Boundary
- Extent of further land in Applicant's Ownership



1 Goodison Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT:
Proposed Residential
Development at
Holbeach Meadows
(Phase 3)

DRAWING:
Context Plan
(Phases 1-3)

SCALE: 1:1500@A1 DRAWN: GB
DATE: NOVEMBER 2023 REVISION: /
DRAWING No: 137-CP-20



- KEY**
- Site Boundary
 - Extent of Further Land in Applicant's Ownership
 - 1.8m High Brick Wall
 - Filter Drains
 - Anglian Water / Private Drainage Easement
 - Refuse Collection Areas
 - LED dusk to dawn Bollard Lights
 - ⊕ 7 kW Electric Vehicle Car Charger
 - PV Panels to Roofs - shown indicatively. Exact PV Requirements to be determined by SAPS
 - Landscaping - Shown Indicatively Refer to landscape drawings
 - Existing trees to be removed
 - ★ Affordable Housing
 - ★ Affordable Rent
 - ★ Shared Ownership
 - ★ First Homes

SITE AREAS

Red Line Boundary 51979m²

Usable Public Open Space 13370m² (25.7%)

B	30.04.24	Affordable housing mix relocated
A	18.03.24	Updated to suit LCC and planning comments
Rev.	Date	Description

ASHWOOD HOMES

1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490590

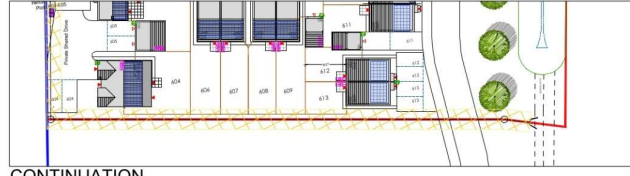
PROJECT: Proposed Residential Development at Holbeach Meadows

DRAWING: Site Layout Phase 3 - Southern Site Plots (122 No. Plots)

SCALE: 1:500@A1 DRAWN: GB

DATE: NOVEMBER 2023 REVISION: B

DRAWING No: 137-SL-21



CONTINUATION



LAND FOR SCHOOL
UNDER OUTLINE
CONSENT
H09-0521-14

EXTANT PLANNING PERMISSION
H09-0331-17

KEY

- Site Boundary
- Extent of Further Land in Applicant's Ownership
- 1.8m High Brick Wall
- Filter Drains
- Anglian Water Drainage Easement
- Refuse Collection Areas
- LED dusk to dawn Bollard Lights
- 7 kW Electric Vehicle Car Charger
- PV Panels to Roofs - shown indicatively. Exact PV Requirements to be determined by SAPs
- Landscaping - Shown Indicatively Refer to landscape drawings
- Existing trees to be removed
- ★ Affordable Housing
- ★ Affordable Rent
- ★ Shared Ownership
- ★ First Homes

SITE AREAS

Red Line Boundary 57673.5m²
Usable Public Open Space 10250m² (17.8%)

C	30.04.24	Affordable housing mix relocated
B	18.03.24	Layout amended to LCC and planning comments
A	30.01.24	IDB Piped section amended, easement updated
Rev:	Date:	Description:

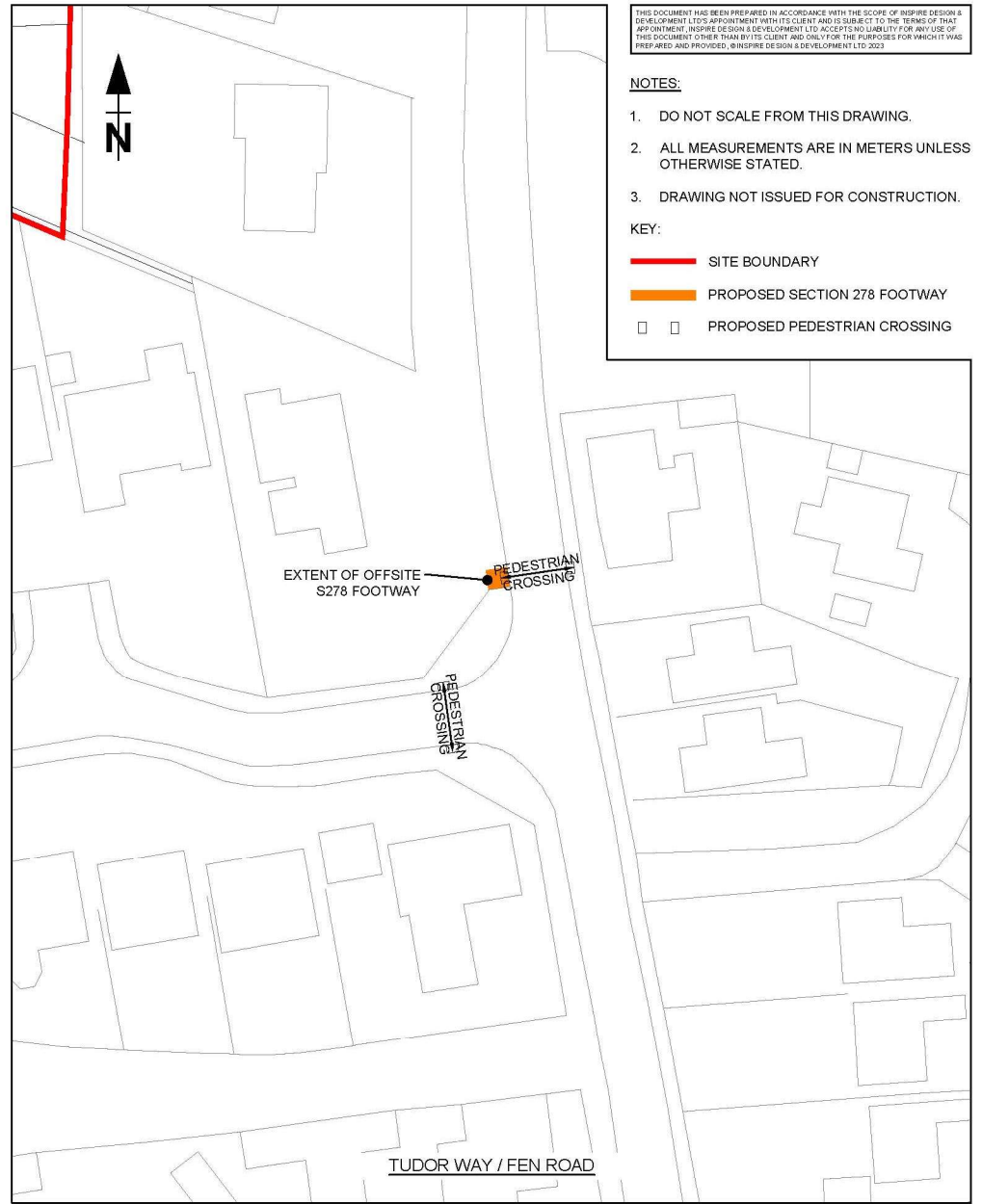
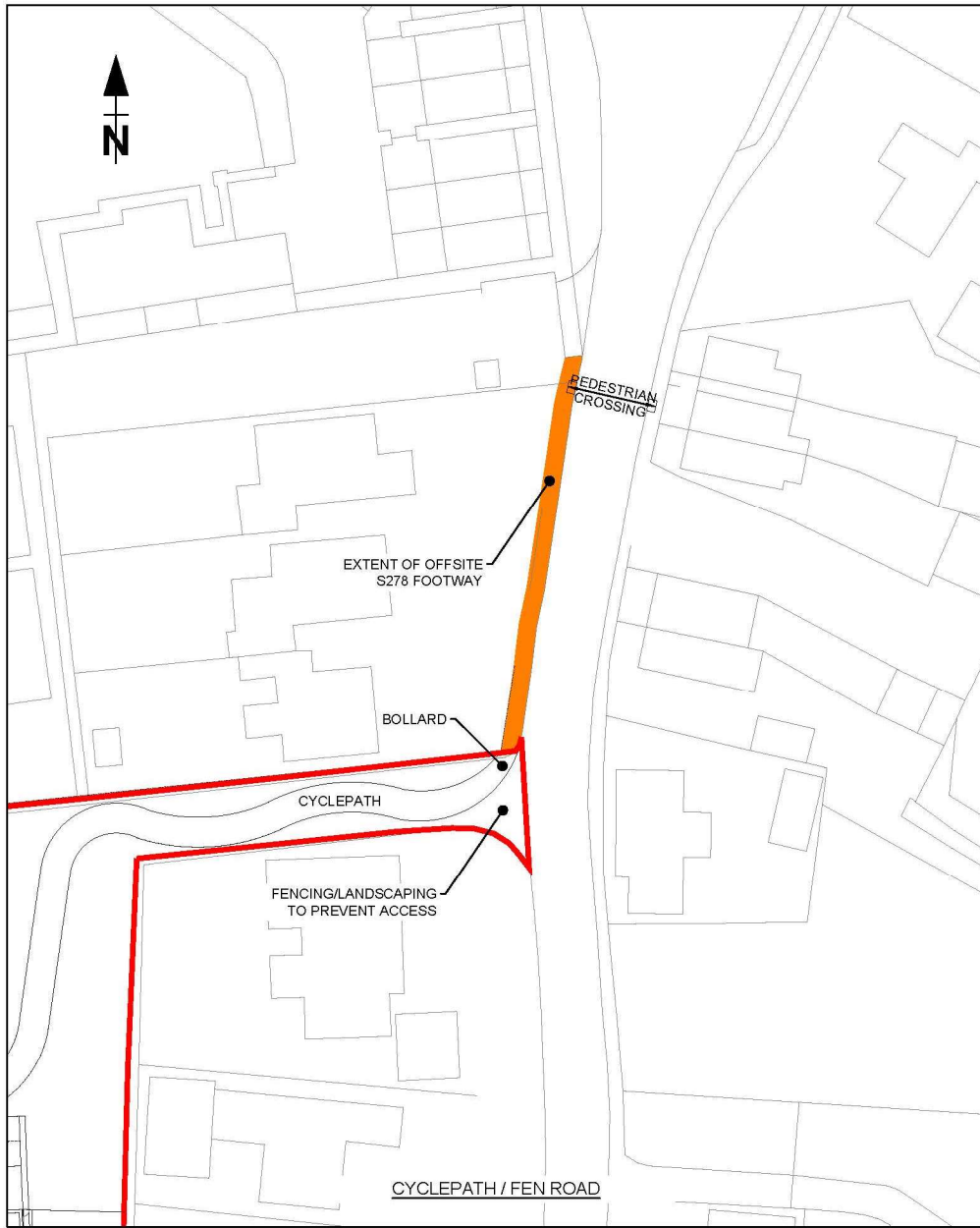
ASHWOOD HOMES
1 Goodison Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT: Proposed Residential Development at Holbeach Meadows

DRAWING: Site Layout Phase 3 - Northern Site Plots (163 No. Plots)

SCALE: 1:500@A1 DRAWN: GB
DATE: NOVEMBER 2023 REVISION: C

DRAWING No: 137-SL-11



THIS DOCUMENT HAS BEEN PREPARED IN ACCORDANCE WITH THE SCOPE OF INSPIRE DESIGN & DEVELOPMENT LTD'S APPOINTMENT WITH ITS CLIENT AND IS SUBJECT TO THE TERMS OF THAT APPOINTMENT. INSPIRE DESIGN & DEVELOPMENT LTD ACCEPTS NO LIABILITY FOR ANY USE OF THIS DOCUMENT OTHER THAN BY ITS CLIENT AND ONLY FOR THE PURPOSES FOR WHICH IT WAS PREPARED AND PROVIDED. ©INSPIRE DESIGN & DEVELOPMENT LTD 2023

- NOTES:**
- DO NOT SCALE FROM THIS DRAWING.
 - ALL MEASUREMENTS ARE IN METERS UNLESS OTHERWISE STATED.
 - DRAWING NOT ISSUED FOR CONSTRUCTION.
- KEY:**
- SITE BOUNDARY
 - PROPOSED SECTION 278 FOOTWAY
 - PROPOSED PEDESTRIAN CROSSING

©CROWN COPYRIGHT AND DATABASE RIGHTS 2023 ORDNANCE SURVEY 0100031673

P1	05/01/23	NGP	CR	CLIENT, PROJECT & DRAWING TITLE NAMES AMENDED
REV	DATE	NAME	CHECK	NOTES



CLIENT:
ASHWOOD HOMES LTD

PROJECT:
**HOLBEACH MEADOWS
PHASE 3 NORTH RM**

DRAWING TITLE:
**SECTION 278 MINOR WORKS -
GENERAL ARRANGEMENT**

DRAWING STATUS:
FOR INFORMATION

DRAWN: **AJS** CHECKED: **CR** APPROVED: **CR**

DATE:
20 January 2023

DRAWING No:
AHL-1636-06-PL-003

SCALE @ A3:
1:500

REVISION No:
P1



LEGEND	
	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 68MM DIA. DOWN PIPES BLACK UPVC
	Lx1Fract1 GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: LEICESTER MULTI CREAM
	BRICK TYPE B: LEICESTER RED STOCK
	BRICK TYPE C: IVANHOE WESTMINSTER
	BRICK TYPE D: OAKMOOR CREAM
	ROOF TILE A: CONDRON CONCRETE SLATE: BLACK
	ROOF TILE B: CONDRON CONCRETE PANTILE: TERRACOTTA
	ROOF TILE C: CONDRON CONCRETE SLATE: COUNTRY RED
	ROOF TILE D: WIENERBERGER NEW CASSIUS ANTIQUE SLATE
	ROOF TILE E: MARLEY LINCOLN CLAY SINGLE PANTILE



BRICK TYPE A:
LEICESTER MULTI CREAM



BRICK TYPE B:
LEICESTER RED STOCK



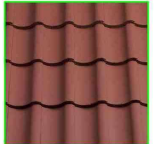
BRICK TYPE C:
IVANHOE WESTMINSTER



BRICK TYPE D:
OAKMOOR CREAM



ROOF TILE A:
CONDRON CONCRETE SLATE -
BLACK



ROOF TILE B:
CONDRON CONCRETE PANTILE -
TERRACOTTA



ROOF TILE C:
CONDRON CONCRETE SLATE -
COUNTRY RED



ROOF TILE D:
WIENERBERGER NEW CASSIUS
ANTIQUÉ SLATE



ROOF TILE E:
MARLEY LINCOLN CLAY
SINGLE PANTILE

C	02.05.24	Tenure mix removed from drawing
B	18.03.24	Layout amended to LCC and planning comments
A	10.03.24	128 (Final section amended, easement updated)
Rev.	Date	Description



PROJECT:
Proposed Residential
Development at
Holbeach Meadows

DRAWING:
Material Schedule
Phase 3 - Northern Site Plots
(163 No. Plots)

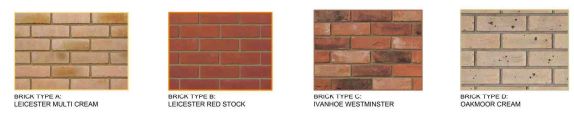
SCALE: 1:500@A1 DRAWN: GB

DATE: NOVEMBER, 2023 REVISION: C

DRAWING NO: 137-MSL-14



LEGEND	
	PRIVATE PATHS: BUFF RIVEN PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 88MM DIA. DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: LEICESTER MULTI CREAM
	BRICK TYPE B: LEICESTER RED STOCK
	BRICK TYPE C: IVANHOE WESTMINSTER
	BRICK TYPE D: OAKMOOR CREAM
	ROOF TILE A: CONDON CONCRETE SLATE: BLACK
	ROOF TILE B: CONDON CONCRETE PANTILE: TERRACOTTA
	ROOF TILE C: CONDON CONCRETE SLATE: COUNTRY RED
	ROOF TILE D: WIENERBERGER NEW CASSIUS ANTIQUE SLATE
	ROOF TILE E: MARLEY LINCOLN CLAY SINGLE PANTILE



R	02.05.24	Revisions removed from drawing
A	15.03.24	Revisions removed to O.C. and planning comments
Revised		Complete

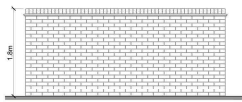
ASHWOOD HOMES
 1 Goodson Road, Lincs Gateway, Business Park, Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT: Proposed Residential Development at Holbeach Meadows

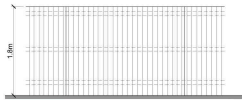
DRAWING: Material Schedule
 Phase 3: Southern Site Plots (122 No. Plots)

SCALE: 1:500@A1 DRAWN: GB
 DATE: NOVEMBER, 2023 REVISION: B
 DRAWING No: 137-MSL-24

KEY



BOUNDARY TYPE - A
1.8m High Brick Wall



BOUNDARY TYPE - B
1.8m Close Boarded Fence



BOUNDARY TYPE - D
Kneeh Rail



CONTINUATION PLAN

W	02.05.2024	Revised this removed from drawing
A	03.03.2024	Site layout updated following LDC and planning conditions
Rev	Issue	Description



PROJECT:
Proposed Residential
Development at
Halbeach Meadows

DRAWING:
Boundary Treatment Plan
Phase 3 - Southern Site Plots
(122 No. Plots)

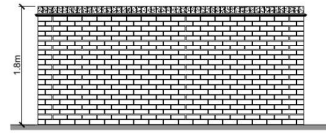
SCALE: 1:5000A1 DRAWN: GB

DATE: NOVEMBER.2023 REVISION: B

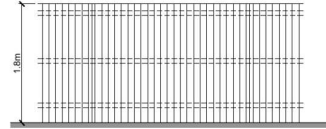
DRAWING NO: 137-BT-22



KEY



BOUNDARY TYPE - A
1.8m High Brick Wall



BOUNDARY TYPE - B
1.8m Close Boarded Fence

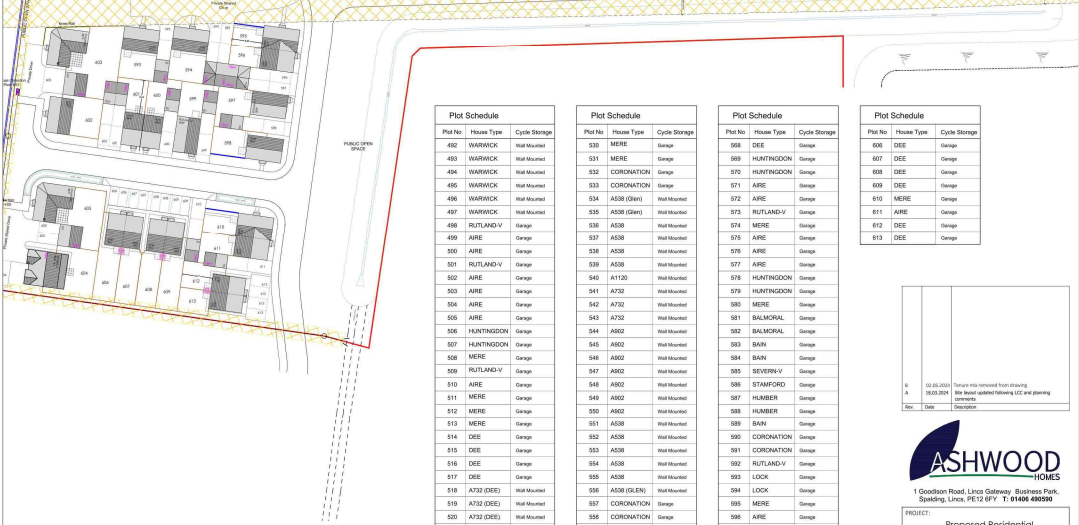
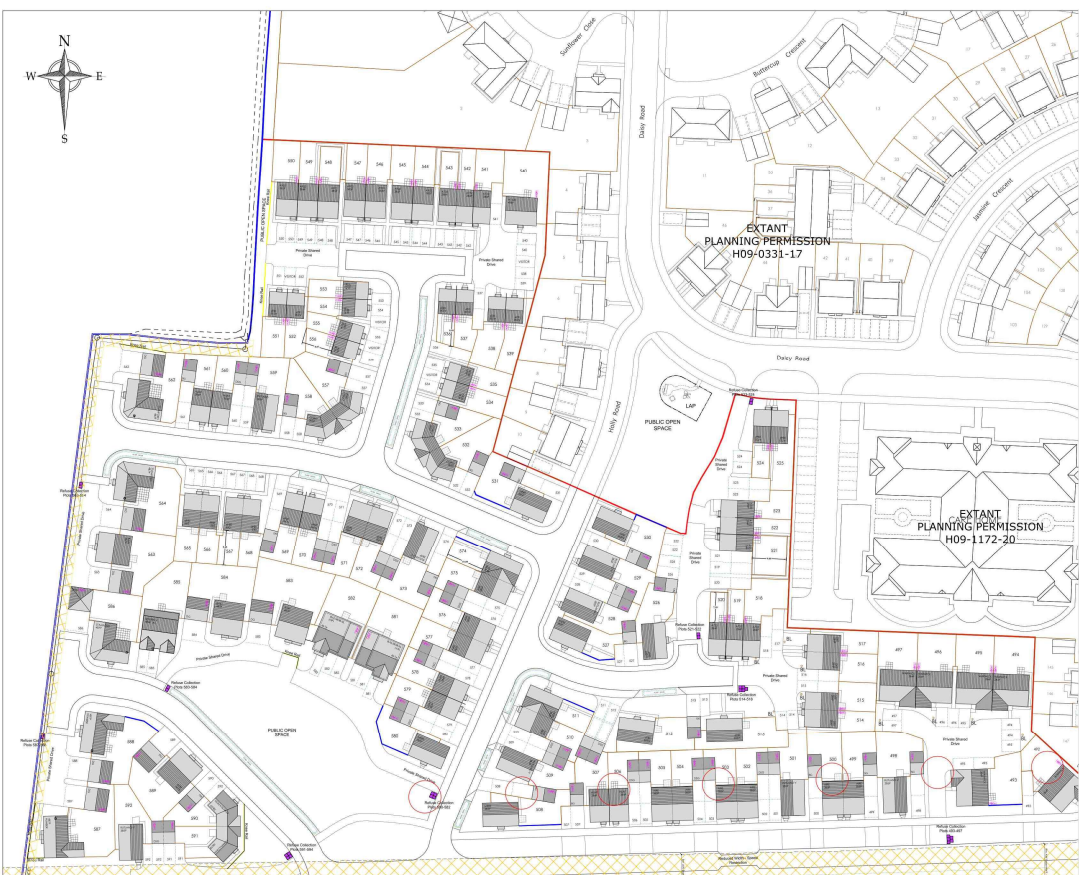


BOUNDARY TYPE - D
Knee Rail

C	02.05.24	Tenure mix removed from drawing
B	18.03.24	Layout amended to LCC and planning comments
A	30.01.24	IDB Piped section amended, easement updated
Rev.	Date	Description



PROJECT:	Proposed Residential Development at Holbeach Meadows	
DRAWING:	Boundary Treatment Plan Phase 3 - Northern Site Plots (163 No. Plots)	
SCALE:	1:500@A1	DRAWN: GB
DATE:	NOVEMBER.2023	REVISION: C
DRAWING No:	137-BT-12	



Cycle Storage

Houses with garages - Cycles to be stored in garage.

Houses with out garages To be provided with secure screwed wall mounted padlock loop within private garden area.

Plot No.	House Type	Cycle Storage
482	WARWICK	Wall Mounted
483	WARWICK	Wall Mounted
484	WARWICK	Wall Mounted
485	WARWICK	Wall Mounted
486	WARWICK	Wall Mounted
487	WARWICK	Wall Mounted
488	RUTLAND-V	Garage
489	AIRE	Garage
500	AIRE	Garage
501	RUTLAND-V	Garage
502	AIRE	Garage
503	AIRE	Garage
504	AIRE	Garage
505	AIRE	Garage
506	HUNTINGDON	Garage
507	HUNTINGDON	Garage
508	MERE	Garage
509	RUTLAND-V	Garage
510	AIRE	Garage
511	MERE	Garage
512	MERE	Garage
513	MERE	Garage
514	DEE	Garage
515	DEE	Garage
516	DEE	Garage
517	DEE	Garage
518	AT32 (DEE)	Wall Mounted
519	AT32 (DEE)	Wall Mounted
520	AT32 (DEE)	Wall Mounted
521	AT32 (DEE)	Wall Mounted
522	AT32 (DEE)	Wall Mounted
523	AT32 (DEE)	Wall Mounted
524	AT32 (DEE)	Wall Mounted
525	AT32 (DEE)	Wall Mounted
526	MERE	Garage
527	MERE	Garage
528	RUTLAND-V	Garage
529	RUTLAND-V	Garage

Plot No.	House Type	Cycle Storage
530	MERE	Garage
531	MERE	Garage
532	CORONATION	Garage
533	CORONATION	Garage
534	ASB (GAR)	Wall Mounted
535	ASB (GAR)	Wall Mounted
536	ASB	Wall Mounted
537	ASB	Wall Mounted
538	ASB	Wall Mounted
539	ASB	Wall Mounted
540	A1120	Wall Mounted
541	AT32	Wall Mounted
542	AT32	Wall Mounted
543	AT32	Wall Mounted
544	AR2	Wall Mounted
545	AR2	Wall Mounted
546	AR2	Wall Mounted
547	AR2	Wall Mounted
548	AR2	Wall Mounted
549	AR2	Wall Mounted
550	AR2	Wall Mounted
551	ASB	Wall Mounted
552	ASB	Wall Mounted
553	ASB	Wall Mounted
554	ASB	Wall Mounted
555	ASB	Wall Mounted
556	ASB (GLEN)	Wall Mounted
557	CORONATION	Garage
558	CORONATION	Garage
559	RUTLAND-V	Garage
560	HUNTINGDON	Garage
561	HUNTINGDON	Garage
562	STAMFORD	Garage
563	BAN	Garage
564	STAMFORD	Garage
565	DEE	Garage
566	DEE	Garage
567	DEE	Garage

Plot No.	House Type	Cycle Storage
568	DEE	Garage
569	HUNTINGDON	Garage
570	HUNTINGDON	Garage
571	AIRE	Garage
572	AIRE	Garage
573	RUTLAND-V	Garage
574	MERE	Garage
575	AR2	Garage
576	AIRE	Garage
577	AIRE	Garage
578	HUNTINGDON	Garage
579	HUNTINGDON	Garage
580	MERE	Garage
581	BALMORAL	Garage
582	BALMORAL	Garage
583	BAN	Garage
584	BAN	Garage
585	SEVERN-V	Garage
586	STAMFORD	Garage
587	HAMBUR	Garage
588	HAMBUR	Garage
589	BAN	Garage
590	CORONATION	Garage
591	CORONATION	Garage
592	RUTLAND-V	Garage
593	LOCK	Garage
594	LOCK	Garage
595	MERE	Garage
596	AIRE	Garage
597	RUTLAND-V	Garage
598	MERE	Garage
599	RUTLAND-V	Garage
600	HUNTINGDON	Garage
601	HUNTINGDON	Garage
602	LOCK	Garage
603	STAMFORD	Garage
604	SEVERN-V	Garage
605	STAMFORD	Garage

Plot No.	House Type	Cycle Storage
606	DEE	Garage
607	DEE	Garage
608	DEE	Garage
609	DEE	Garage
610	MERE	Garage
611	AIRE	Garage
612	DEE	Garage
613	DEE	Garage

