

Welcome to the Planning Committee

MapThat Scale Print Title



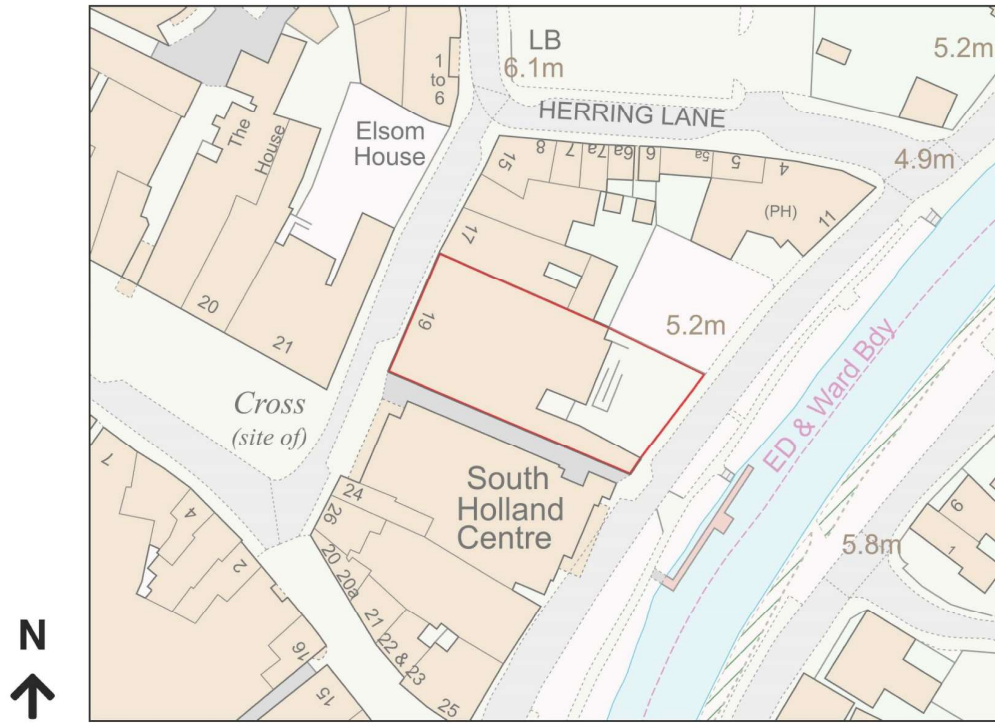
MAP SCALE 1:1250
CREATED DATE: 20/02/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE

Location Plan

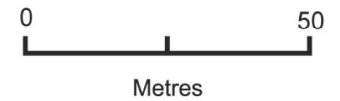
Site Address: **Welland Restaurant - Hills, 18-19, Broad Street, Spalding, PE11 1TB**