Plot No.	House Type	Cycle Storage
614	DEE	Garage
615	DEE	Garage
616	DEE	Garage
617	DEE	Garage
618	DEE	Garage
619	DEE	Garage
620	DEE	Garage
621	DEE	Garage
622	DEE	Garage
623	DEE	Garage
624	DEE	Garage
625	DEE	Garage
626	DEE	Garage
627	DEE	Garage
628	DEE	Garage
629	DEE	Garage
630	DEE	Garage
631	DEE	Garage
632	DEE	Garage
633	DEE	Garage
634	DEE	Garage
635	DEE	Garage
636	DEE	Garage
637	DEE	Garage
638	DEE	Garage
639	DEE	Garage
640	DEE	Garage
641	DEE	Garage
642	DEE	Garage
643	DEE	Garage
644	DEE	Garage
645	DEE	Garage
646	DEE	Garage
647	DEE	Garage
648	DEE	Garage
649	DEE	Garage
650	DEE	Garage
651	DEE	Garage
652	DEE	Garage
653	DEE	Garage
654	DEE	Garage
655	DEE	Garage
656	DEE	Garage
657	DEE	Garage
658	DEE	Garage
659	DEE	Garage
660	DEE	Garage
661	DEE	Garage
662	DEE	Garage
663	DEE	Garage
664	DEE	Garage
665	DEE	Garage
666	DEE	Garage
667	DEE	Garage
668	DEE	Garage
669	DEE	Garage
670	DEE	Garage
671	DEE	Garage
672	DEE	Garage
673	DEE	Garage
674	DEE	Garage
675	DEE	Garage
676	DEE	Garage
677	DEE	Garage
678	DEE	Garage
679	DEE	Garage
680	DEE	Garage
681	DEE	Garage
682	DEE	Garage
683	DEE	Garage
684	DEE	Garage
685	DEE	Garage
686	DEE	Garage
687	DEE	Garage
688	DEE	Garage
689	DEE	Garage
690	DEE	Garage
691	DEE	Garage
692	DEE	Garage
693	DEE	Garage
694	DEE	Garage
695	DEE	Garage
696	DEE	Garage
697	DEE	Garage
698	DEE	Garage
699	DEE	Garage
700	DEE	Garage

ASHWOOD HOMES

1 Goodson Road, Lina Gateway, Business Park, Spalding, Lincs, PE12 6FY T: 01406 490990

PROJECT: Proposed Residential Development at Holbeach Meadows

DRAWING: Cycle Storage Plan Phase 3 - Southern Site Plots (122 No. Plots)

SCALE: 1:5000A1 DRAWN: GB

DATE: NOVEMBER, 2023 REVISION: B

DRAWING NO: 137-CSP-23



Plot No	House Type	Cycle Storage
331	RUTLAND-V	Garage
332	HUNTINGDON	Garage
333	HUNTINGDON	Garage
334	RUTLAND-V	Garage
335	RUTLAND-V	Garage
336	HUMBER	Garage
337	STAMFORD	Garage
338	RUTLAND-V	Garage
339	MERE	Garage
340	LOCK	Garage
341	RUTLAND-V	Garage
342	MERE	Garage
343	RUTLAND-V	Garage
344	CORONATION	Garage
345	CORONATION	Garage
346	RUTLAND-V	Garage
347	MERE	Garage
348	HUMBER	Garage
349	HUMBER	Garage
350	MEDWAY	Garage
351	MERE	Garage
352	HUNTINGDON	Garage
353	HUNTINGDON	Garage
354	CORONATION	Garage
355	CORONATION	Garage
356	BAIN	Garage
357	HUMBER	Garage
358	AIRE	Garage
359	MERE	Garage
360	CORONATION	Garage
361	CORONATION	Garage
362	STAMFORD	Garage
363	RUTLAND-V	Garage
364	STAMFORD	Garage
365	WORCESTER	Wall Mounted
366	WORCESTER	Wall Mounted
367	A732	Wall Mounted
368	A732	Wall Mounted
369	A732	Wall Mounted
370	A802 (AIRE)	Wall Mounted
371	A802 (AIRE)	Wall Mounted
372	A802 (AIRE)	Wall Mounted
373	A802 (AIRE)	Wall Mounted
374	A802 (AIRE)	Wall Mounted
375	WARWICK	Wall Mounted
376	WARWICK	Wall Mounted
377	A802 (AIRE)	Wall Mounted
378	A802 (AIRE)	Wall Mounted
379	A802 (AIRE)	Wall Mounted
380	A732	Wall Mounted
381	A732	Wall Mounted
382	A732	Wall Mounted
383	A732	Wall Mounted
384	A732	Wall Mounted
385	A732	Wall Mounted
386	A732	Wall Mounted
387	A732	Wall Mounted
388	A732	Wall Mounted
389	A732	Wall Mounted
390	A802 (AIRE)	Wall Mounted
391	A802 (AIRE)	Wall Mounted
392	A732 (DEE)	Wall Mounted
393	A732 (DEE)	Wall Mounted
394	A732 (DEE)	Wall Mounted
395	A802 (AIRE)	Wall Mounted
396	A802 (AIRE)	Wall Mounted
397	A732	Wall Mounted
398	A732	Wall Mounted

Plot No	House Type	Cycle Storage
399	A575	Wall Mounted
400	A575	Wall Mounted
401	A575	Wall Mounted
402	A575	Wall Mounted
403	A802	Wall Mounted
404	A802	Wall Mounted
405	A802 (AIRE)	Wall Mounted
406	A802 (AIRE)	Wall Mounted
407	A802 (AIRE)	Wall Mounted
408	A802 (AIRE)	Wall Mounted
409	A802 (AIRE)	Wall Mounted
410	A802 (AIRE)	Wall Mounted
411	A538	Wall Mounted
412	A538	Wall Mounted
413	A538	Wall Mounted
414	A538	Wall Mounted
415	HUNTINGDON	Garage
416	HUNTINGDON	Garage
417	RUTLAND-V	Garage
418	LOCK	Garage
419	HUNTINGDON	Garage
420	HUNTINGDON	Garage
421	AIRE	Garage
422	AIRE	Garage
423	RUTLAND-V	Garage
424	MERE	Garage
425	RUTLAND-V	Garage
426	AIRE	Garage
427	MERE	Garage
428	HUNTINGDON	Garage
429	HUNTINGDON	Garage
430	RUTLAND-V	Garage
431	A732	Wall Mounted
432	A732	Wall Mounted
433	A802	Wall Mounted
434	A802	Wall Mounted
435	A802 (AIRE)	Wall Mounted
436	A802 (AIRE)	Wall Mounted
437	A802 (AIRE)	Wall Mounted
438	A802 (AIRE)	Wall Mounted
439	A802 (AIRE)	Wall Mounted
440	A802 (AIRE)	Wall Mounted
441	WARWICK	Wall Mounted
442	MERE	Garage
443	SEVERN-V	Garage
444	CORONATION	Garage
445	CORONATION	Garage

Plot No	House Type	Cycle Storage
447	RUTLAND-V	Garage
448	MERE	Garage
449	RUTLAND-V	Garage
450	AIRE	Garage
451	AIRE	Garage
452	MERE	Garage
453	MERE	Garage
454	SEVERN-V	Garage
455	RUTLAND-V	Garage
456	MERE	Garage
457	RUTLAND-V	Garage
458	AIRE	Garage
459	MERE	Garage
460	RUTLAND-V	Garage
461	SEVERN-V	Garage
462	SEVERN-V	Garage
463	MERE	Garage
464	HUNTINGDON	Garage
465	HUNTINGDON	Garage
466	CORONATION	Garage
467	CORONATION	Garage
468	RIBBLE-V	Garage
469	HUMBER	Garage
470	RUTLAND-V	Garage
471	A732 (DEE)	Wall Mounted
472	A732 (DEE)	Wall Mounted
473	A732 (DEE)	Wall Mounted
474	A802 (AIRE)	Wall Mounted
475	A802 (AIRE)	Wall Mounted
476	A802 (AIRE)	Wall Mounted
477	A802 (AIRE)	Wall Mounted
478	A802	Wall Mounted
479	A802	Wall Mounted
480	A732	Wall Mounted
481	A732	Wall Mounted
482	A732	Wall Mounted
483	A732	Wall Mounted
484	A732	Wall Mounted
485	A732	Wall Mounted
486	A732	Wall Mounted
487	A732	Wall Mounted
488	A732	Wall Mounted
489	A538	Wall Mounted
490	A538	Wall Mounted
491	A538	Wall Mounted

Cycle Storage

Houses with garages - Cycles to be stored in garage.

Houses with out garages - To be provided with secure wall mounted padlock screwed within private garden area.



Rev.	Date	Description
C	02.05.24	Tenure mix removed from drawing
B	18.03.24	Layout amended to LCC and planning comments
A	10.01.24	IDB Piped section amended, easement updated



1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8PY T: 01456 486598

PROJECT: Proposed Residential Development at Hobbeach Meadows

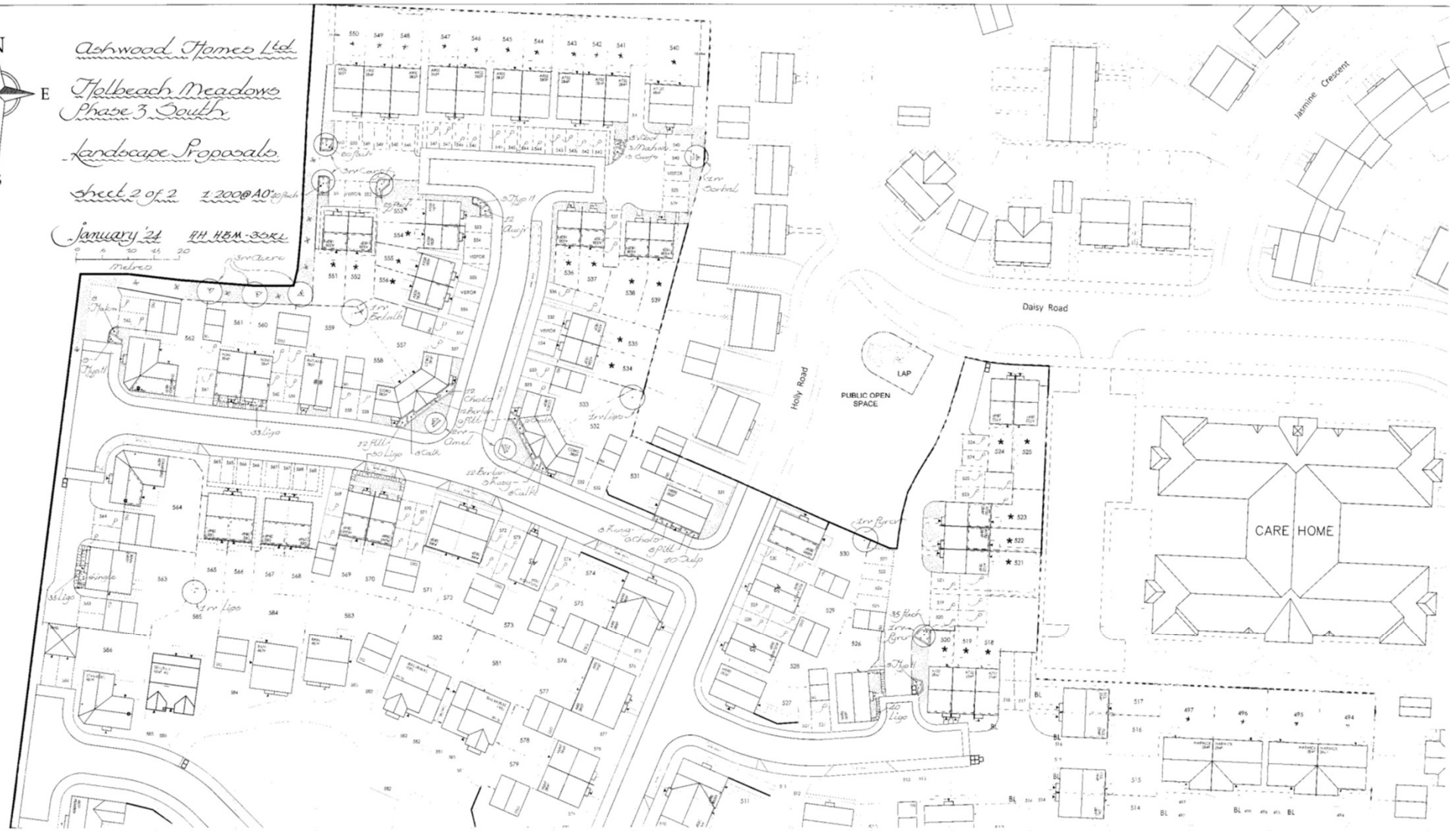
DRAWING: Cycle Storage Plan Phase 3 - Northern Site Plots (163 No. Plots)

SCALE: 1:750@A1 DRAWN: GB
DATE: NOVEMBER, 2023 REVISION: C

DRAWING No: 137-CSP-13



Ashwood Homes Ltd
Holbeach Meadows
Phase 3 South
Landscape Proposals
Sheet 2 of 2 1:200 @ A0
January '21 RH HEM-35KL





Ashwood Homes Ltd
 Holbeach Meadows
 Phase 3 North
 Landscape Proposal
 Sheet 2 of 2
 1:200 @ A0
 AH - HEM 3 NAL - January 24



GROUND FLOOR

4 Bed 1560sqft/144.92Sqm



FIRST FLOOR



CGI



FRONT ELEVATION



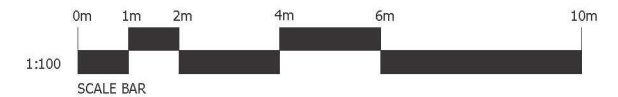
SIDE ELEVATION

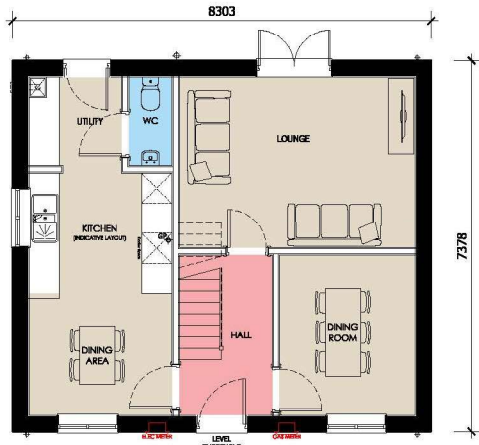


SIDE ELEVATION

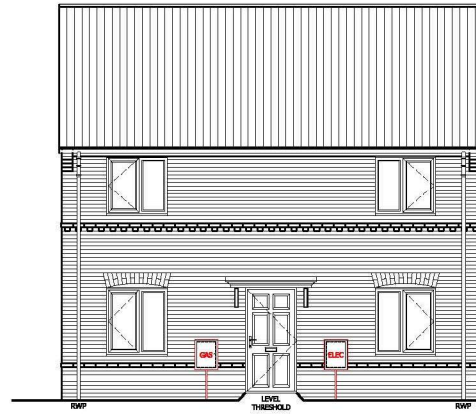


HOUSE TYPE:	Stamford (1560 FT ²)
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Stamford - 001 - A

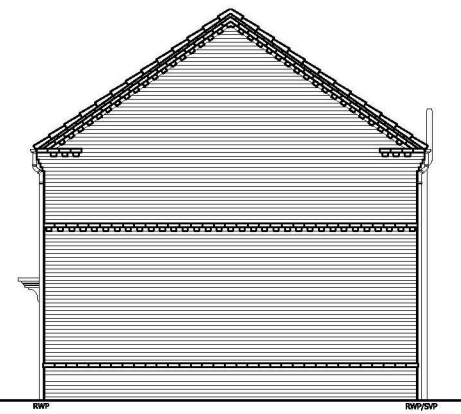




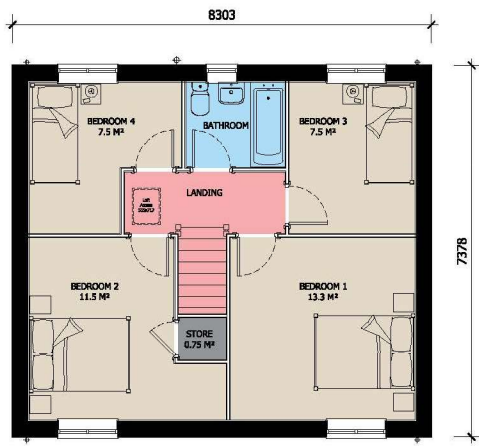
GROUND FLOOR



FRONT ELEVATION



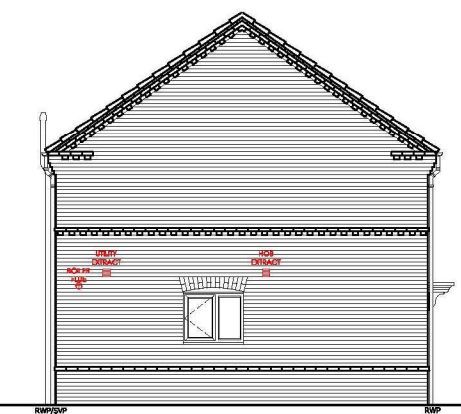
SIDE ELEVATION



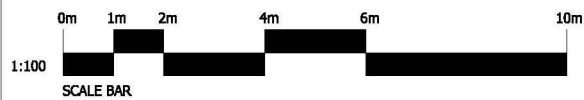
FIRST FLOOR




REAR ELEVATION



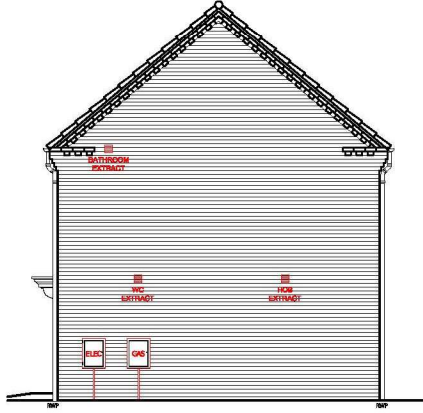
SIDE ELEVATION



 <p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490590</p>	HOUSE TYPE: A1120 AS (1120 FT²)
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: A1120 AS-001



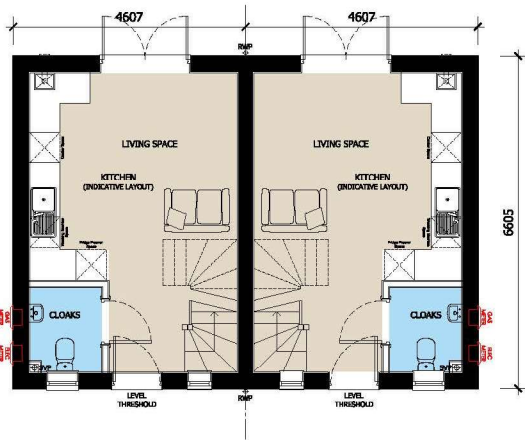
FRONT ELEVATION



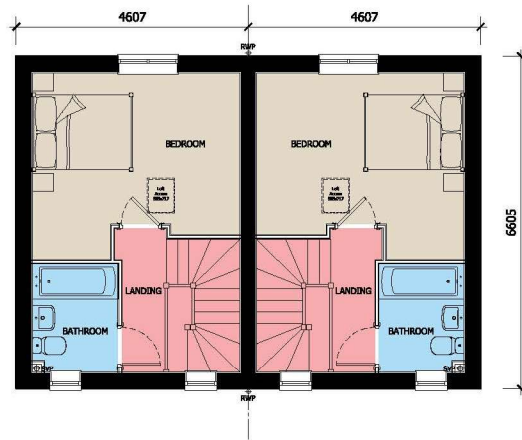
SIDE ELEVATION



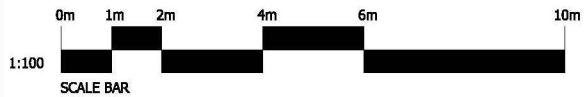
REAR ELEVATION




GROUND FLOOR



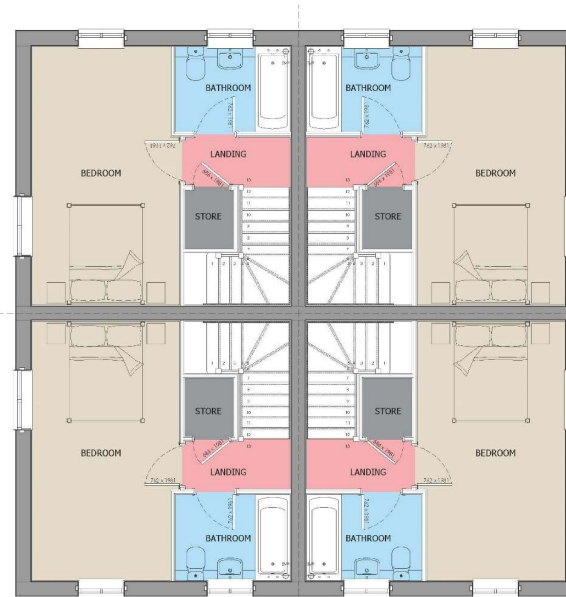
FIRST FLOOR



 <p>1 Goodison Road, Lincs Getway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490590</p>	HOUSE TYPE:	A538(R) (538 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	A538(R)-001



GROUND FLOOR
3 Bed 575Sqft/53.41Sqm



FIRST FLOOR



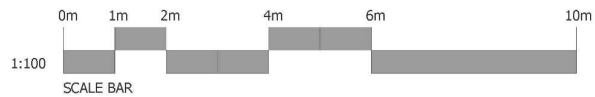
SIDE ELEVATION



SIDE ELEVATION

SIDE ELEVATION

SIDE ELEVATION

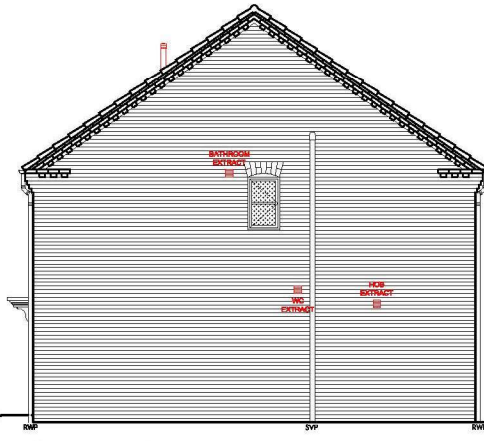


1 Goodison Road, Lincs Gateway Business Park,
Spalding, Lincs. PE12 6FY T: 01406 480590

HOUSE TYPE:
A575 - V - DS - 001
(575 sq ft)



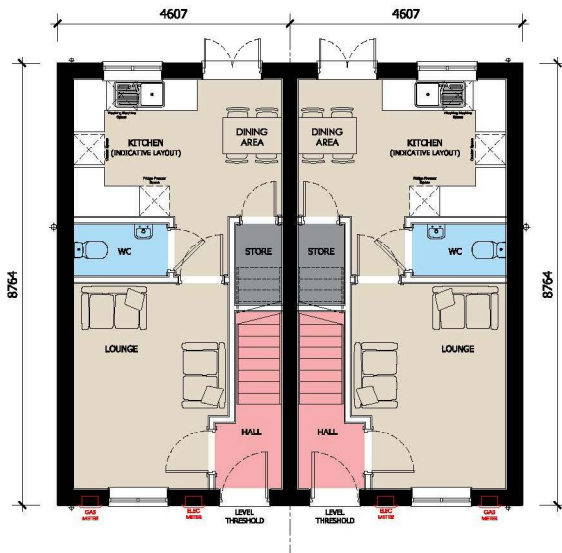
FRONT ELEVATION



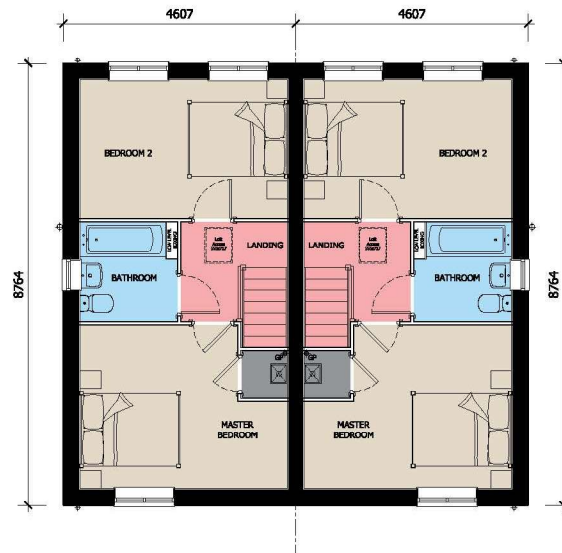
SIDE ELEVATION



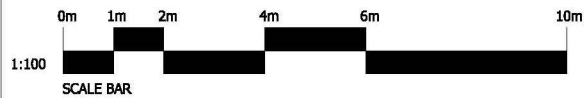
REAR ELEVATION




GROUND FLOOR



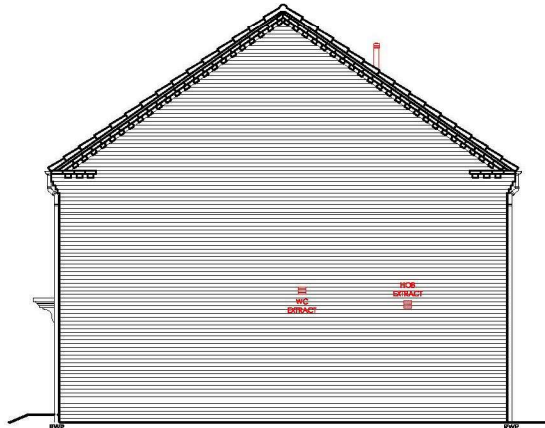
FIRST FLOOR



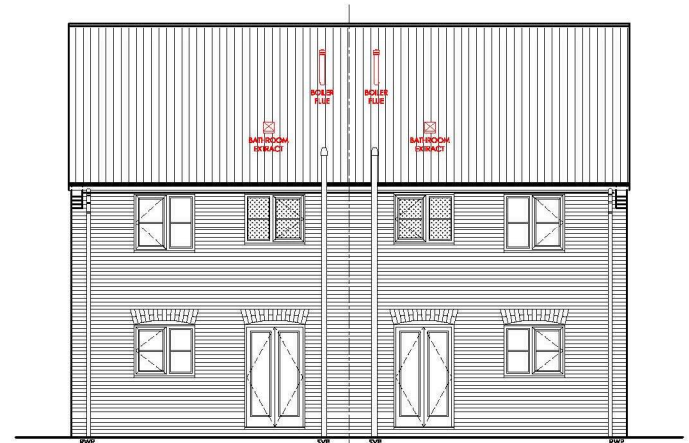
 <p>1 Goodison Road, Lincs Getway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490590</p>	HOUSE TYPE:	A732(R) (732 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	A732(R)-001



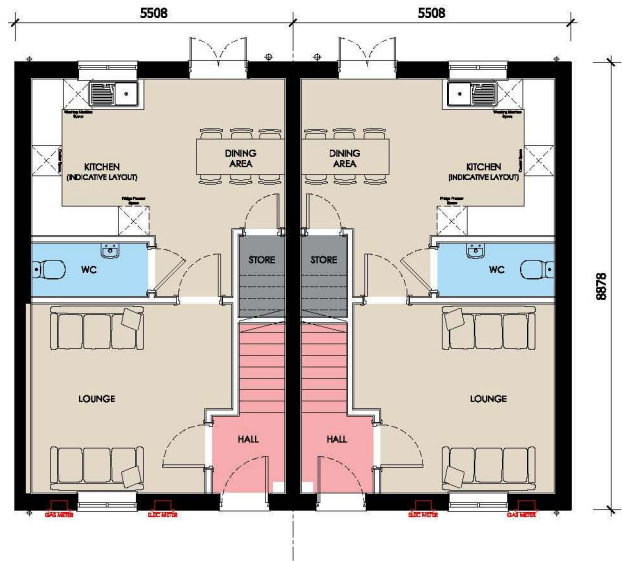
FRONT ELEVATION



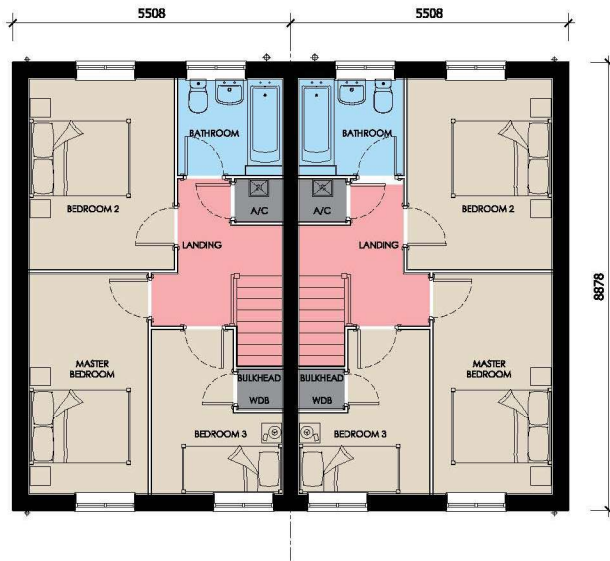
SIDE ELEVATION



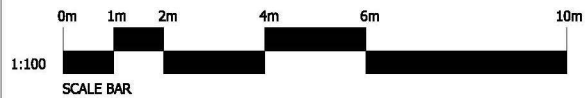
REAR ELEVATION




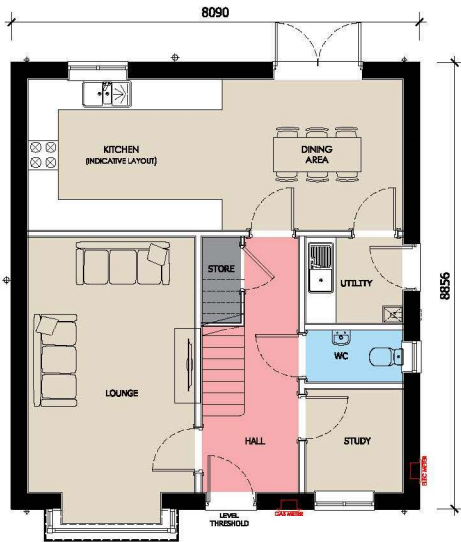
GROUND FLOOR



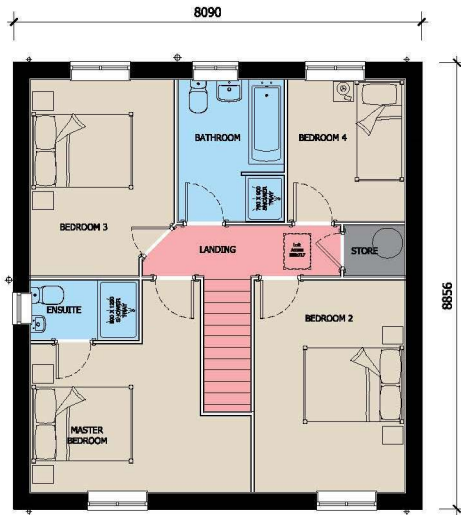
FIRST FLOOR



 <p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490590</p>	HOUSE TYPE:	A902(R) (902 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	A902(R)-001



GROUND FLOOR



FIRST FLOOR




FRONT ELEVATION

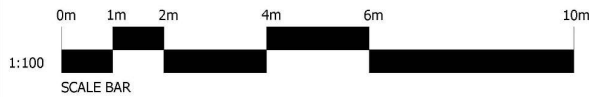
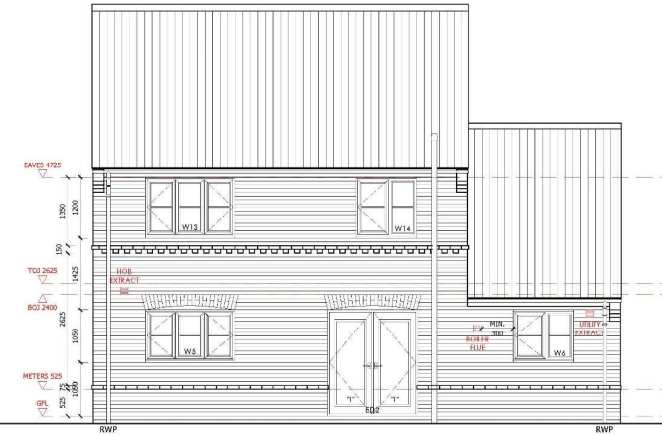
SIDE ELEVATION

REAR ELEVATION

SIDE ELEVATION



 <p>1 Goodison Road, Lincs Getaway Business Park, Spalding, Lincs, PE12 8FY T: 01406 480590</p>	HOUSE TYPE:	BAIN (1310 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	BAIN-001



<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 480590</p>	HOUSE TYPE: BARMORAL (1460)
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: BALMORAL-001



GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



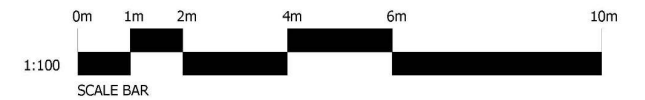
SIDE ELEVATION



REAR ELEVATION



HOUSE TYPE:	Coronation(1560 FT ²)
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Coronation - 001 - A





North Elevation



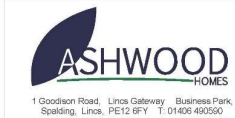
East Elevation



West Elevation

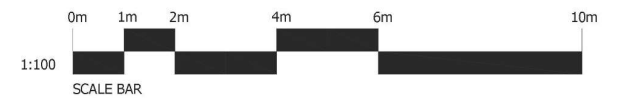


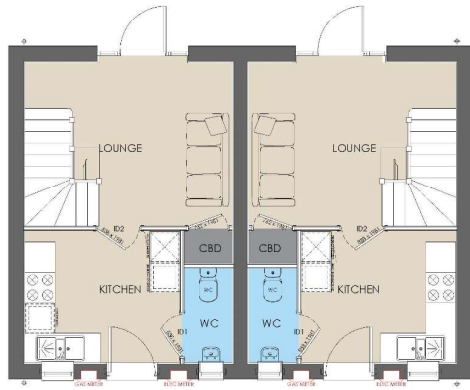
South Elevation



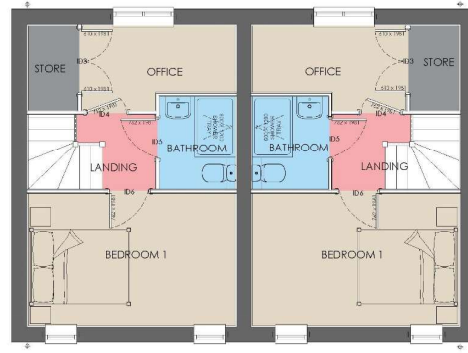
1 Goodison Road, Lincs Gateway Business Park,
Spalding, Lincs, PE12 6FY T: 01406 490590

HOUSE TYPE:	Existing Dwelling
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	ED -001





GROUND



FIRST

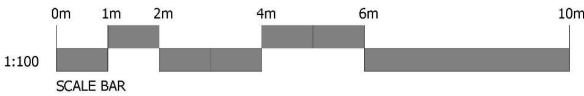


SIDE ELEVATION

FRONT ELEVATION

REAR ELEVATION

SIDE ELEVATION



1 Goodiron Road, Lincs Gateway Business Park,
Spalding, Lincs. PE12 6FY T: 01406 480590

HOUSE TYPE: GLEN - DS - 001
(538 sq ft)



GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



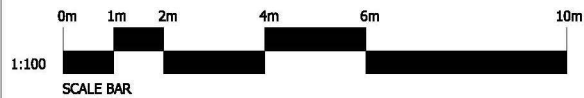
SIDE ELEVATION



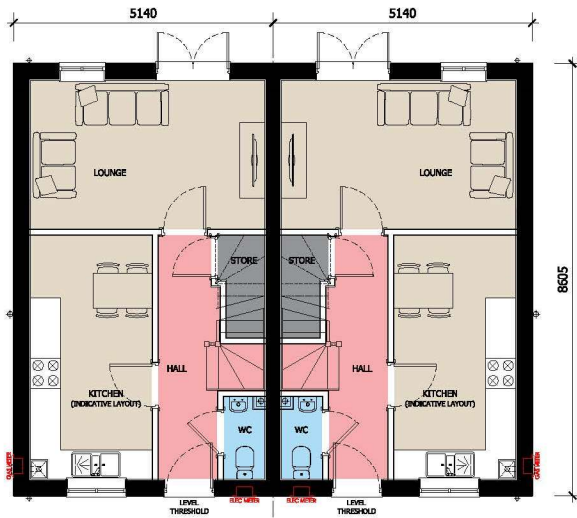
REAR ELEVATION



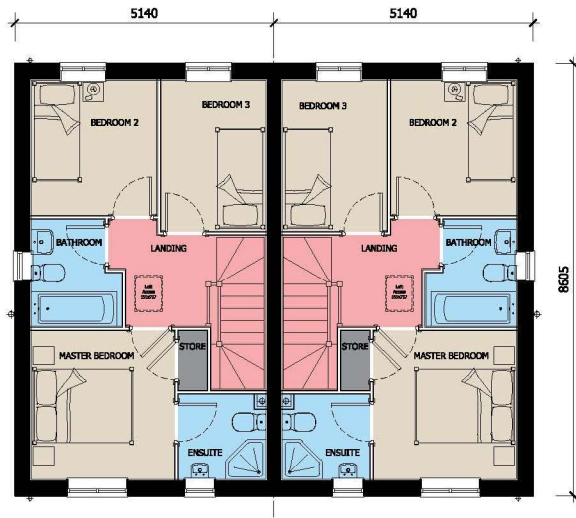
SIDE ELEVATION



HOUSE TYPE:	HUMBER (1578 FT ²)
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	HUMBER-001



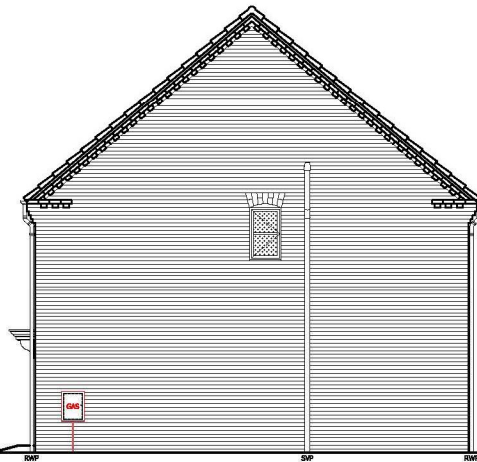
GROUND FLOOR



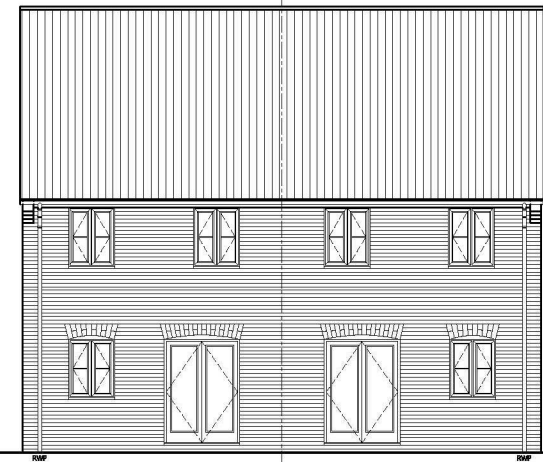
FIRST FLOOR



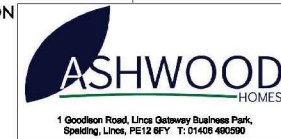
FRONT ELEVATION



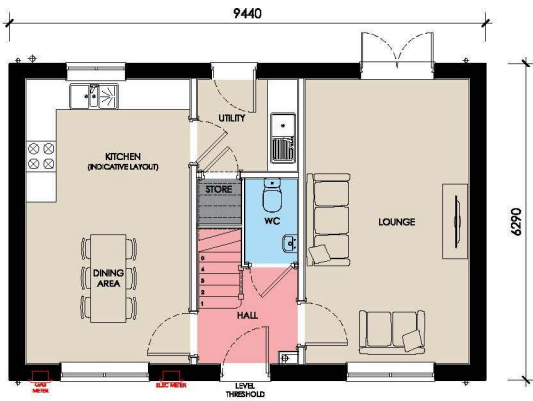
SIDE ELEVATION



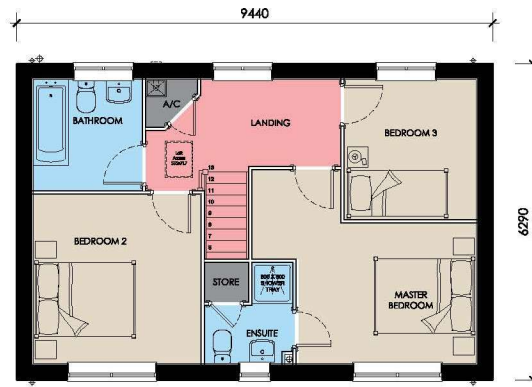
REAR ELEVATION



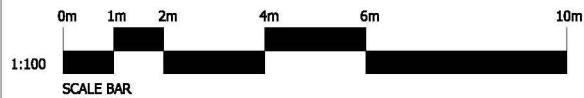
HOUSE TYPE:	HUNTINGDON (796 FT ²)
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	HUNTINGDON-001



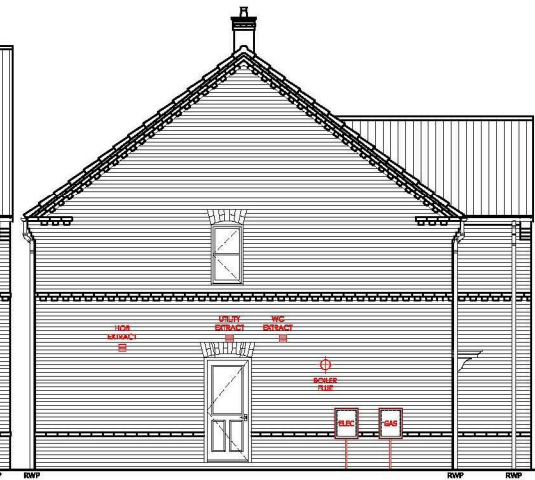
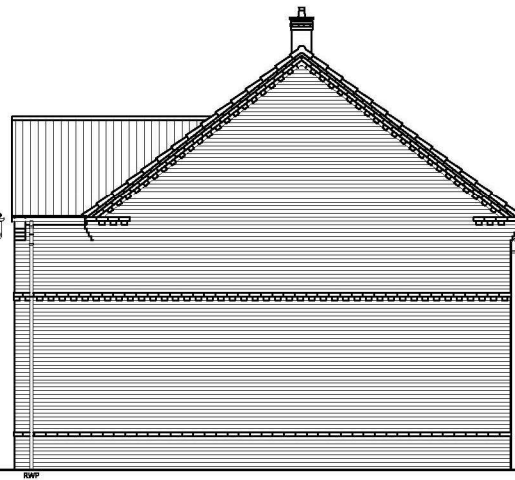
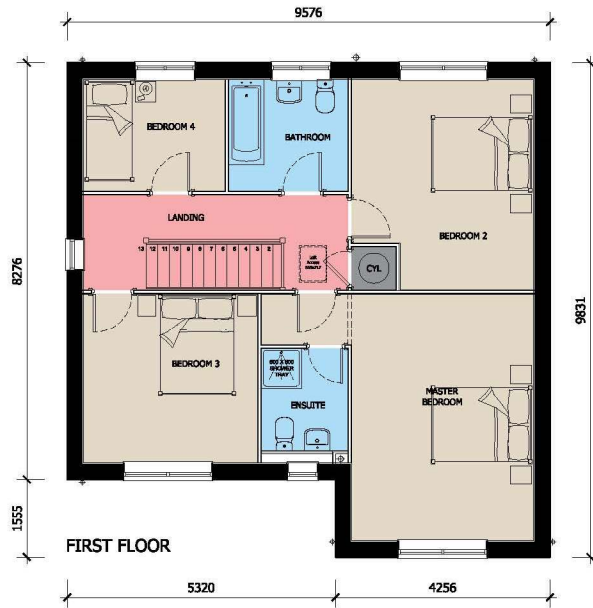
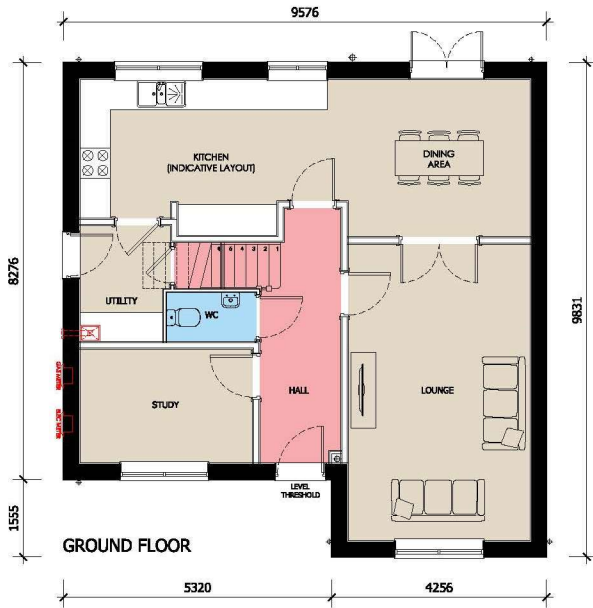
GROUND FLOOR



FIRST FLOOR



<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01408 480590</p>	HOUSE TYPE:	LOCK (1079 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	LOCK-001

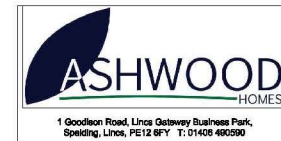
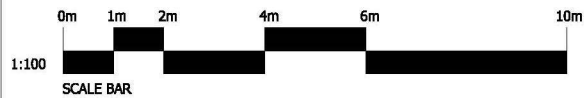


FRONT ELEVATION

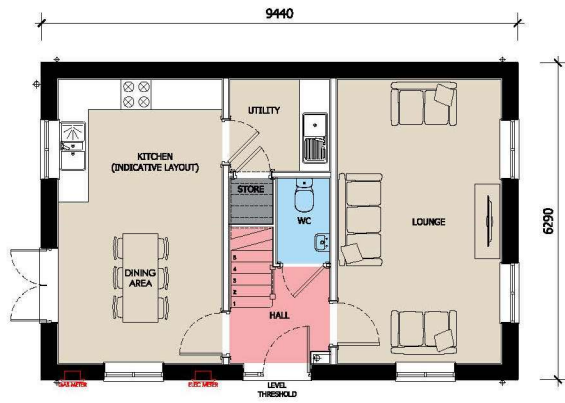
SIDE ELEVATION

REAR ELEVATION

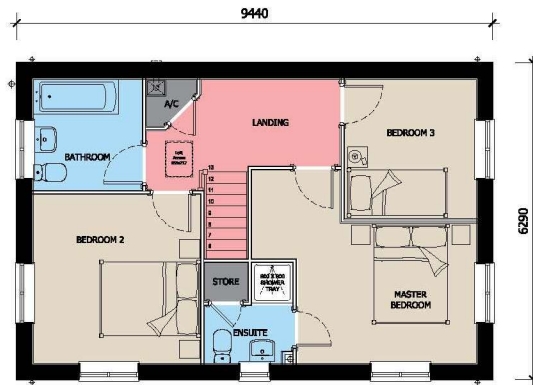
SIDE ELEVATION



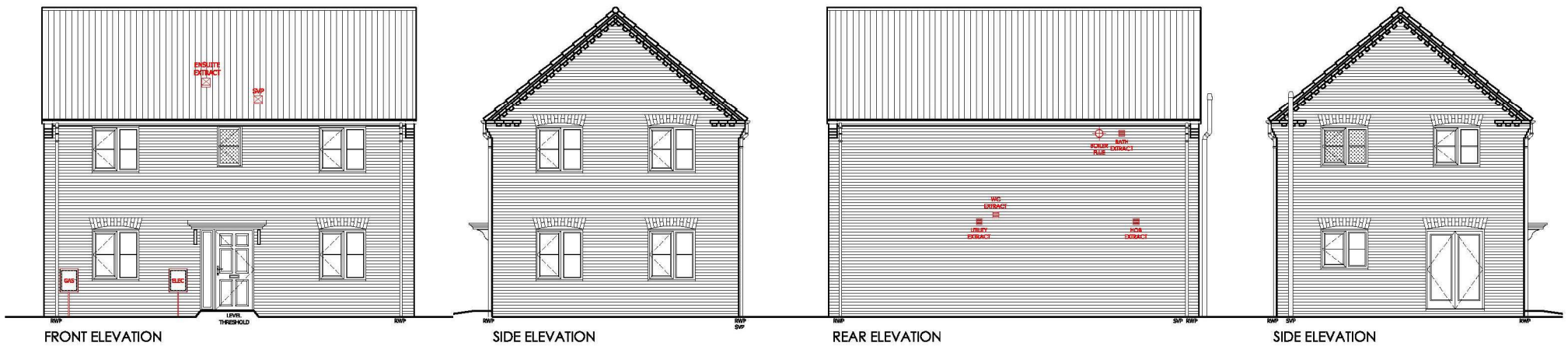
HOUSE TYPE:	MEDWAY (1603 FT ²)
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	MEDWAY-001



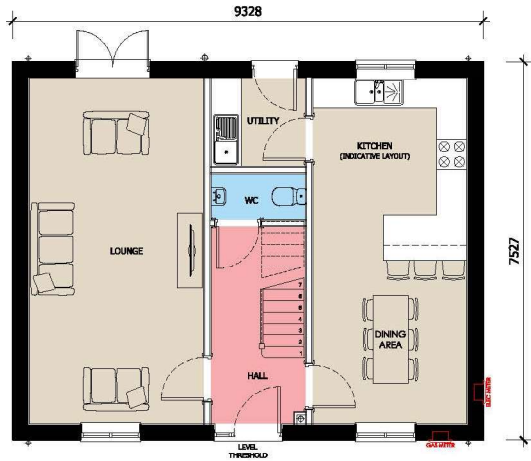
GROUND FLOOR



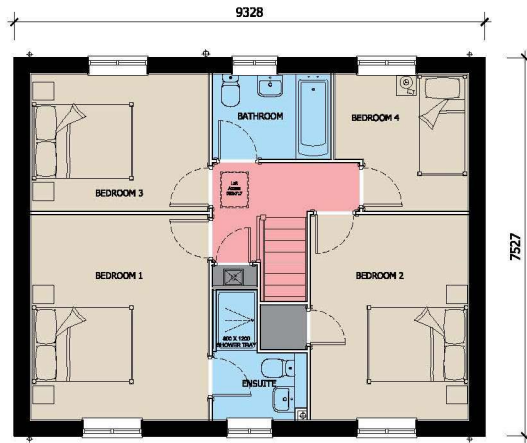
FIRST FLOOR



<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01408 480590</p>	HOUSE TYPE:	MERE (1080 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	MERE-001



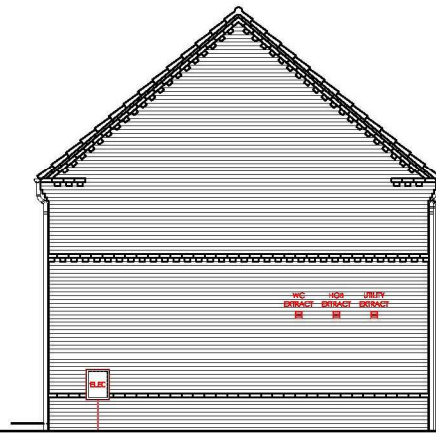
GROUND FLOOR



FIRST FLOOR



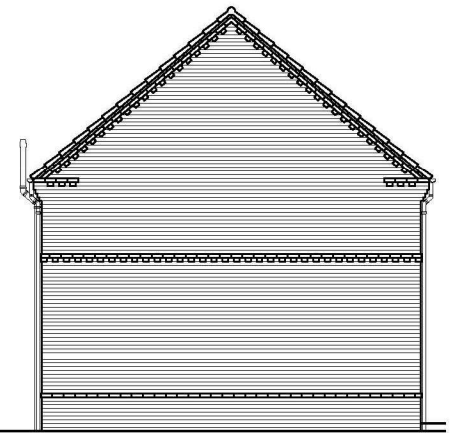
FRONT ELEVATION



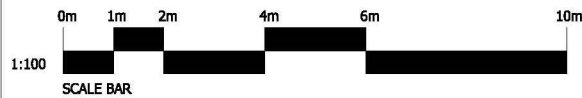
SIDE ELEVATION



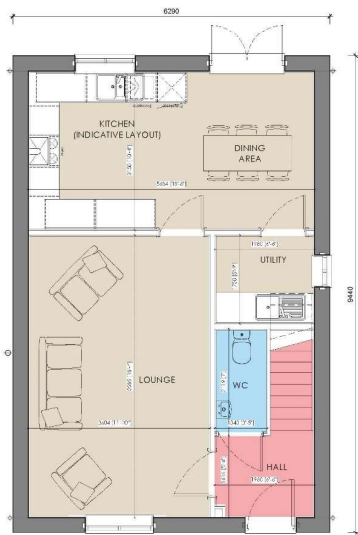
REAR ELEVATION



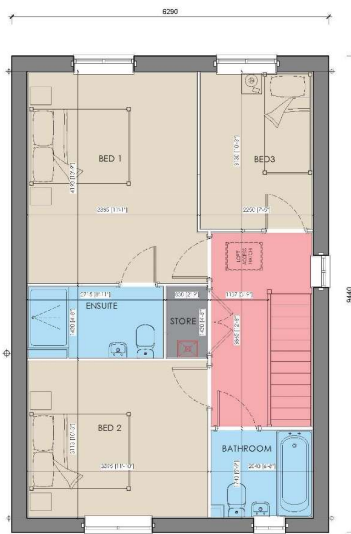
SIDE ELEVATION



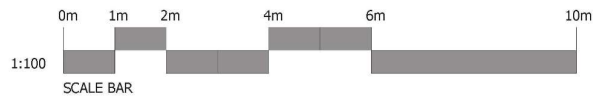
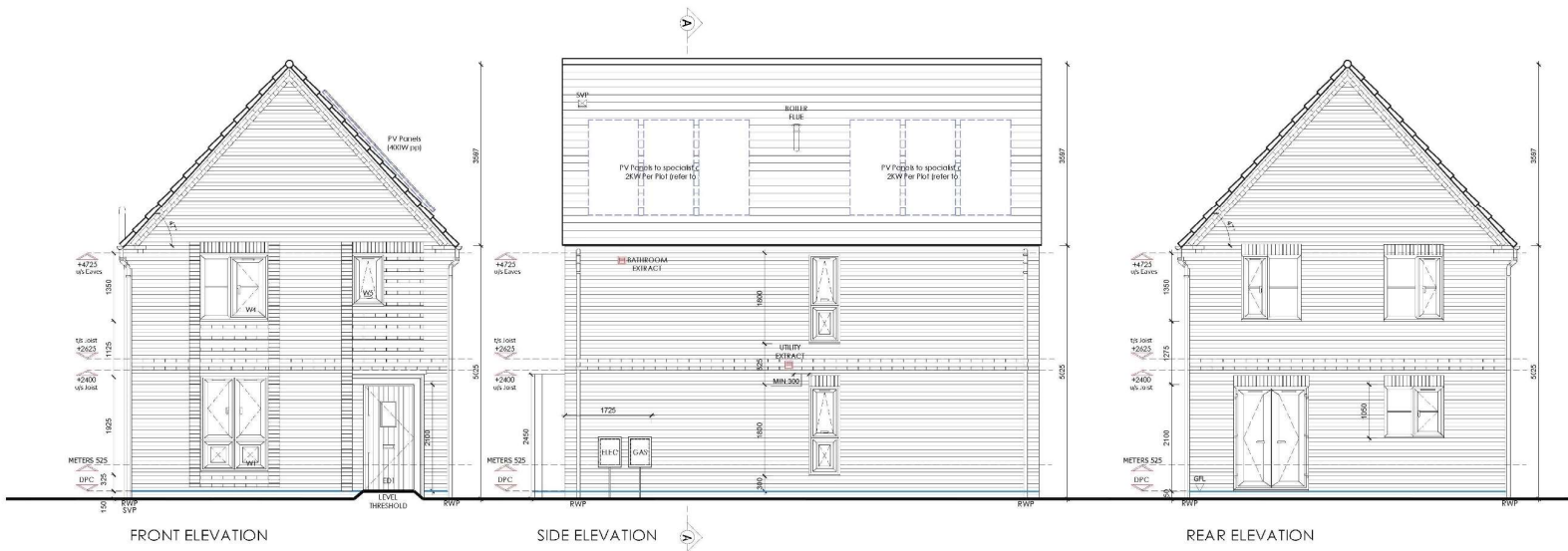
<p>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY T: 01406 490590</p>	HOUSE TYPE:	RIBBLE-V (1283 FT ²)
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	RIBBLE-V-001



GROUND FLOOR

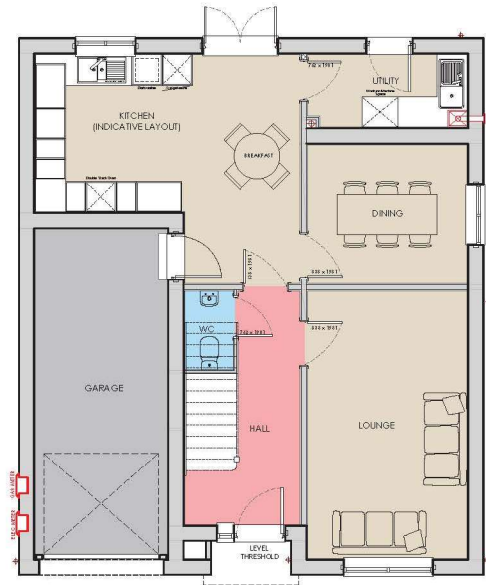


FIRST FLOOR

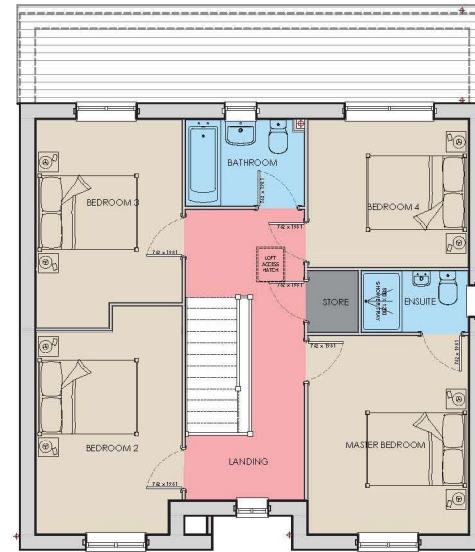


1 Goodison Road, Lincs Gateway Business Park,
Spalding, Lincs. PE12 6FY T: 01406 480590

HOUSE TYPE:
RUTLAND - V - DS - 001
(1080 sq ft)



GROUND FLOOR



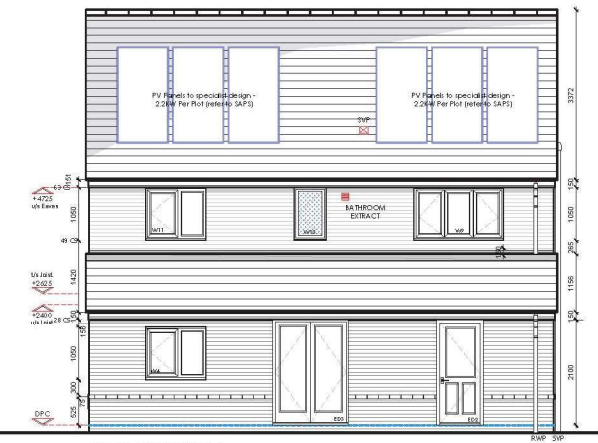
FIRST FLOOR



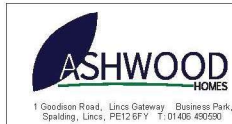
FRONT ELEVATION



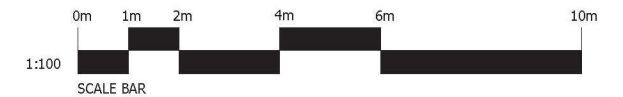
SIDE ELEVATION

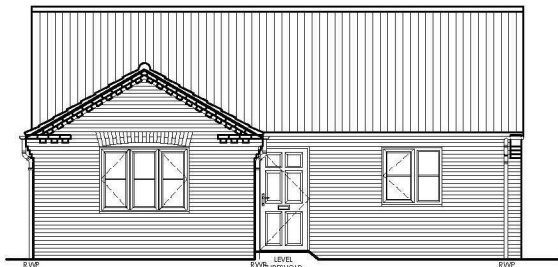


REAR ELEVATION



HOUSE TYPE:	Severn - V (1442 FT ²)
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Severn - V - 001

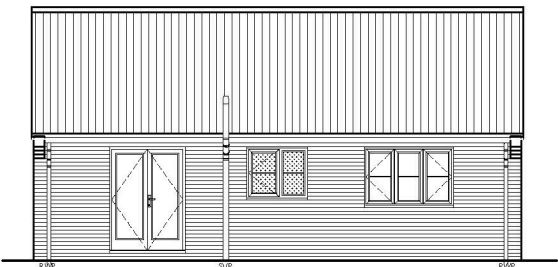




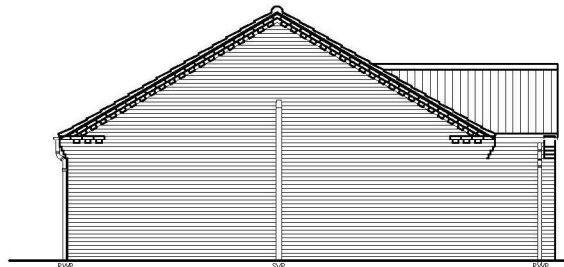
FRONT ELEVATION



SIDE ELEVATION



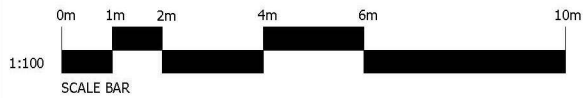
REAR ELEVATION



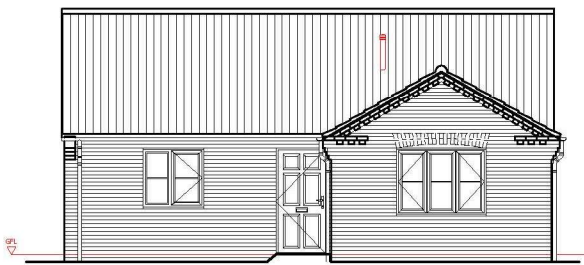
SIDE ELEVATION



GROUND FLOOR



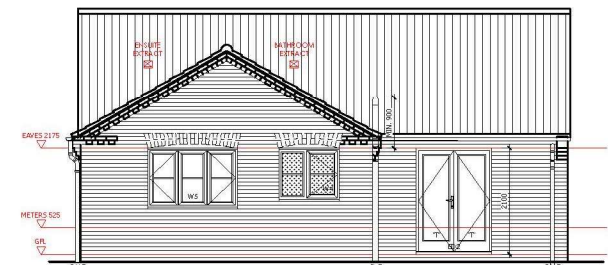
 1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490990	HOUSE TYPE: WARWICK (802 FT ²)
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: WARWICK-001



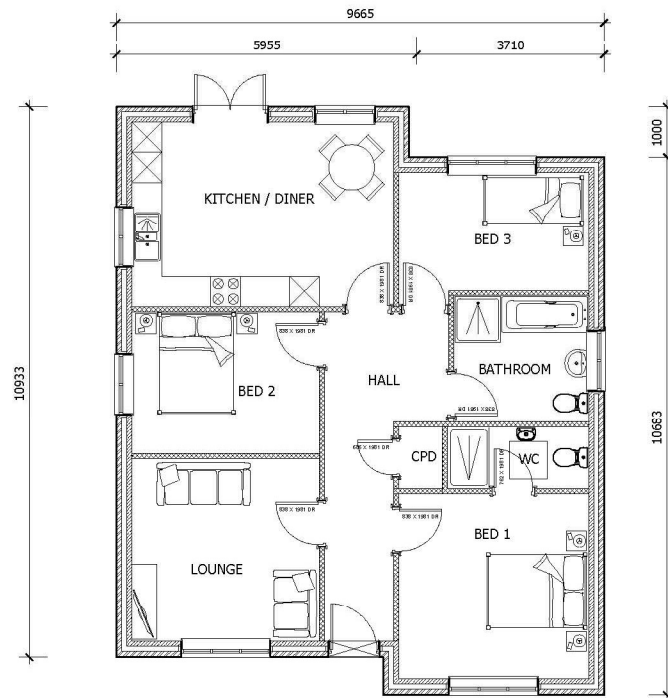
FRONT ELEVATION



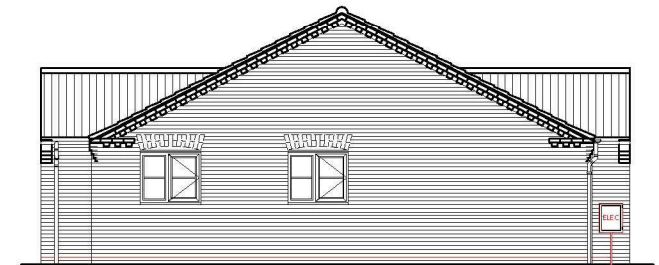
SIDE ELEVATION



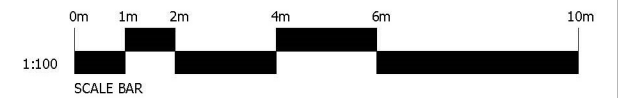
REAR ELEVATION



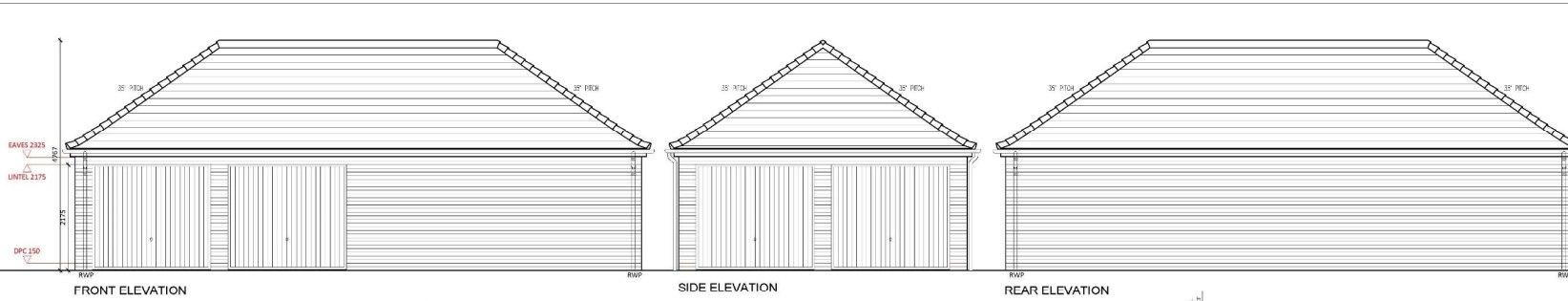
GROUND FLOOR PLAN



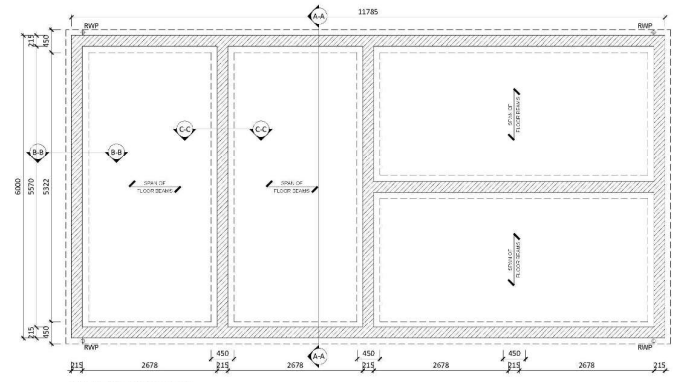
SIDE ELEVATION



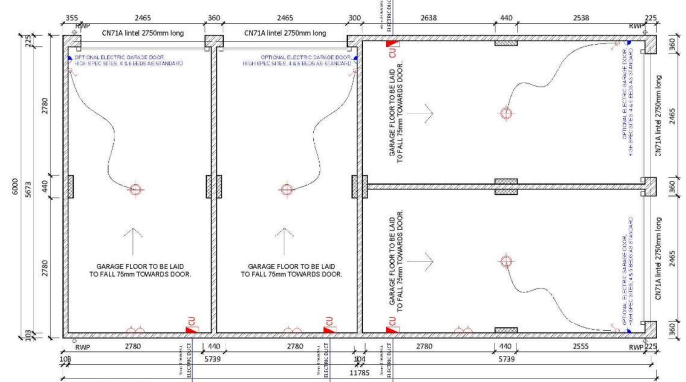
<small>1:100 SCALE BAR</small> <small>1 Goodison Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY. T: 01406 490990</small>	HOUSE TYPE: WORCESTER (995 FT²)
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: WORCESTER-001



- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
 - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PADSTONE AND MOVEMENT JOINTS REFER TO ENGINEERS DETAILS AND SPECIFICATIONS.
 - ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCING.
 - ANY LINTELS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LINTELS TO BE INSULATED AS MANUFACTURERS DETAILS.
 - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART L2 2006. DESIGNATED CFL FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CIRCUIT WATT.
 - ABBREVIATIONS:-
RWP = RAINWATER PIPE
MJ = MOVEMENT JOINT



SUBSTRUCTURE PLAN
RWP positions dependant on roof span. See Elevations
Foundation widths assume a minimum ground bearing pressure of 75 kN/m²



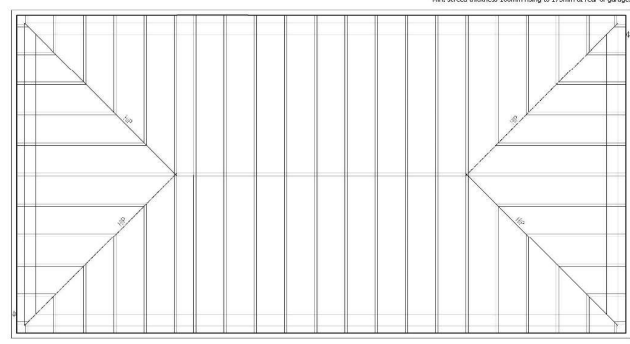
GARAGE PLAN
RWP positions dependant on roof span. See Elevations - Brick pier to side elevations - refer to detail - Front piers to be fully toothed brickwork for support of garage door and lintel - Ground floor slab - beam and block flooring. Structural screed cover to be 125 cement/sand screed reinforced with 1 layer A142 mesh, 50mm cover to bottom of screed. Min. screed thickness 100mm rising to 120mm at rear of garage.

- WALL LEGEND**
- FOUNDATION WALL: 215 CONCRETE TRENCH BLOCKS - 3.6 N/mm²
 - EXTERNAL WALL: 102.5mm - FACING BRICK (min. 20 N/mm² strength) Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
 - EXTERNAL WALL + PER: 100mm - 3.6N/mm² AGGREGATE BLOCK for Pier Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)

M&E KEY

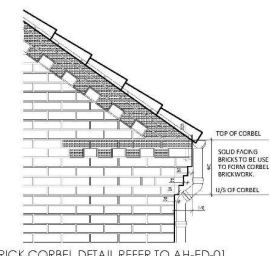
SYMBOL	DESCRIPTION
[Symbol]	LOW LEVEL SINGLE 13AMP SOCKET
[Symbol]	LOW LEVEL FIVE 13AMP SOCKET
[Symbol]	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 BEDS ONLY)
[Symbol]	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 BEDS ONLY)
[Symbol]	BATTEN HOLDER - LOW ENERGY
[Symbol]	LIGHT SWITCH
[Symbol]	7KW ELECTRIC VEHICLE CHARGER (OPTIONAL)
[Symbol]	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE/ 2 WAY CONSUMER UNIT TO GARAGE

Design of roof trusses to be subject to confirmation by truss specialist.
Lateral restraint straps to rafters / trusses to complete 30mm x 50mm not exposed galvanneal mild steel straps, fixed with 6 x 8 long x 75mm long nails.
Lateral restraint straps to be at 1.25m centres maximum and to be secured to the first three rafters or trusses where they run parallel to the walls.
Vertical restraint straps at eaves level to be used to anchor roof trusses to wall at 1.25m centres.



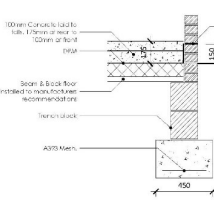
ROOF PLAN PITCH 35°

CAR CHARGER PROVISION
13 AMP External Socket to garage wall - refer to 90A - EVCP - 01 for location of sockets.
To be fed using 6mm armoured cable with separate fuse on main fuse board in house.
Allowance to uprate socket to 7 kW car charger at customer's discretion and cost at later date.

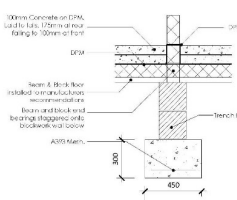


BRICK CORBEL DETAIL REFER TO AH-ED-01

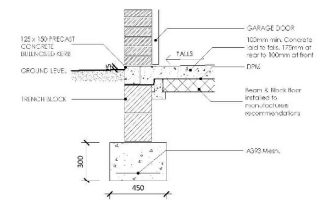
BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS



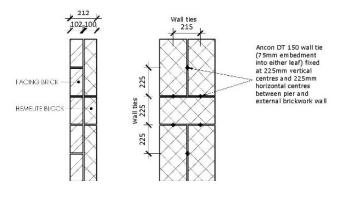
SECTION B - B



SECTION C - C



GARAGE DOOR THRESHOLD DETAIL



MASONRY PIER DETAIL

Rev.	Date	Description



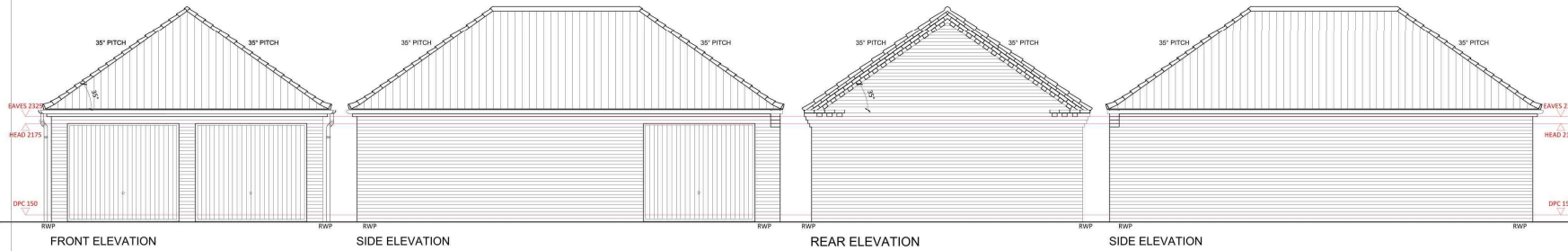
1 Goodison Road, Linas Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 480590

PROJECT:	Proposed Residential Development at Holbeach Meadows Phase 3 - Northern
HOUSE TYPE:	Quad Garage - Hipped 2
DRAWING:	FLOOR PLANS & ELEVATIONS
SCALE:	1:500A1 DRAWN: JE
DATE:	SEPT.2022 REVISION: /
DRAWING No:	137 - QGH - 021

ASSOCIATED PLOTS:
594,595,596,597

QUAD GARAGE - HIPPED 2

TRIPLE SHARED GARAGE 4

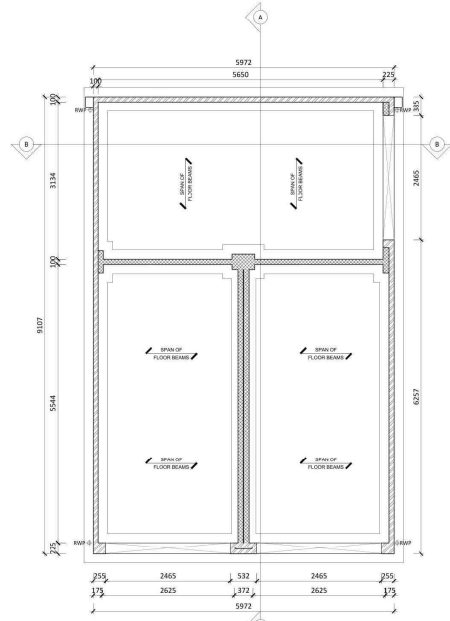


- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
 - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PADSTONE AND MOVEMENT JOINTS REFER TO ENGINEERS DETAILS AND SPECIFICATIONS.
 - ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCING.
 - ANY LINTELS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LINTELS TO BE INSULATED AS MANUFACTURERS DETAILS.
 - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART 2006. DEDICATED CFL FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CIRCUIT WATT.
 - ABBREVIATIONS:-
RWP = RAINWATER PIPE
MJ = MOVEMENT JOINT

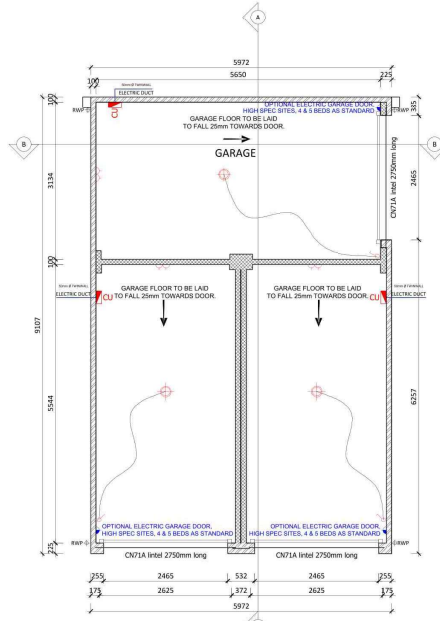
- WALL 1469mm
FOUNDATION WALL
215 CONCRETE TRENCH BLOCKS - 3.6 N/mm²
- EXTERNAL WALL
302.5mm - FACING BRICK (min. 20 N/mm² strength)
Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
- INTERNAL WALL - PIER
302.5mm - FACING BRICK (min. 20 N/mm² strength)
100mm - 3.6 N/mm² AGGREGATE BLOCK for Pier
Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)

M&E KEY

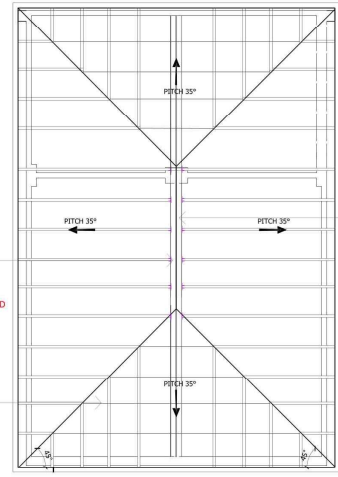
SYMBOL	DESCRIPTION
	LOW LEVEL SINGLE 13AMP SOCKET
	LOW LEVEL TWIN 13AMP SOCKET
	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 BEDS ONLY)
	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 BEDS ONLY)
	BATTEN HOLDER - LOW ENERGY
	LIGHT SWITCH
	7kW ELECTRIC VEHICLE CHARGER (OPTIONAL)
	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE/ 2 WAY CONSUMER UNIT TO GARAGE



SUBSTRUCTURE PLAN
RWP positions dependent on roof span. See Elevations

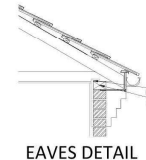


GARAGE PLAN
RWP positions dependent on roof span. See Elevations

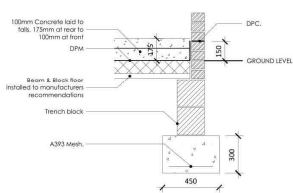


ROOF PLAN
Design of roof trusses to be subject to confirmation by truss specialist.

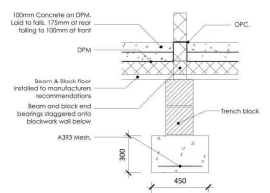
BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS



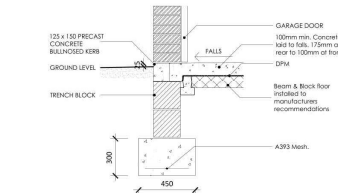
EAVES DETAIL



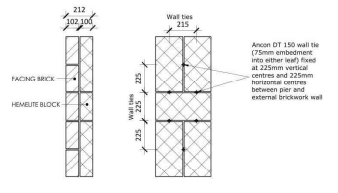
SECTION B - B



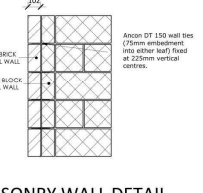
SECTION C - C



GARAGE DOOR THRESHOLD DETAIL



MASONRY PIER DETAIL



MASONRY WALL DETAIL

ASSOCIATED PLOTS:
451/452/453

Rev.	Date	Description
A	22.03.24	Roof pitch changed



1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs., PE12 0FY T: 01400 496590

PROJECT:
Proposed Residential Development at Holbeach Meadows Phase 3 - Northern

HOUSE TYPE:
Triple Shared Garage 4

DRAWING:
FLOOR PLANS & ELEVATIONS

SCALE: 1:50@A1 **DRAWN:** JE

DATE: SEPT.2022 **REVISION:** A

DRAWING No: 137 - TS64 - 020

Indicative Open Space and Drainage Strategy at outline ref H09-0521-14



Revision: SA Date: 11.11.14
 A Updated to indicate education site; roundabout added to north boundary access.

- Key**
- Site Boundary
 - Existing mature trees
 - Proposed Open Parkland
 - Proposed Swales / Natural Parkland
 - ⋯ Proposed Avenue Planting
 - Retained Swales and River Drain
 - New Swales
 - ⋯ Underground Drainage
 - Attenuation Ponds
 - Education Option (circa. 1ha Site Area)
50/50 built/open space - 50/50 parking/building



Architects - Project Managers - Quantity Surveyors
 130 New Walk
 Leicester, LE1 7JA
 Tel: 0116 204 5800, Fax: 0116 204 5801
 email: design@rg-p.co.uk, www.rg-p.co.uk

Project: Land South of Hall Gate, Holbeach, Lincolnshire
 Client: Ashley King Developments
 Sheet title: Indicative Open Space and Drainage Strategy
 Ref: 7884 025A
 Scale: 1:2000 @ A2
 Date: May 2014
 Drawn: PK Checked:

NOTE: Diagrammatic plan for illustrative purposes only. For accurate roads, surrounding context and levels, please refer to the TOPO survey, drawing number 7884 017.

All dimensions to be checked on site. Do not scale off drawing. This drawing is the copyright of the Architect, and not to be reproduced without their permission. Ordnance Survey map information reproduced with permission of HMSO Crown Copyright reserved. r g p Ltd. Trading as r g p.















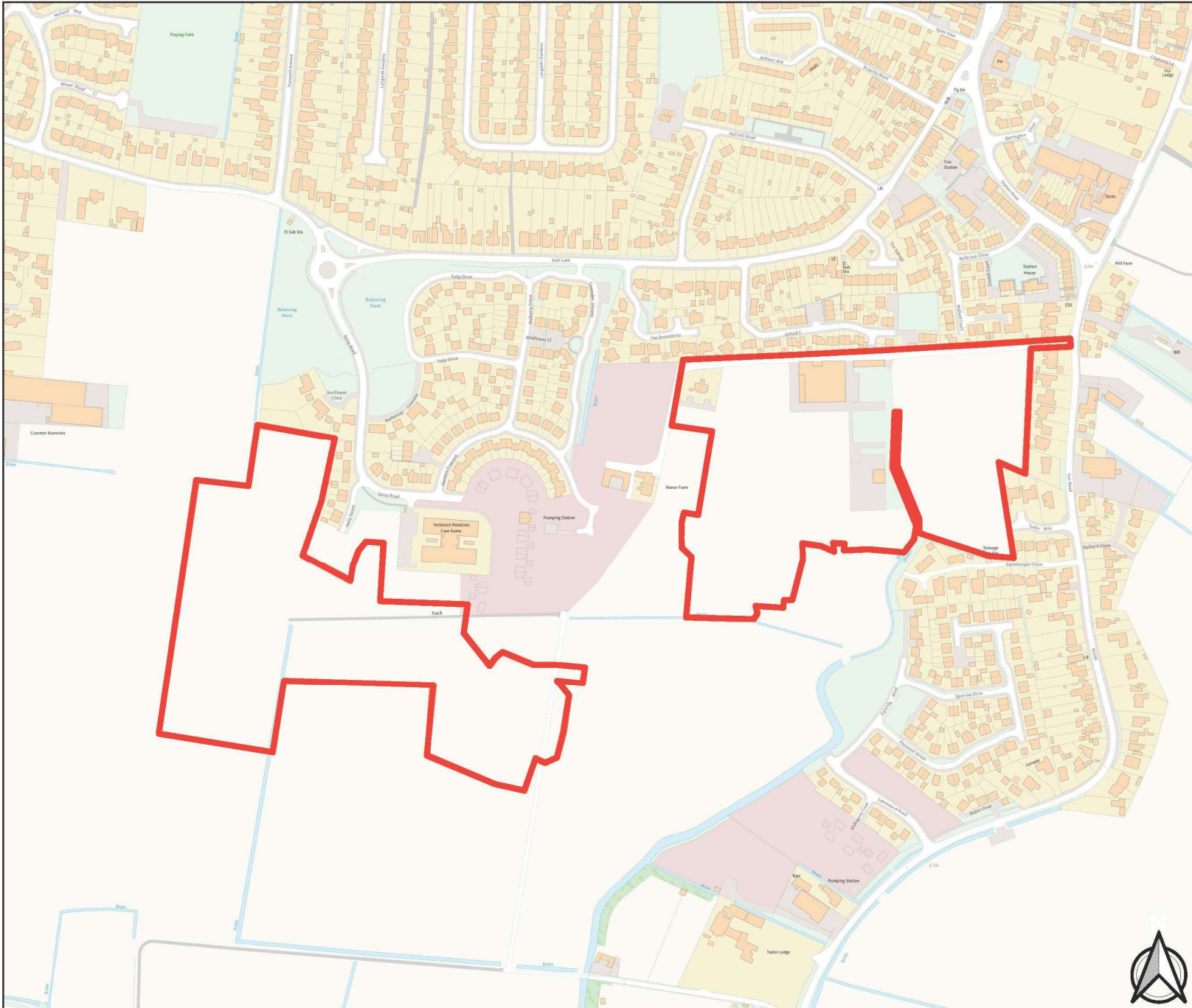








MapThat Scale Print Title



MAP SCALE 1: 5000
CREATED DATE: 24/04/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE







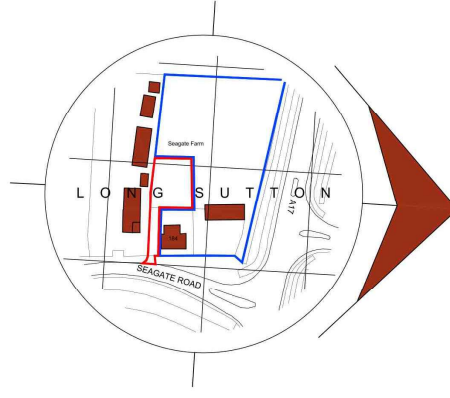




Site Plan
Scale: 1:200

SITE PLAN KEY

-  Indicates proposed planting / hedging
-  Indicates un-surveyed buildings on site
-  Indicates un-surveyed buildings taken from OS map
-  Indicates site access



Location Plan
Scale: 1:1250

- General Notes**
1. All dimensions are shown in 'mm' unless otherwise stated.
 2. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
 3. This drawing is to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
 4. Any discrepancies are to be brought to the designers attention.

Revisions

A	NOV 2023	Amendments following comments from planner.
B	NOV 2023	Amendments following comments from planner.
C	FEB 2024	Amendments following comments from planner.
D	APR 2024	Amendments following comments from planner.

SITE RISK NOTIFICATION KEY
To be used with reference to the accompanying Project Risk Register

S01	Tank	S02	Manhole
			

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

Swann Edwards Architecture Limited, Black Barn, Fen Road, Guttery, Westcott, Cambs, PE13 4AA
 1 01945 456894 • info@swannedwards.co.uk • www.swannedwards.co.uk

Job Title Proposed Change of Use of Land; Rear of 184 Seagate Road, Long Sutton, PE12 9AD For: Mrs A Hoey	Date Sept 2023	Drawn by BR Checked by JB
Drawing Title Planning Drawing	Job No. SE-2012 Dwg No. PP1000	Sheet Size A1 Revision D

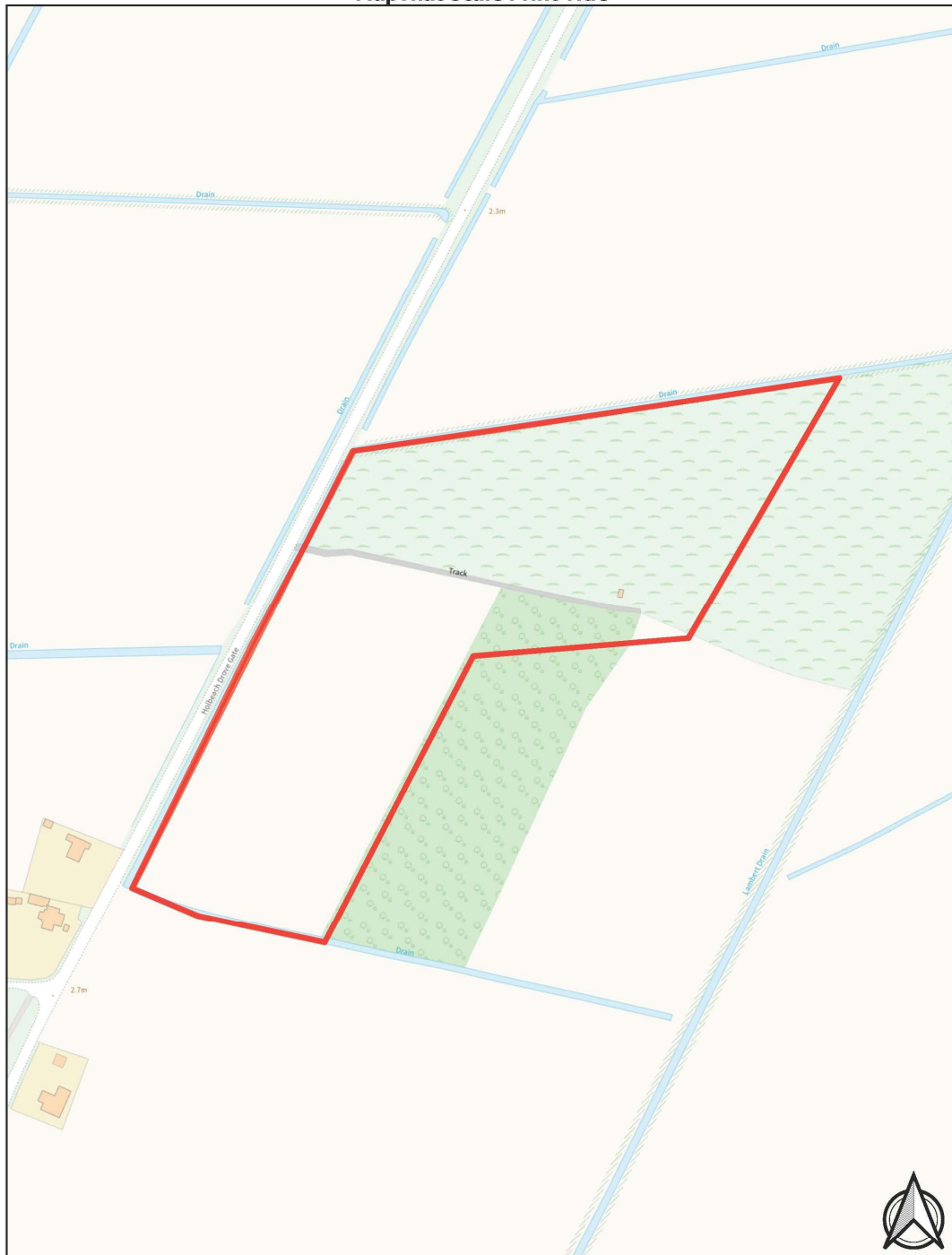


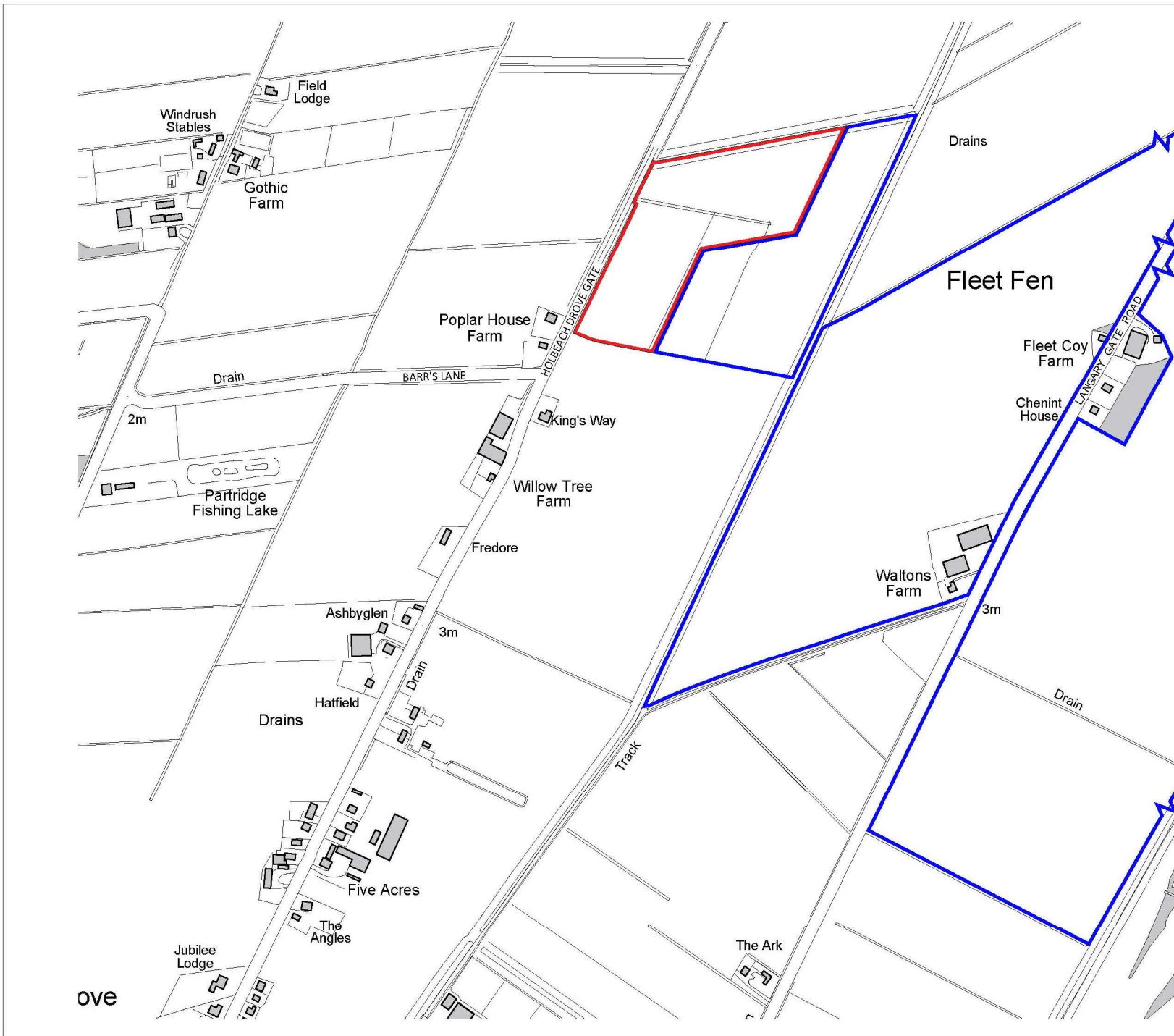




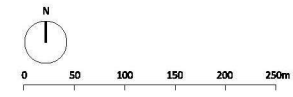


MapThat Scale Print Title





Notes
Copyright
 © Robert Doughty Consultancy Limited.
 All rights described in the Copyright, Designs and Patents Act 1988 have been asserted.
Ordnance Survey Map
 © Crown Copyright. OS Licence No: AR 100010613.



Rev	Description	Date
-----	-------------	------

rdc
 Robert Doughty
 Consultancy

32 High Street, Helpringham
 Seaforth, Lincolnshire, NG34 0RA
 Tel: 01529 421646
 Email: admin@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

Client
 G. Sly Holdings Ltd

Project
 Land east of Holbeach Drove Gate
 Holbeach Drove, Holbeach

Drawing
 Location Plan

Scale @ A3 1: 5000	Date 25/05/23
------------------------------	-------------------------

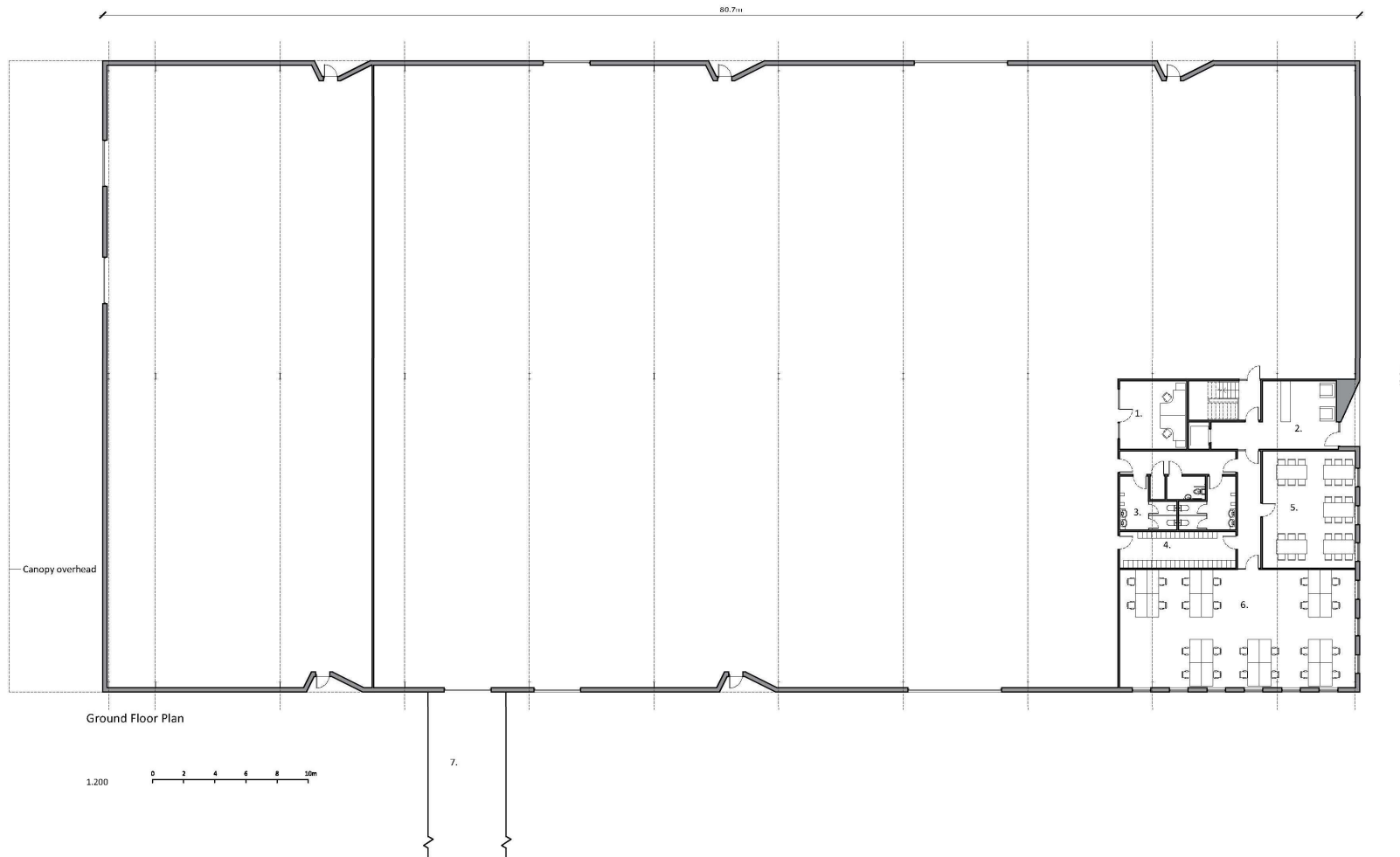
Drawn By WW	Checked By LMS
-----------------------	--------------------------

Job Number 1411-3	Status PL	Purpose of Issue Planning
-----------------------------	---------------------	-------------------------------------

Drawing No. 1411-3_PL_LP02	Rev -
--------------------------------------	-----------------

Key

- 1. Production Manager Office
- 2. Reception
- 3. W.C.'s and Storage
- 4. Locker Room
- 5. Canteen
- 6. Open Plan Office
- 7. Sunken loading bay



Notes

Copyright
 © Robert Doughty Consultancy Limited.
 All rights described in the Copyright, Designs and Patents Act 1988 have been asserted.

Dimensions
 All dimensions shown are for the purposes of obtaining the relevant planning permission only.

CDM 2015
 This drawing is for illustrative purposes and/or obtaining the relevant planning permission only. It should not be used for construction and accordingly, risk identification under the Construction (Design & Management) Regulations 2015 has not been undertaken.

Rev	Description	Date
-----	-------------	------

rdc
 Robert Doughty
 Consultancy

32 High Street, Helpringham
 Sleaford, Lincolnshire, NG24 0RA

Tel: 01529 421646
 Email: admin@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

Client
 G. Sly Holdings Ltd

Project
 Land east of Holbeach Drove Gate
 Holbeach Drove, Holbeach

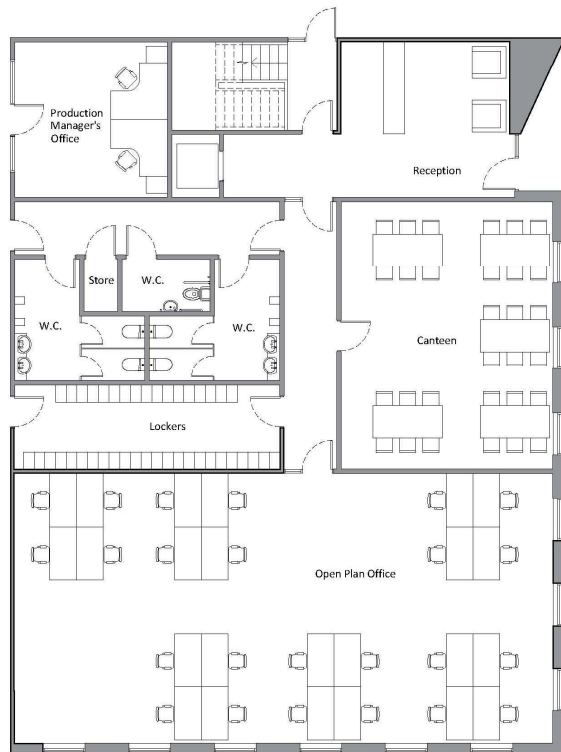
Drawing
 Assembly Building - Ground Floor Plan

Scale @ A2	Date
1: 200	25/05/23

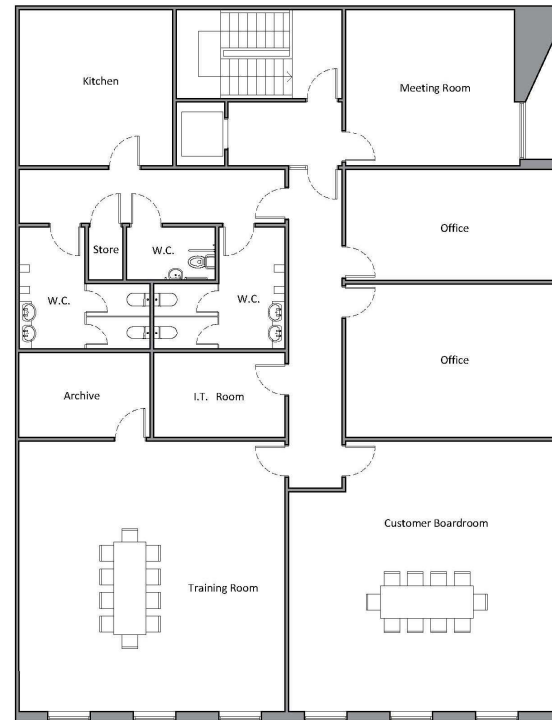
Drawn By	Checked By
NG	PSS

Job Number	Status	Purpose of Issue
1411-3	PL	Planning

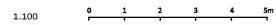
Drawing No.	Rev
1411-3_PL_PL01	_



Ground Floor Plan



First Floor Plan



Notes

Copyright
 © Robert Doughty Consultancy Limited.
 All rights described in the Copyright, Designs and Patents Act 1988 have been asserted.

Dimensions
 All dimensions shown are for the purposes of obtaining the relevant planning permission only.

CDM 2015
 This drawing is for illustrative purposes and/or obtaining the relevant planning permission only. It should not be used for construction and accordingly, risk identification under the Construction (Design & Management) Regulations 2015 has not been undertaken.

Rev	Description	Date
-----	-------------	------

rdc
 Robert Doughty
 Consultancy
 32 High Street, Helpringham
 Sleaford, Lincolnshire, NG24 0RA
 Tel: 01529 421646
 Email: admin@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

Client
 G. Sly Holdings Ltd

Project
 Land east of Holbeach Drove Gate
 Holbeach Drove, Holbeach

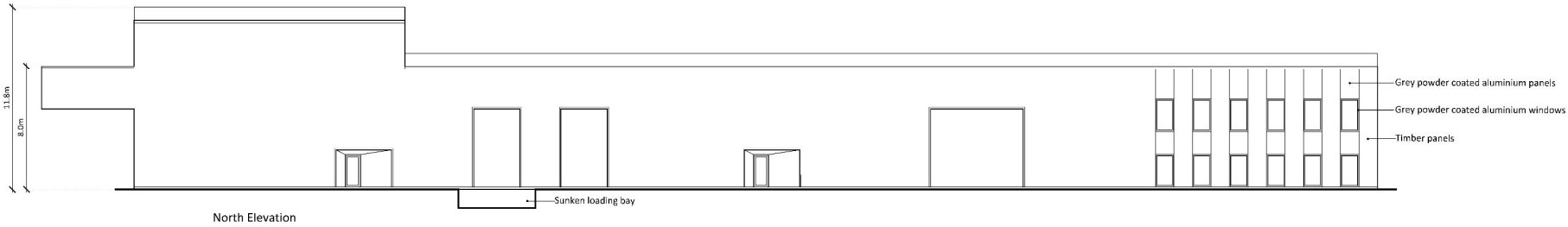
Drawing
 Assembly Building - Proposed floor plans

Scale @ A2 1: 100	Date 25/05/23
-----------------------------	-------------------------

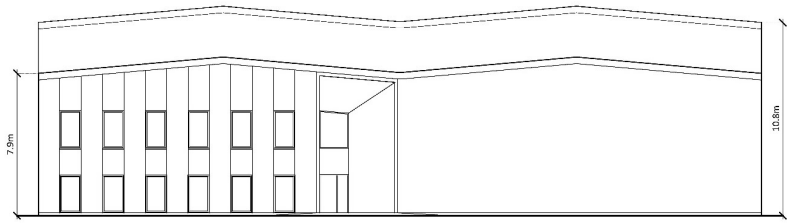
Drawn By NG	Checked By PSS
-----------------------	--------------------------

Job Number 1411-3	Status PL	Purpose of Issue Planning
-----------------------------	---------------------	-------------------------------------

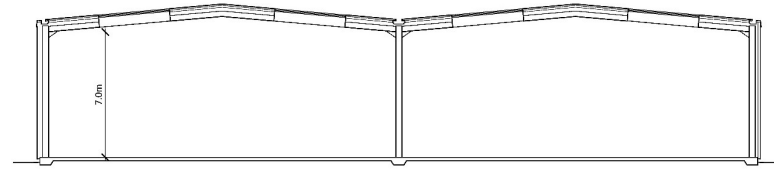
Drawing No. 1411-3_PL_PL02	Rev -
--------------------------------------	-----------------



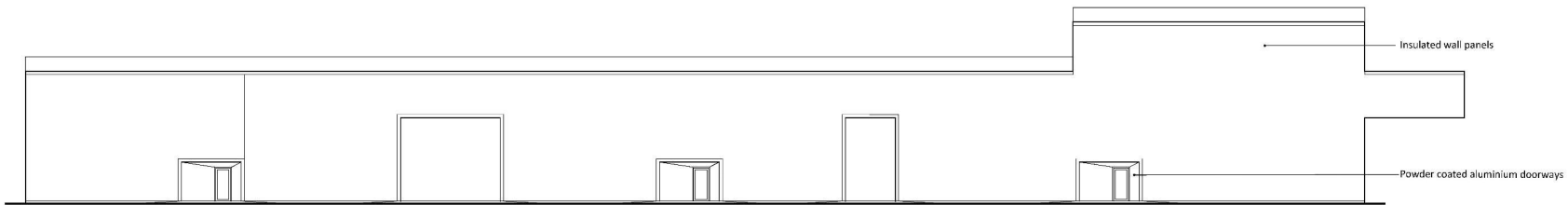
North Elevation



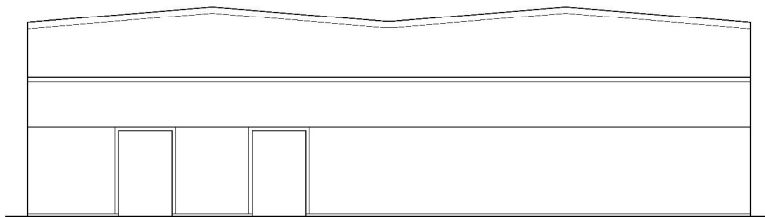
West Elevation



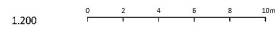
Section



South Elevation



East Elevation



Notes

Copyright
 © Robert Doughty Consultancy Limited.
 All rights described in the Copyright, Designs and Patents Act 1988 have been asserted.

Dimensions
 All dimensions shown are for the purposes of obtaining the relevant planning permission only.

CDM 2015
 This drawing is for illustrative purposes and/or obtaining the relevant planning permission only. It should not be used for construction and accordingly, risk identification under the Construction (Design & Management) Regulations 2015 has not been undertaken.

Rev	Description	Date
-----	-------------	------

rdc
 Robert Doughty
 Consultancy

32 High Street, Helpringham
 Stamford, Lincolnshire, NG34 0RA

Tel: 01529 421646
 Email: admin@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

Client
 G. Sly Holdings Ltd

Project
 Land east of Holbeach Drove Gate
 Holbeach Drove, Holbeach

Drawing
 Assembly Building - Proposed Elevations and Section

Scale @ A2	Date
1:200	25/05/23

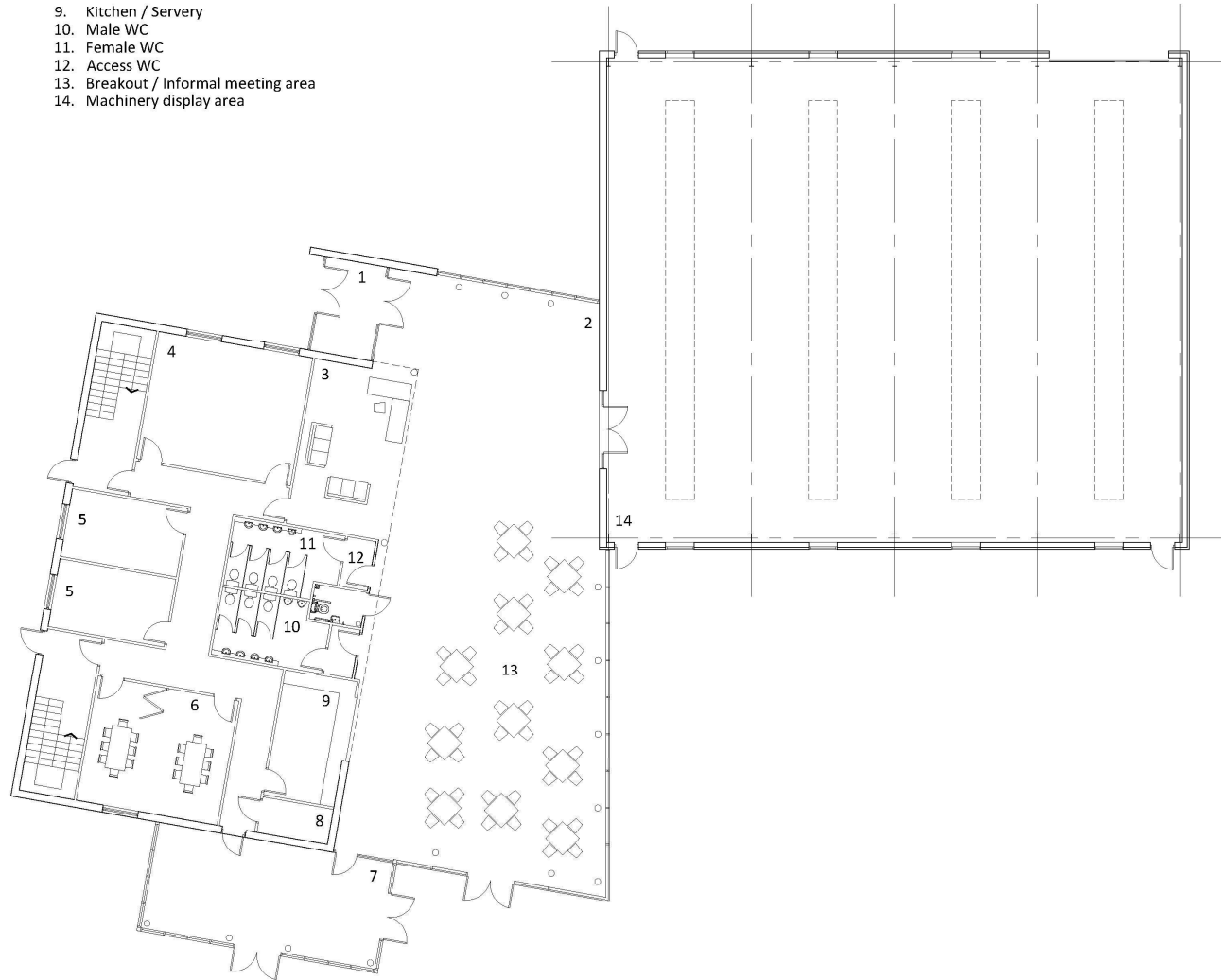
Drawn By	Checked By
NG	PSS

Job Number	Status	Purpose of Issue
1411-3	PL	Planning

Drawing No.	Rev
1411-3_PL_ELO1	—

Key

1. Entrance Lobby
2. Foyer / Display
3. Visitor waiting area
4. Multi-purpose office
5. Office
6. Meeting room with flexible partition
7. Crop R&D/ Viewing area
8. Store
9. Kitchen / Servery
10. Male WC
11. Female WC
12. Access WC
13. Breakout / Informal meeting area
14. Machinery display area



Proposed Ground Floor Plan



Notes
Copyright
 © Robert Doughty Consultancy Limited. All rights reserved in the Copyright, Designs and Patents Act 1988 have been asserted.
Dimensions
 All dimensions shown are for the purposes of obtaining the relevant planning permission only.
CDM 2015
 This drawing is for illustrative purposes and/or obtaining the relevant planning permission only. It should not be used for construction and occupancy. All identification under the Construction (Design & Management) Regulations 2015 has not been undertaken.

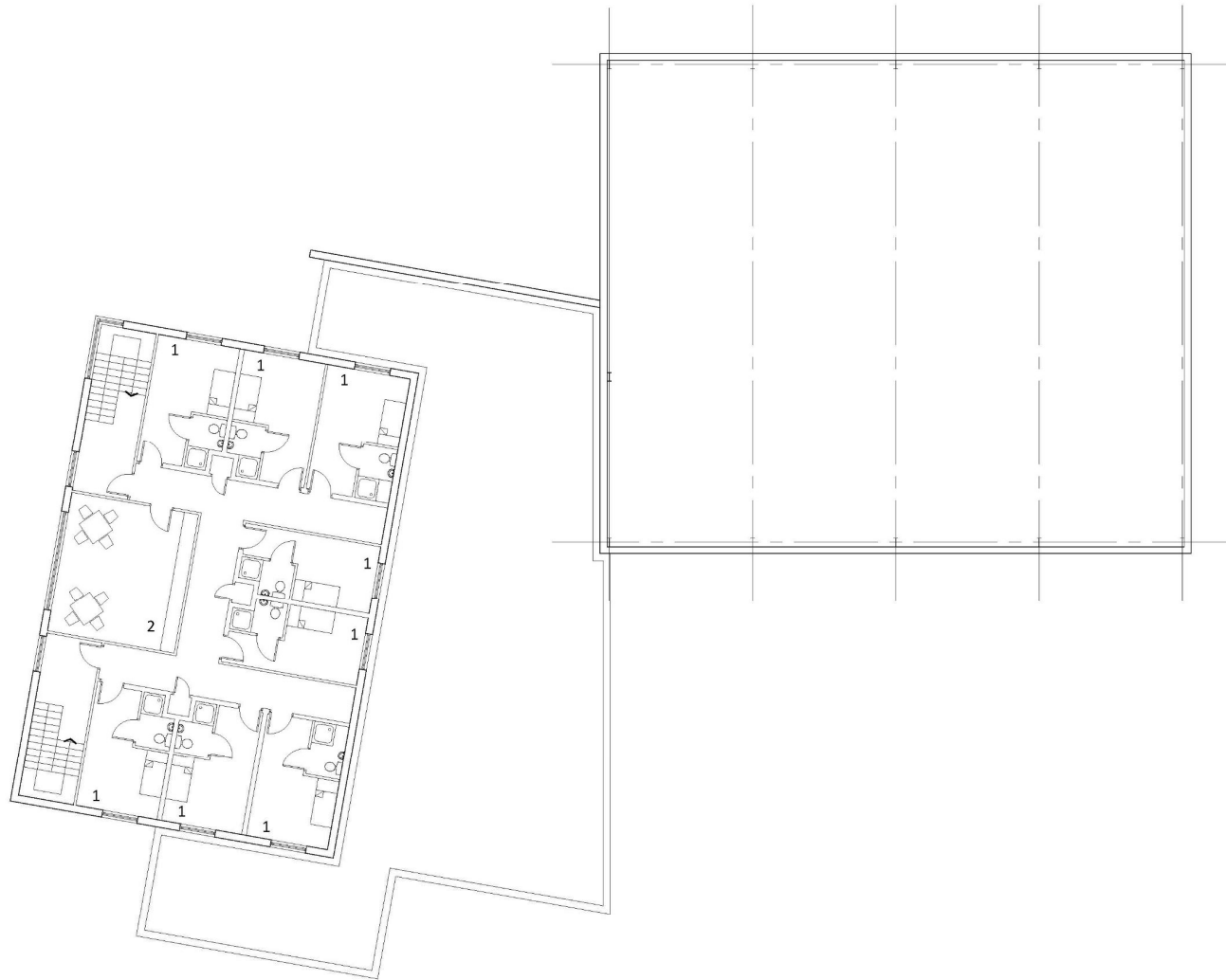
Rev	Description	Date
-----	-------------	------

rdc
 Robert Doughty
 Consultancy
 32 High Street, Houghton
 Stamford, Leicestershire, NG34 0RA
 Tel: 01933 413444
 Email: rdc@rdc-consultancy.co.uk
 Web: www.rdc-consultancy.co.uk

Client G. Sly Holdings Ltd		
Project Land east of Holbeath Drive Gate Holbeath Drive, Houghton		
Drawing Residential Development Building Proposed Ground Floor Plan		
Scale @ A1 1:100	Date 25/05/23	
Drawn By PSS	Checked By LMS	
Job Number 1411-3	Status PL	Purpose of Issue Planning
Drawing No. 1411-3_PL_PL03		Rev -

Key

- 1. Visitor accommodation
- 2. Communal kitchen area



Proposed First Floor Plan



Notes
 Copyright © Robert Doughty Consultancy Limited. All rights reserved in the Copyright, Designs and Patents Act 1988 have been asserted.
 Dimensions All dimensions shown are for the purposes of obtaining the relevant planning permission only.
 CDM 2015 This drawing is for illustrative purposes and/or obtaining the relevant planning permission only. It should not be used for construction and accordingly, RDC (incorporated under the Construction (Design & Management) Regulations 2015) has not been undertaken.

Rev	Description	Date
-----	-------------	------

rdc
 Robert Doughty
 Consultancy
 32 High Street, Holbeach, Leicestershire, LE13 4OR
 Tel: 01533 421666
 Email: rdc@rdc-consultancy.co.uk
 Web: www.rdc-consultancy.co.uk

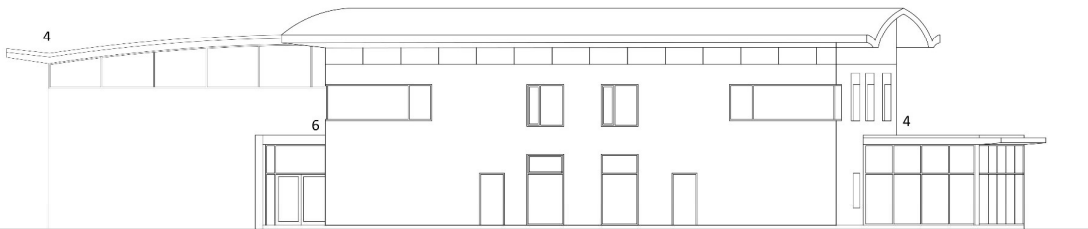
Client G. Sly Holdings Ltd		
Project Land east of Holbeach Drive Gate Holbeach Drive, Holbeach		
Drawing Holbeach Development Building Proposed First Floor Plan		
Scale @ A1 1:100	Date 25/05/23	
Drawn By PSS	Checked By LMS	
Job Number 1411-3	Status Pc	Purpose of Issue Planning
Drawing No. 1411-3_PL_PL04		Rev -



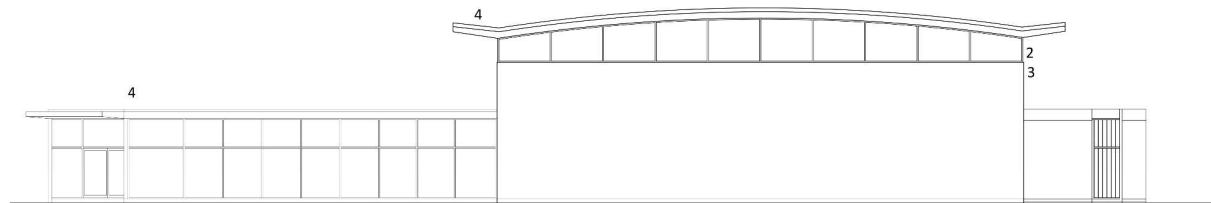
Proposed North Elevation



Proposed South Elevation



Proposed West Elevation



Proposed East Elevation



Materials

1. Polycarbonate rooflights
2. Clerestory glazing with opaque spandrel panels local to structural steelwork
3. Vertical treated steelwork
4. Sedum planted roofs
5. Projecting canopy
6. Aluminium double glazed windows / curtain walling
7. Fibre cement cladding panels

Notes
Copyright
 © Robert Daughy Consultancy Limited. All rights reserved in the Copyright, Designs and Patents Act 1988 have been asserted.
Ordnance Survey Map
 © Crown Copyright. OS Licence No: AR 100010613.
Dimensions
 All dimensions shown are for the purposes of obtaining the relevant planning permission only. It should not be used for construction and accordingly, it is a condition of the Construction (Design & Management) Regulations 2015 has not been undertaken.

Rev	Description	Date

rdc
 Robert Daughy
 Consultancy
 32 High Street, Hejringham
 Stamford, Lincolnshire, NG34 0RA
 Tel: 01529 423645
 Email: admin@rdc-landjan.co.uk
 Web: www.rdc-landjan.co.uk

Client
 G. Sly Holdings Ltd

Project
 Land east of Holbeach Drive Gate
 Holbeach Drive, Holbeach

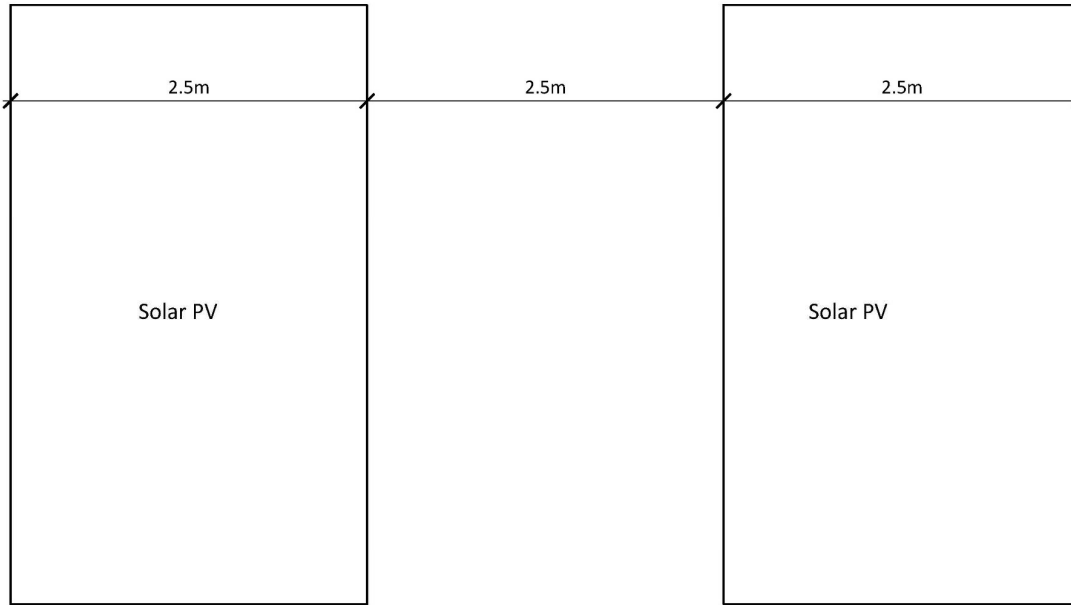
Drawing
 Proposed Development Building
 Proposed Elevations

Scale @ A1 **Date**
 1:100 25/05/23

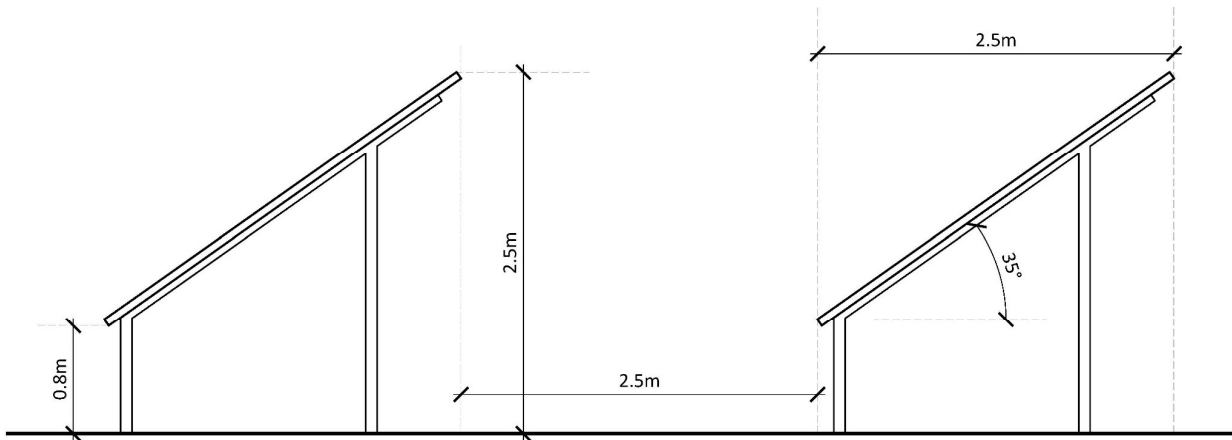
Drawn By **Checked By**
 PSS LMS

Job Number **Status** **Purpose of Issue**
 1411-3 PL Planning

Drawing No. **Rev**
 1411-3_PL_EL02 -



Plan



Section

Dimensions

All dimensions shown are for the purposes of obtaining the relevant planning permission only.

Notes

Copyright

© Robert Doughty Consultancy Limited.
All rights described in the Copyright, Designs and Patents Act 1988 have been asserted.

CDM 2015

This drawing is for illustrative purposes and/or obtaining the relevant planning permission only. It should not be used for construction and accordingly, risk identification under the Construction (Design & Management) Regulations 2015 has not been undertaken.

Rev	Description	Date
-	-	-

rdc
Robert Doughty
Consultancy

32 High Street, Helpringham
Sleaford, Lincolnshire, NG34 0RA

Tel: 01529 421646
Email: admin@rdc-landplan.co.uk
Web: www.rdc-landplan.co.uk

Client

G. Sly Holdings Ltd

Project

Land east of Holbeach Drove Gate
Holbeach Drove, Holbeach

Drawing

Solar PV detail

Scale @ A4

1: 50

Date

25/01/24

Drawn By

WW

Checked By

LMS

Job Number

1411-3

Status

SK

Purpose of Issue

Discussion

Drawing No.

1411-3_SK_DD01

Rev

-



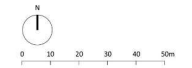
Notes

Copyright
 © Robert Doughty Consultancy Limited.
 All rights described in the Copyright, Designs and Patents Act 1988 have been asserted.

Ordnance Survey Map
 © Crown Copyright, OS Licence No: AR 100010613.

Dimensions
 All dimensions shown are for the purposes of obtaining the relevant planning permission only.

CDM 2015
 This drawing is for illustrative purposes and/or obtaining the relevant planning permission only. It should not be used for construction and accordingly, risk identification under the Construction (Design & Management) Regulations 2015 has not been undertaken.



A Seasonal ponds shown 07.11.23

Rev	Description	Date
-----	-------------	------

rdc
 Robert Doughty
 Consultancy
 32 High Street, Helpingham
 Sleaford, Lincolnshire, NG34 0RA
 Tel: 01529 421646
 Email: admin@rdc-landplan.co.uk
 Web: www.rdc-landplan.co.uk

Client
 G. Sly Holdings Ltd

Project
 Land east of Holbeach Drive Gate
 Holbeach Drive, Holbeach

Drawing
 Proposed Site Plan

Scale @ A2	Date
1:1250	25/05/23

Drawn By	Checked By
WW	LMS

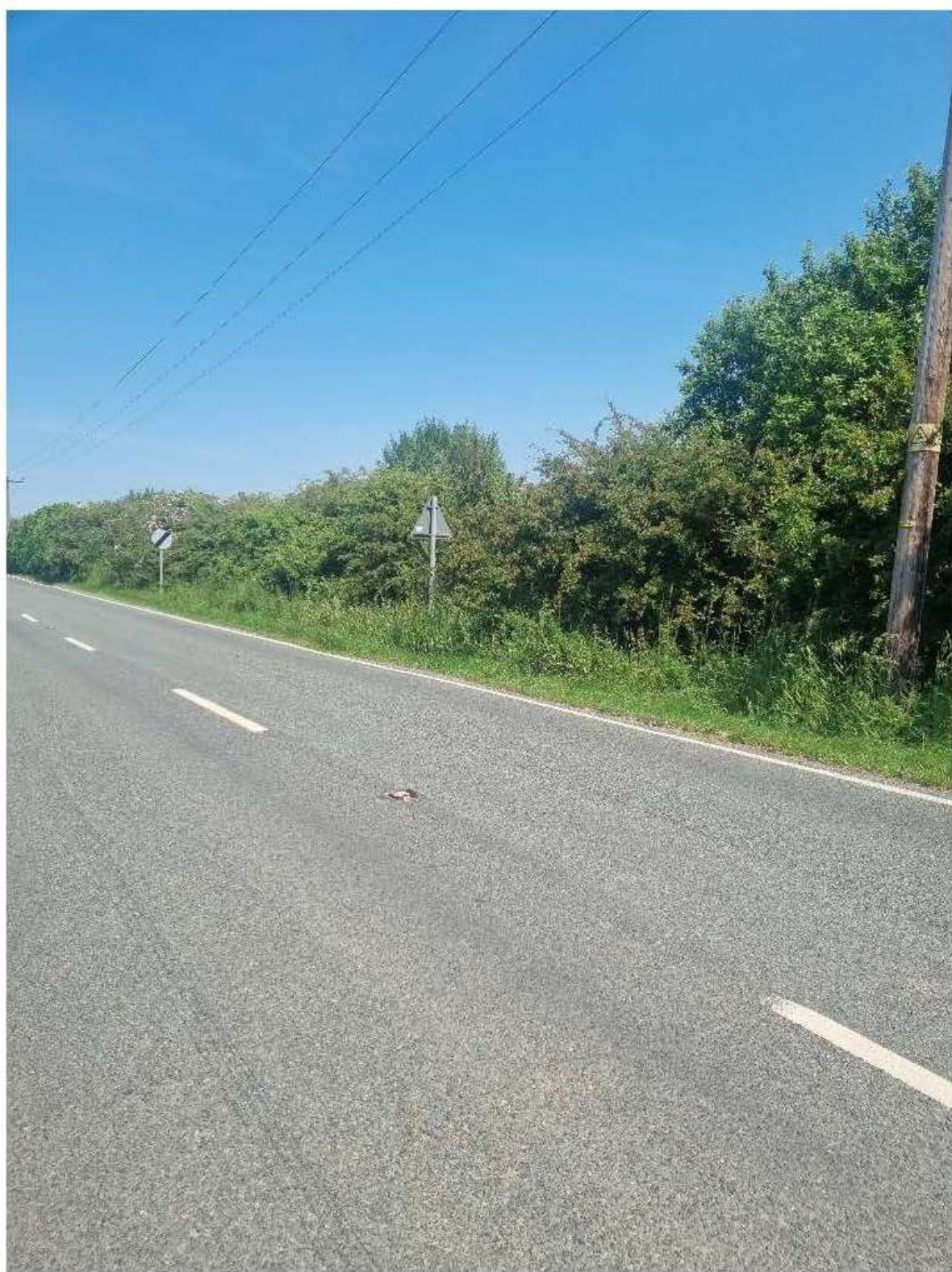
Job Number	Status	Purpose of Issue
1411-3	PL	Planning

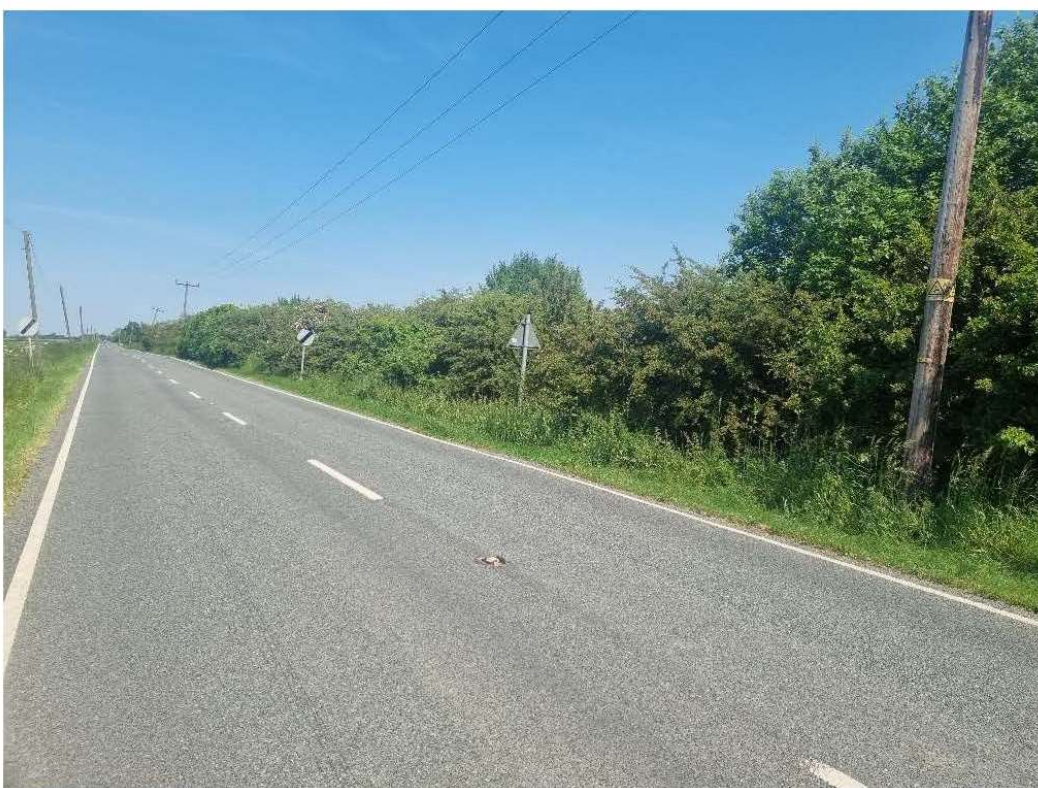
Drawing No.	Rev
1411-3_PL_SP03	A





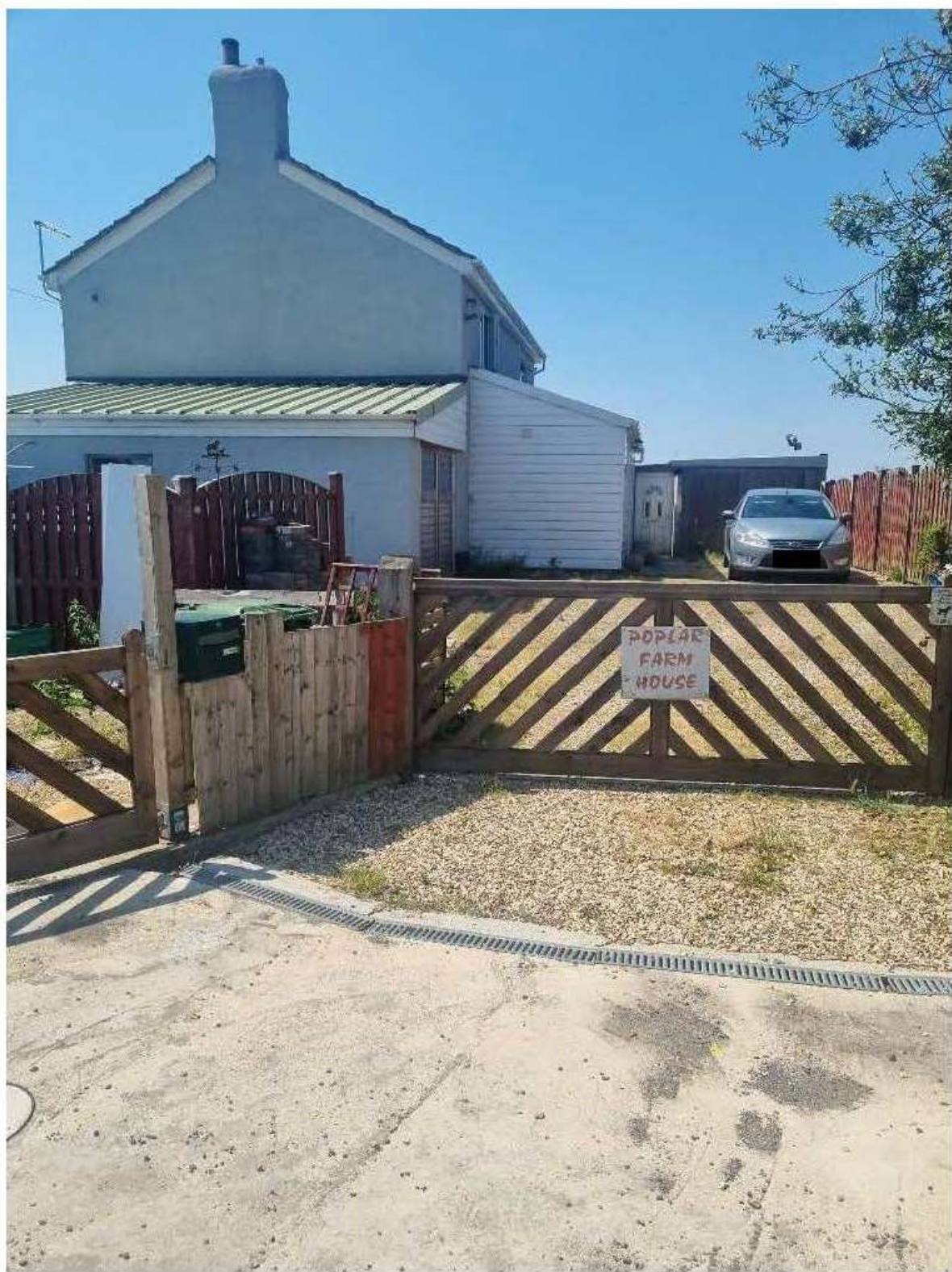






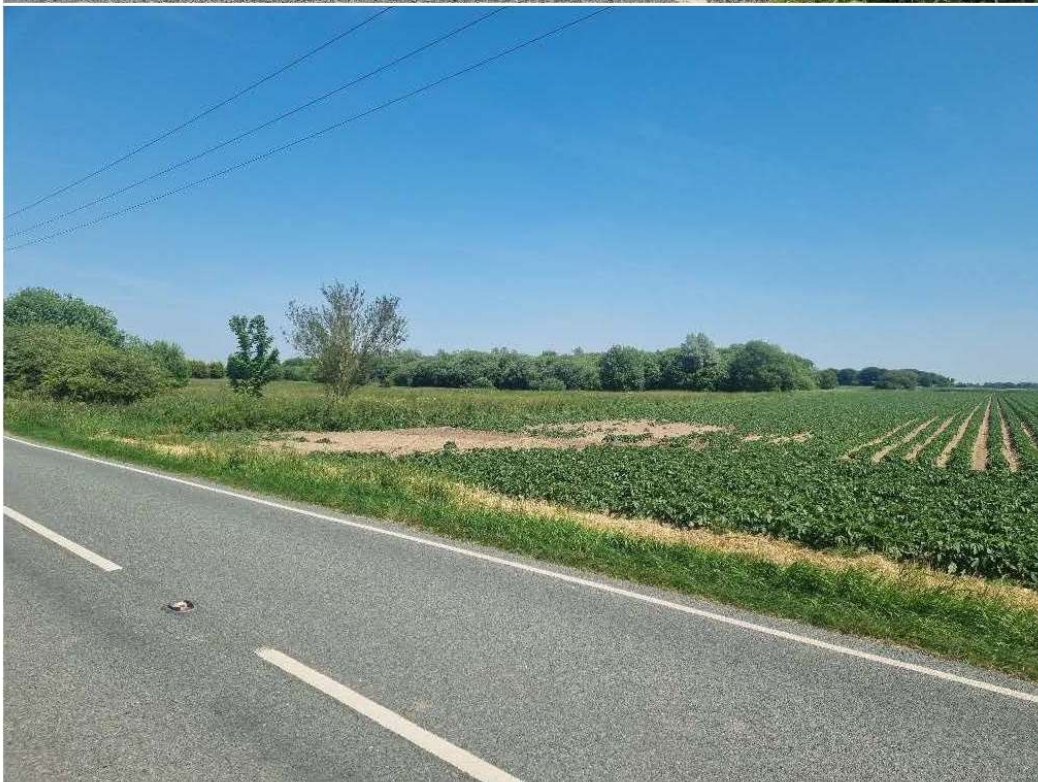




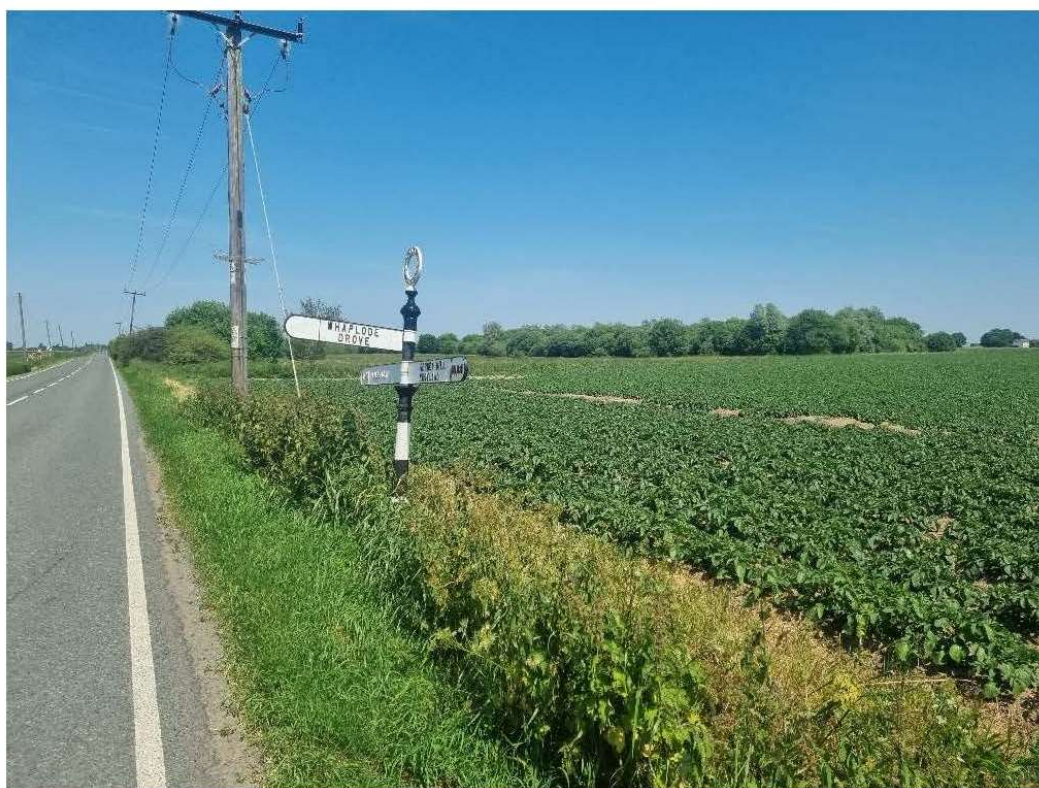
















PLANNING NOTICE

By Order of the Board of Supervisors of the County of...

Project: ...

Location: ...

Project Description: ...

Public Hearing: ...

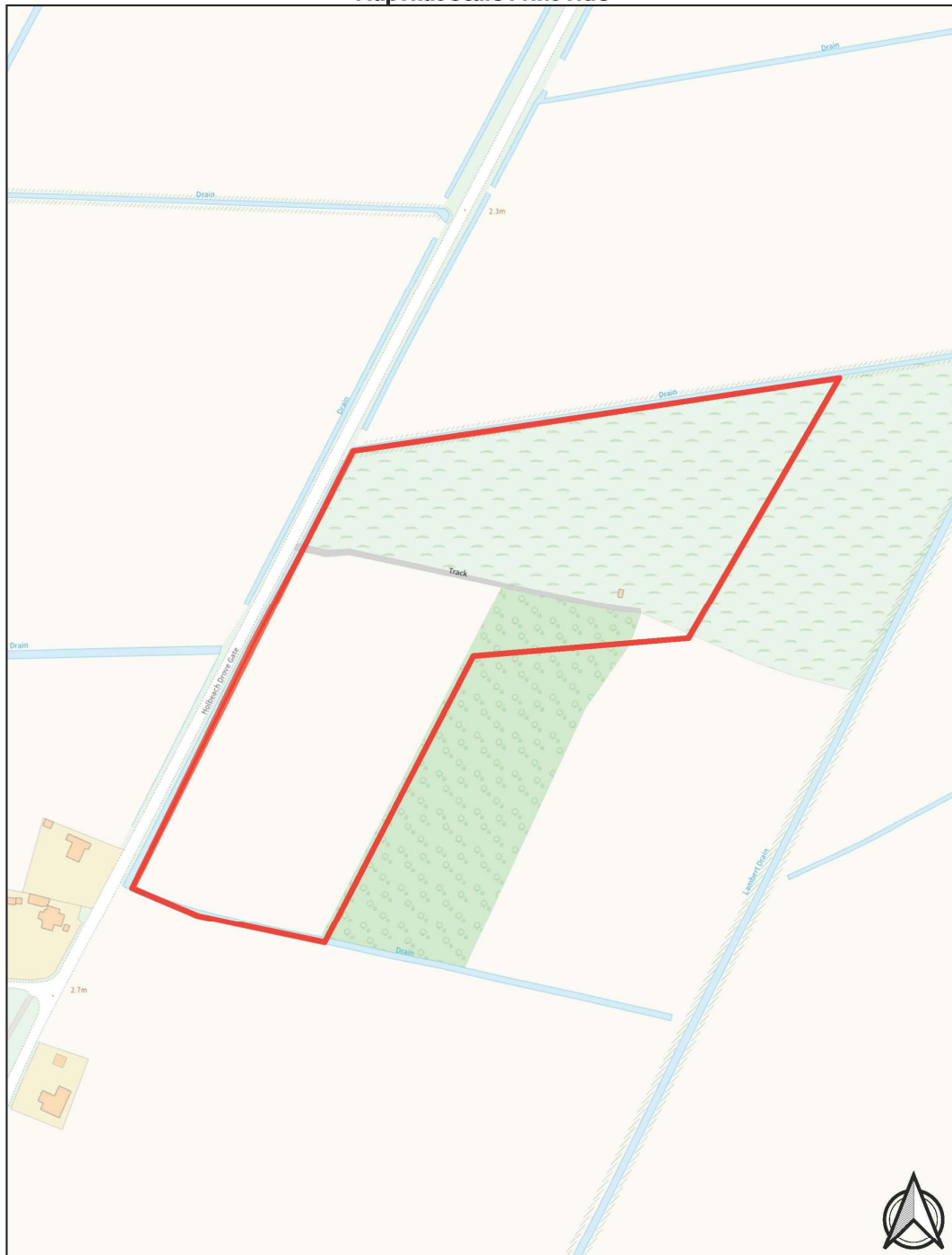
Comments: ...

Next Steps: ...

Contact Information: ...



MapThat Scale Print Title



MapThat Scale Print Title



© Crown copyright and database rights 2022 Ordnance Survey 100018351.

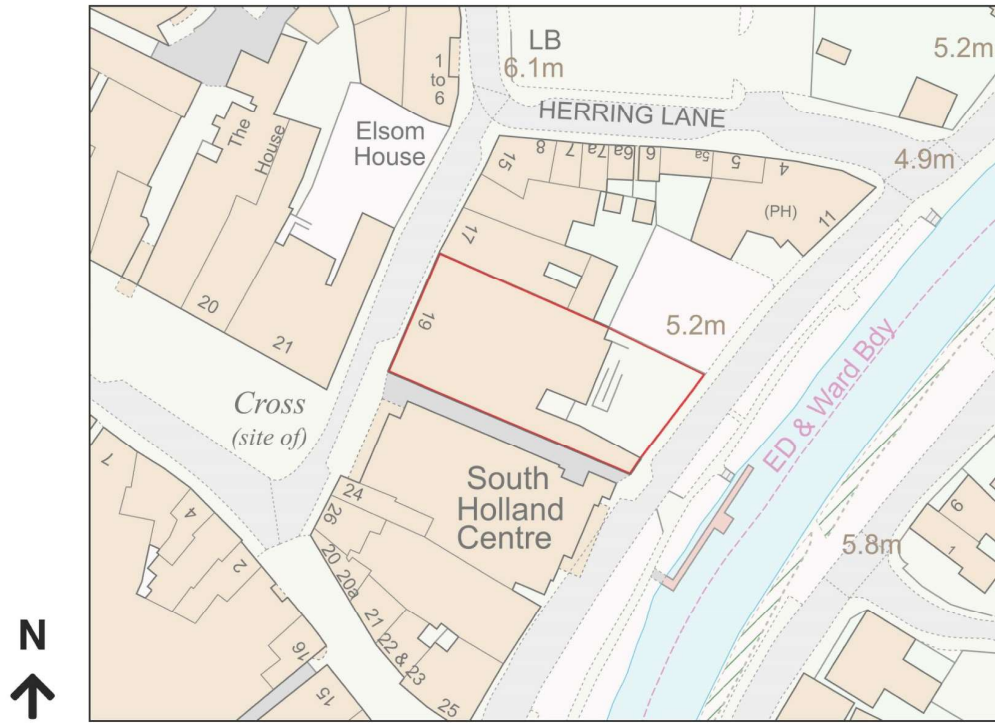
MAP SCALE 1:1250
CREATED DATE: 20/02/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE

Location Plan

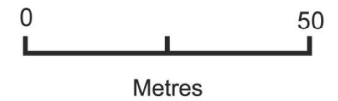
Site Address: **Welland Restaurant - Hills, 18-19, Broad Street, Spalding, PE11 1TB**

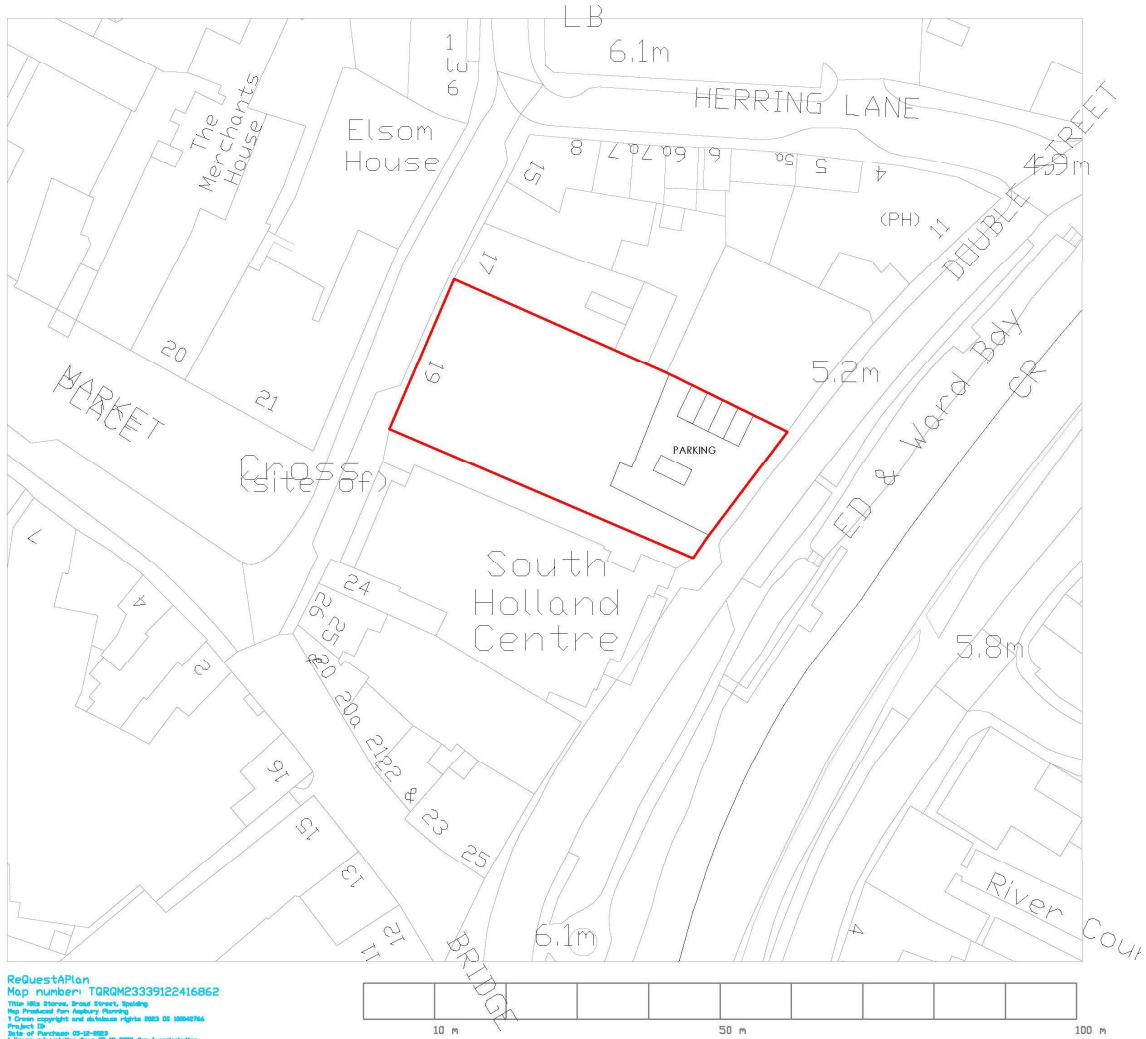
Date Produced: **05-Dec-2023**

Scale: **1:1250 @A4**



Planning Portal Reference: **PP-12649433v1**





Request a Plan
 Map number: TQRQM2339122416862
 Title: Hills Stores, Broad Street, Spalding
 Map Produced from Authority Floorings
 © Crown copyright and database rights 2023 OS 100042746
 Project ID:
 Date of Purchase: 05-12-2023
 1 Year subscription from 05-12-2023 For 1 user/vehicle

Block Plan

DISCLAIMER

All drawings shown here are for indicative purposes only and maybe subject to variations.

All works are to be carried out and managed by a competent and experienced Contractor.

Dimensions, areas, levels, coordinates and drawing scales are indicative only and are subject to change. Those carrying out the works should verify all dimensions, areas, levels and coordinates on site prior to making any material orders or commencing on site. All setting out positions must also be verified before commencing works. Any discrepancies, errors, omissions or design changes should be reported to Rimmington Building Design & Consultancy Ltd immediately. Do not scale off this drawing without consulting the designer.

All 'Planning' drawings must not be used for construction purposes.

All works are subject to Structural Engineers recommendations, reports and documentation. This drawing should be read in conjunction with Structural Engineers recommendations and details.

Any hidden services are to be located by, and are the responsibility of, the Contractor or those carrying out the works. Any references made to drainage runs on this drawing are indicative only and must be checked on site by the Contractor or those carrying out the works prior to any works. Any proposed work within three metres of a public sewer or lateral drain requires consent from the local water authority.

It is the responsibility of the 'Building Owner' to check if any proposed works are affected by 'The Party Wall etc. Act 1996' and to inform all 'Adjoining Owners' accordingly and as detailed in 'The Party Wall etc. Act 1996'.

If the total amount of external glazing exceeds 25% of the proposed floor area, SAP Calculations may be required. It is the responsibility of the Client to ensure Building Control is provided with any additional information they require for approval.

As outlined in CITE's Industry Guidance to Designers under CDM 2015, Clients have duties that they have been made aware of. In accordance with CDM 2015 Regulations, any significant risks relating to the design features shown on this drawing have been identified and annotated with an exclamation mark **!**

Copyright - This drawing and any content on it must not be copied or reproduced without written consent from Rimmington Building Design & Consultancy Ltd.

General Notes

A	Issued for planning approval.	05/12/23
No.	Revision/Issue	Date



Project Name and Address
 Hills Stores,
 Broad Street,
 Spalding
 PE11 1TB

Drawing Name
 Block Plan

Project Name Hills Stores	Revision A
Drawing ID HSS-AP/101/23	Date 05/12/23
Drawing Scale 1:500	Sheet A2

DISCLAIMER

All drawings shown here are for indicative purposes only and may be subject to variations. All works are to be carried out and managed by a competent and experienced Contractor.

Dimensions, areas, levels, coordinates and drawing scales are indicative only and are subject to change. Those carrying out the works should verify all dimensions, areas, levels and coordinates on site prior to making any material orders or commencing on site. All setting out positions must also be verified before commencing works. Any discrepancies, errors, omissions or design changes should be reported to Rimmington Building Design & Consultancy Ltd immediately. Do not scale off this drawing without consulting the designer.

All Planning drawings must not be used for construction purposes.

All works are subject to Structural Engineers recommendations, reports and documentation. This drawing should be read in conjunction with Structural Engineers recommendations and details.

Any hidden services are to be located by, and are the responsibility of, the Contractor or those carrying out the works. Any references made to drainage runs on this drawing are indicative only and must be checked on site by the Contractor or those carrying out the works prior to any works. Any proposed work within three metres of a public sewer or lateral drain requires consent from the local water authority.

It is the responsibility of the 'Building Owner' to check if any proposed works are affected by 'The Party Wall etc. Act 1996' and to inform all 'Adjoining Owners' accordingly and as detailed in 'The Party Wall etc. Act 1996'.

If the total amount of external glazing exceeds 25% of the proposed floor area, SAP Calculations may be required. It is the responsibility of the Client to ensure Building Control is provided with any additional information they require for approval.

As outlined in CDM 2015 Industry Guidance to Designers under CDM 2015, Clients have duties that they have been made aware of. In accordance with CDM 2015 Regulations, any significant risks relating to the design features shown on this drawing have been identified and annotated with an exclamation mark (!).

Copyright - This drawing and any content on it must not be copied or reproduced without written consent from Rimmington Building Design & Consultancy Ltd.

General Notes

A	issued for planning approval.	05/12/23
No.	Revision/Issue	Date

RIMMINGTON
Building Design & Consultancy

Project Name and Address

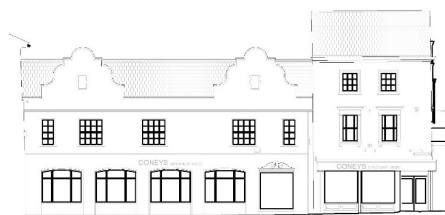
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name

Existing Elevations - Survey

Project Status Planning	Revision A
Drawing ID NSB-APP/10/10/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2

Note:
Survey by others



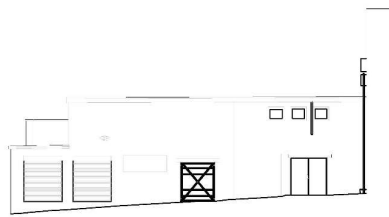
Existing Elevation 01



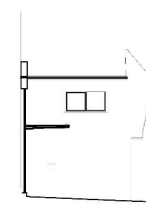
Existing Elevation 02



Existing Elevation 03



Existing Elevation 04



Existing Elevation 05

DISCLAIMER

All drawings shown here are for indicative purposes only and may be subject to variations. All works are to be carried out and managed by a competent and experienced Contractor.

Dimensions, areas, levels, coordinates and drawing scales are indicative only and are subject to change. Those carrying out the works should verify all dimensions, areas, levels and coordinates on site prior to making any material orders or commencing on site. All setting out positions must also be verified before commencing works. Any discrepancies, errors, omissions or design changes should be reported to Rimmington Building Design & Consultancy Ltd immediately. Do not scale off this drawing without consulting the designer.

All Planning drawings must not be used for construction purposes.

All works are subject to Structural Engineers recommendations, reports and documentation. This drawing should be read in conjunction with Structural Engineers recommendations and details.

Any hidden services are to be located by, and are the responsibility of, the Contractor or those carrying out the works. Any references made to drainage runs on this drawing are indicative only and must be checked on site by the Contractor or those carrying out the works prior to any works. Any proposed work within three metres of a public sewer or lateral drain requires consent from the local water authority.

It is the responsibility of the 'Building Owner' to check if any proposed works are affected by 'The Party Wall etc. Act 1996' and to inform all 'Adjoining Owners' accordingly and as detailed in 'The Party Wall etc. Act 1996'.

If the total amount of external glazing exceeds 25% of the proposed floor area, SAP Calculations may be required. It is the responsibility of the Client to ensure Building Control is provided with any additional information they require for approval.

As outlined in CDM 2015 Industry Guidance to Designers under CDM 2015, Clients have duties that they have been made aware of. In accordance with CDM 2015 Regulations, any significant risks relating to the design features shown on this drawing have been identified and annotated with an exclamation mark (!).

Copyright - This drawing and any content on it must not be copied or reproduced without written consent from Rimmington Building Design & Consultancy Ltd.

General Notes

A	issued for planning approval.	05/12/23
No.	Revision/Issue	Date

RIMMINGTON
Building Design & Consultancy

Project Name and Address

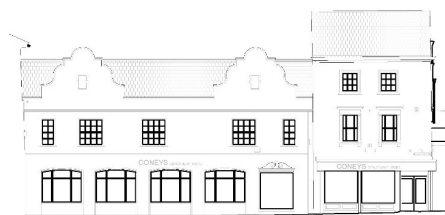
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name

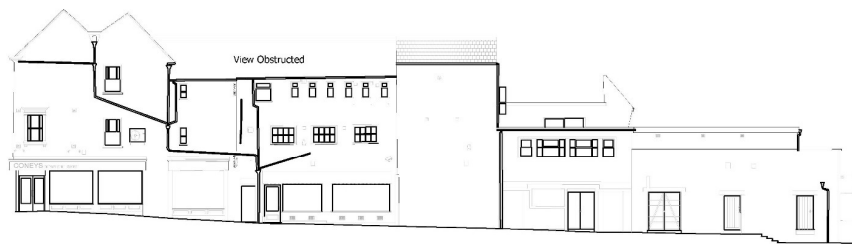
Proposed Elevations - Survey

Project Status Planning	Revision A
Drawing ID NSB-AP/1330/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2

Note:
Survey by others
Elevations unchanged



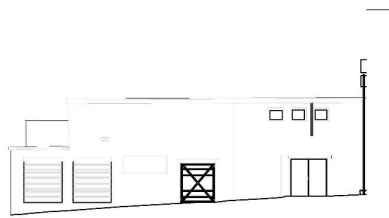
Existing Elevation 01



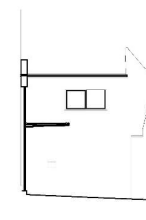
Existing Elevation 02



Existing Elevation 03

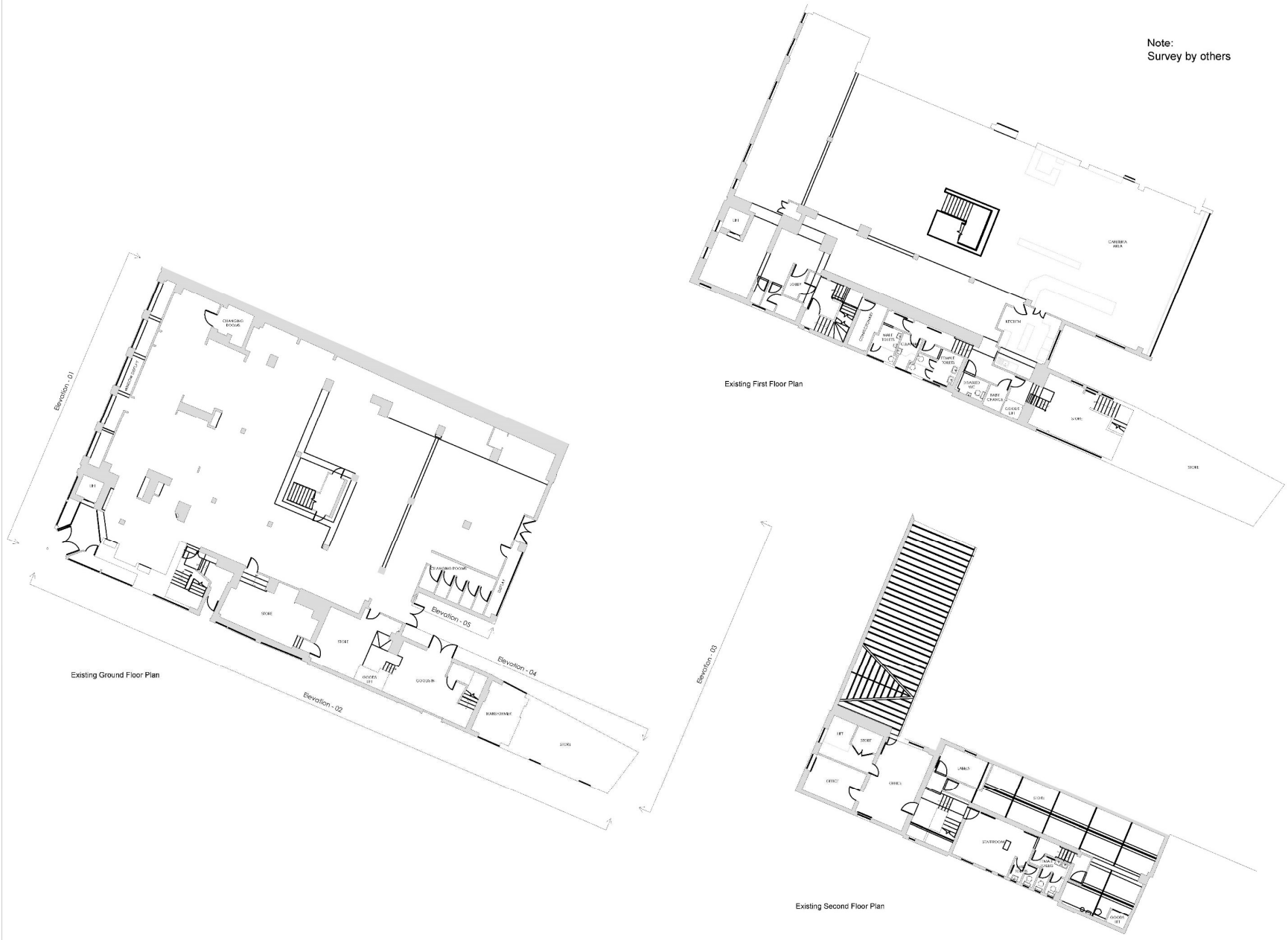


Existing Elevation 04



Existing Elevation 05

Note:
Survey by others



DISCLAIMER

All drawings shown here are for indicative purposes only and may be subject to variations. All works are to be carried out and managed by a competent and experienced Contractor.

Dimensions, areas, levels, coordinates and drawing scales are indicative only and are subject to change. Those carrying out the works should verify all dimensions, areas, levels and coordinates on site prior to making any material orders or commencing on site. All setting out positions must also be verified before commencing works. Any discrepancies, errors, omissions or design changes should be reported to Rimmington Building Design & Consultancy Ltd immediately. Do not scale off this drawing without consulting the designer.

All Planning drawings must not be used for construction purposes.

All works are subject to Structural Engineers recommendations, reports and documentation. This drawing should be read in conjunction with Structural Engineers recommendations and details.

Any hidden services are to be located by, and are the responsibility of, the Contractor or those carrying out the works. Any references made to drainage runs on this drawing are indicative only and must be checked on site by the Contractor or those carrying out the works prior to any works. Any proposed work within three metres of a public sewer or lateral drain requires consent from the local water authority.

It is the responsibility of the 'Building Owner' to check if any proposed works are affected by The Party Wall etc. Act 1996 and to inform all 'Adjoining Owners' accordingly and as detailed in The Party Wall etc. Act 1996.

If the total amount of external glazing exceeds 25% of the proposed floor area, SAP Calculators may be required. It is the responsibility of the Client to ensure Building Control is provided with any additional information they require for approval.

As outlined in CDM 2015 Industry Guidance to Designers under CDM 2015, Clients have duties that they have been made aware of. In accordance with CDM 2015 Regulations, any significant risks relating to the design features shown on this drawing have been identified and associated with an exclamation mark (!).

Copyright - This drawing and any content on it must not be copied or reproduced without written consent from Rimmington Building Design & Consultancy Ltd.

General Notes

A	Issued for planning approval.	05/12/23
No.	Revision/Issue	Date



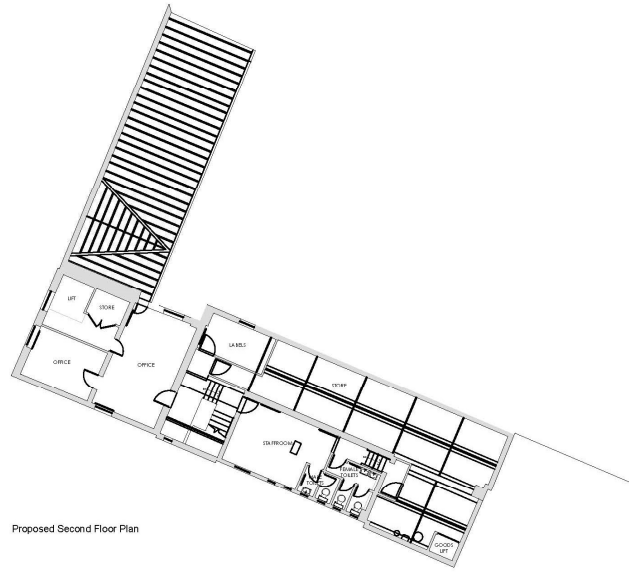
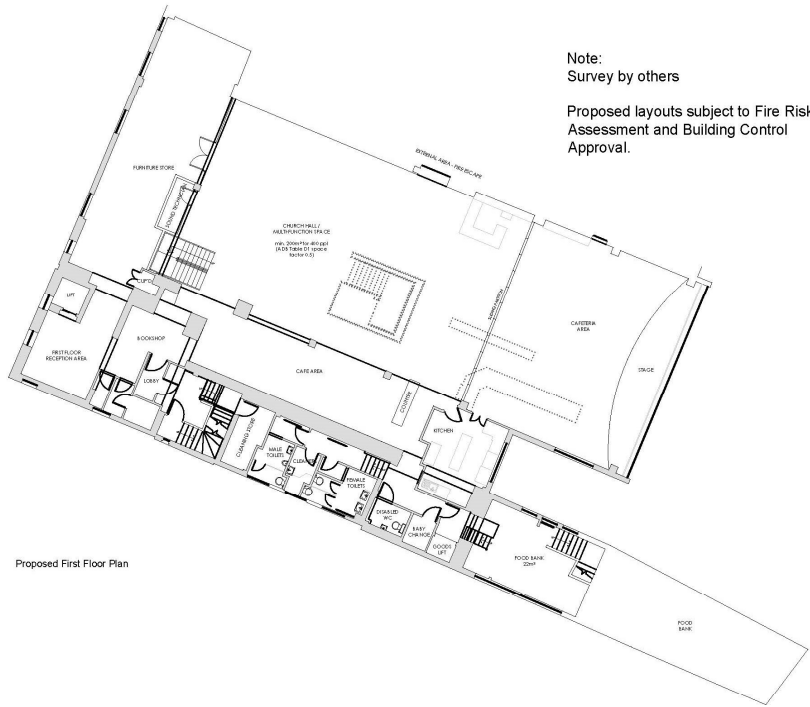
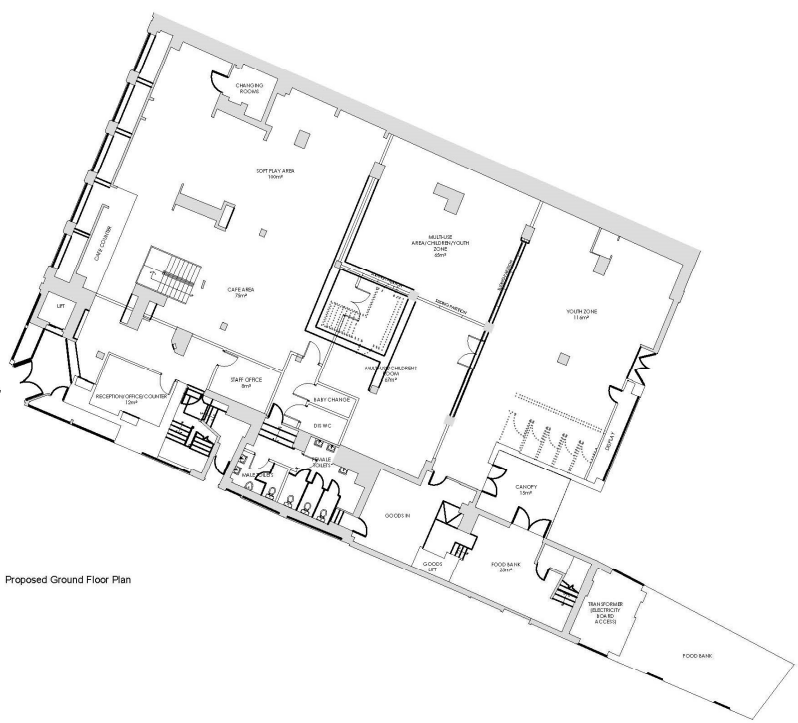
Project Name and Address
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name
Existing Floor Plans - Survey

Project Status Planning	Revision A
Drawing ID NSB-AP/001/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2

Note:
Survey by others

Proposed layouts subject to Fire Risk
Assessment and Building Control
Approval.



DISCLAIMER

All drawings shown here are for indicative purposes only and maybe subject to variations.

All works are to be carried out and managed by a competent and experienced Contractor.

Dimensions, areas, levels, coordinates and drawing scales are indicative only and are subject to change. Those carrying out the works should verify all dimensions, areas, levels and coordinates on site prior to making any material orders or commencing on site. All selling out positions must also be verified before commencing works. Any discrepancies, errors, omissions or design changes should be reported to Rimmington Building Design & Consultancy Ltd. immediately. Do not scale off this drawing without consulting the designer.

All 'Planning' drawings must not be used for construction purposes.

All works are subject to Structural Engineers recommendations, reports and documentation. This drawing should be read in conjunction with Structural Engineers recommendations and details.

Any hidden services are to be located by, and are the responsibility of, the Contractor or those carrying out the works. Any references made to drainage runs on this drawing are indicative only and must be checked on site by the Contractor or those carrying out the works prior to any works. Any proposed work within three metres of a public sewer or lateral drain requires consent from the local water authority.

It is the responsibility of the 'Building Owner' to check if any proposed works are affected by The Party Wall etc. Act 1996 and to inform all 'Adjoining Owners' accordingly and as detailed in The Party Wall etc. Act 1996.

If the total amount of external glazing exceeds 25% of the proposed floor area, SAP Calculations may be required. It is the responsibility of the Client to ensure Building Control is provided with any additional information they require for approval.

As outlined in CITE's Industry Guidance to Designers under CDM 2015, Clients have duties that they have been made aware of. In accordance with CDM 2015 Regulations, any significant risks relating to the design features shown on this drawing have been identified and annotated with an exclamation mark (!).

Copyright - This drawing and any content on it must not be copied or reproduced without written consent from Rimmington Building Design & Consultancy Ltd.

General Notes

A	Issued for planning approval.	05/12/23
No.	Revision/Issue	Date

RIMMINGTON
Building Design & Consultancy

Project Name and Address
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name
Proposed Floor Plans

Project Name Hanning	Revision A
Drawing ID HSS-AP/020/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2



Pygott & Crone
COMMERCIAL
ALL ENQUIRIES
0330 128 0939

BRAND STREET

CONEYS DEPARTMENT STORE
CONE
BRAND STREET

River Cafe
Prosecco
BAR
CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

ROAD
AHEAD
CLOSED

COMMERCIAL
ALL ENQUIRIES
0330 128 0939

BROAD STREET

CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

Riverview Cafe

Prosecco
— BAR —

CONEYS DEPARTMENT STORE

Automatic door

Automatic door

Automatic door

Automatic door

CONEYS DEPARTMENT STORE

www.coneys.co.uk



British Heart Foundation

profile

MOBILE MASTER
Buy, sell and repair phones
SELL EXCHANGE

Element78
JEWELLERS LTD

BEALES
REPAIRMENT STORE



BANK HOUSE

More Thompson
Trade Agent
Car and Accessories
morethompson.co.uk
0175 711155

ELDERKIN
GUNMAKER
EST. 1880

ROAD
AHEAD
CLOSED



CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

paco robarinne

JAMIE TUS

Rivenew Prosecco
RESTAURANT B.V.B.

MapThat Scale Print Title

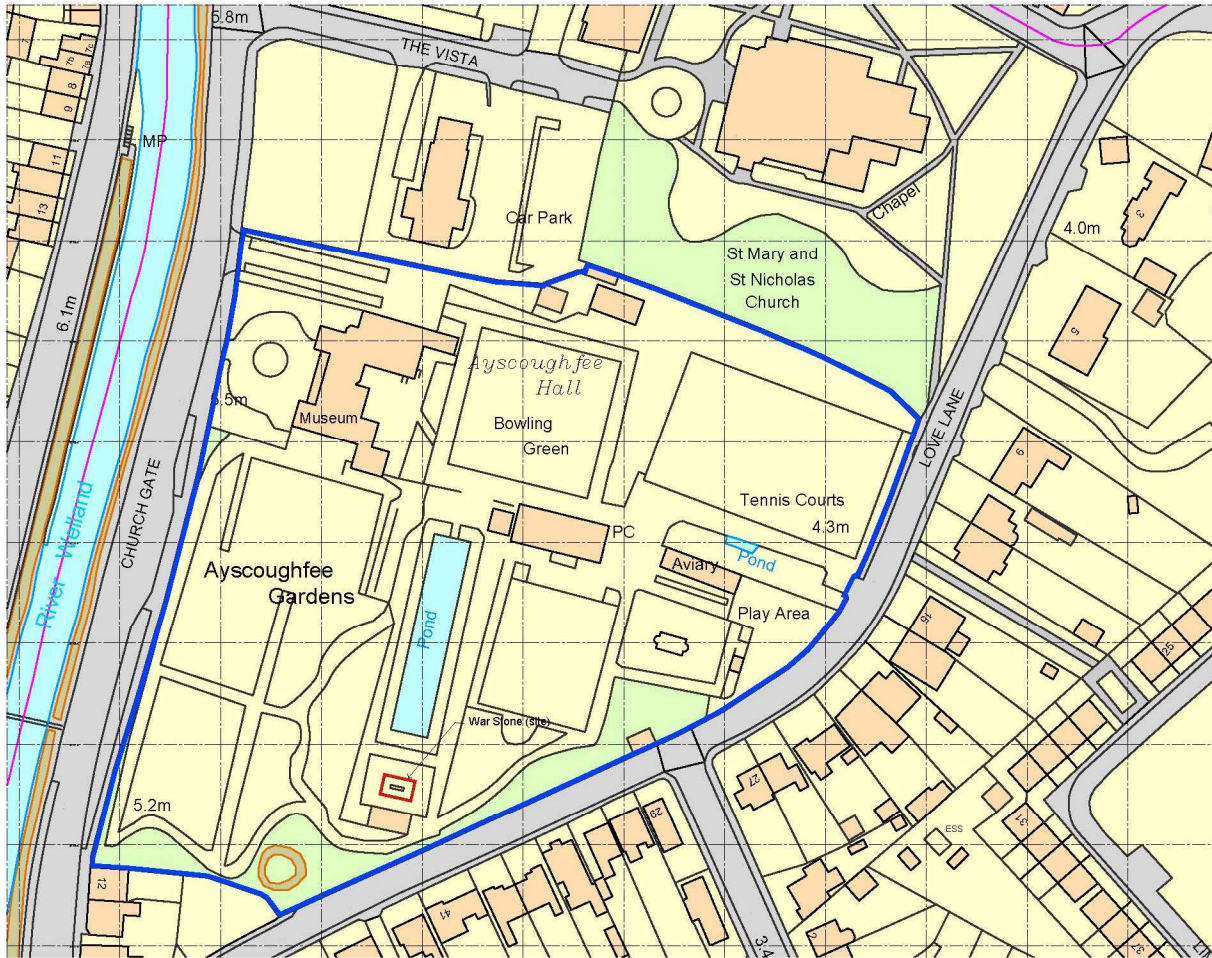


© Crown copyright and database rights 2022 Ordnance Survey 100018351.

MAP SCALE 1:1250
CREATED DATE: 20/02/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE

MapThat Scale Print Title





Ordnance Survey, (c) Crown Copyright 2024. All rights reserved. Licence number 100022432

Site Location Plan

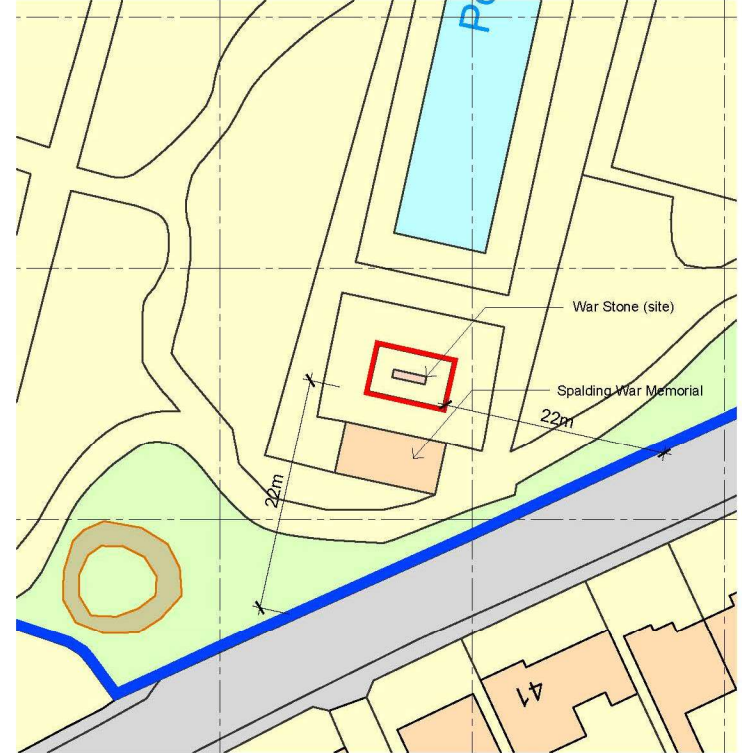
Scale 1:1250 @ A3

Site of works proposal outlined in red.

Other land in same ownership/control outlined in blue.

SCALE 1 : 1250 0m 10m 20m 40m 60m 80m 100m 120m

SCALE 1 : 1 0m 3mm 6mm 12mm 24mm 48mm 96mm 192mm



Site Block Plan as proposed

Scale 1:500 @ A3

Site of proposed works outlined in red

SCALE 1 : 500 0m 5m 10m 20m 30m 40m 50m
SCALE 1 : 1 0m 10mm 20mm 40mm 60mm 80mm 100mm



Client:	Project:
South Holland District Council	Ayscoughfee Hall Museum & Gardens Church Gate, Spalding, PE11 2RA Proposed Works to War Stone

Date:	Scale:
March 2024	As shown @ A3
Drawn by:	Checked by:
AJO	CLS
Drawing Number:	Rev:
A1660-01 WS	P1

DO NOT SCALE THIS DRAWING. THE CONTRACTOR IS DEEMED TO HAVE CHECKED ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO OGLESBY & LIMB LTD. THE CONTENTS OF THIS DRAWING ARE COVERED BY COPYRIGHT AND REMAIN THE PROPERTY OF OGLESBY & LIMB LTD. WRITTEN APPROVAL MUST BE OBTAINED FROM OGLESBY & LIMB LTD PRIOR TO DUPLICATION OR REPRODUCTION OF THIS DRAWING OR ITS CONTENTS. ANY DIMENSIONS NOT SHOWN ARE TO BE CHECKED AND AGREED WITH OGLESBY & LIMB LTD.

Drawing Title:
Site Location and Block Plans
LBC APPLICATION ISSUE

<p>Oglesby & Limb Ltd Chartered Architect</p> <p>Suite 1, Market Chambers 12 Market Place, Spalding, Lincs PE11 1SL</p> <p>Tel: 01775 761196 e-mail: design@o-l-ltd.co.uk</p>	
---	--

Memorial Elevation as existing
Scale 1:20



1914 THEIR NAME LIVETH 1939
1918 FOR EVERMORE 1945



Photo 10 - Joint with pointing missing / eroded



Photo 9 - Stones misaligned at joint



Photo 8 - Depressions and damaged joints to stone



Photo 11 - Algae growth on stone surfaces, pointing missing



Photo 12 - Surface algae and general grime

Memorial Plan as existing
Scale 1:20

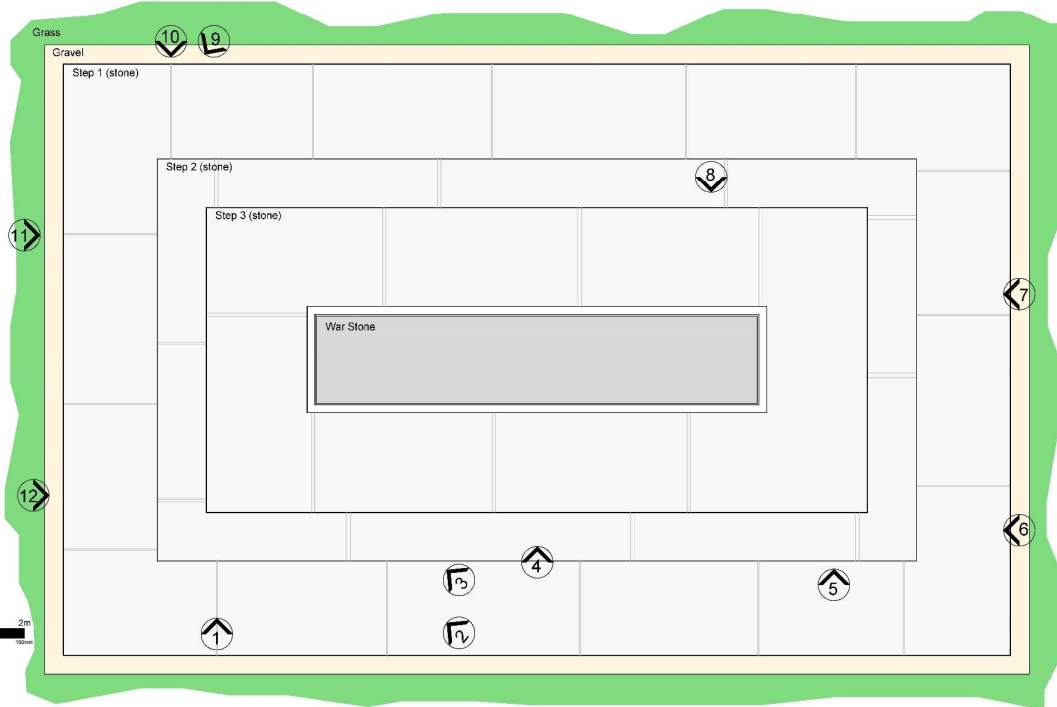


Photo 7 - Nominal 50 to 100mm depressions in stone surface



Photo 6 - Nominal 250mm depression in stone surface



Photo 1 - Joint with pointing missing and vegetation



Photo 2 - Nominal 80mm depression in stone surface



Photo 3 - Nominal 110mm depression in stone surface



Photo 4 - Nominal 110mm depression in stone surface



Photo 5 - Nominal 400mm crack through stone

DO NOT SCALE THIS DRAWING. THE CONTRACTOR IS DEEMED TO HAVE CHECKED ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO COLLESBY & LIMB LTD. THE CONTENTS OF THIS DRAWING ARE COVERED BY COPYRIGHT AND REMAIN THE PROPERTY OF COLLESBY & LIMB LTD. WRITTEN APPROVAL MUST BE OBTAINED FROM COLLESBY & LIMB LTD. PRIOR TO DULGATION OR REPRODUCTION OF THIS DRAWING OR ITS CONTENTS. ANY DIMENSIONS NOT SPECIFIED TO BE CHECKED AND AGREED WITH COLLESBY & LIMB LTD.

Ref.	Date	Description	Initial

Ogleby & Limb Ltd
Chartered Architects
Suite 1, Market Chambers
1 Market Place, Spalding, Leics
PE11 1SE
Tel: 01775 361196
e-mail: d.sage@o&l.co.uk

Client
South Holland District Council

Project:
Proposed Cleaning and repointing of War Stone of Spalding War Memorial Ayscoughlee Hall Gardens Spalding PE11 2RA

Drawing Title:
**Proposed Details of cleaning and repointing
Details of cracked pointing and surface defects and grime
LBC APPLICATION ISSUE**

Date: **Mar 2024** Scale: **as shown @ A1**
Drawn by: **cad** Checked by: **ajo**

Drawing Number: **A1606-06** Rev: **P1**





1914 THEIR NAME LIVETH 1939
1918 FOR EVERMORE 1945

THEIR NAME LIVETH THEIR NAME LIVETH THEIR NAME LIVETH





MapThat Scale Print Title



MAP SCALE 1:1000
CREATED DATE: 24/05/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE

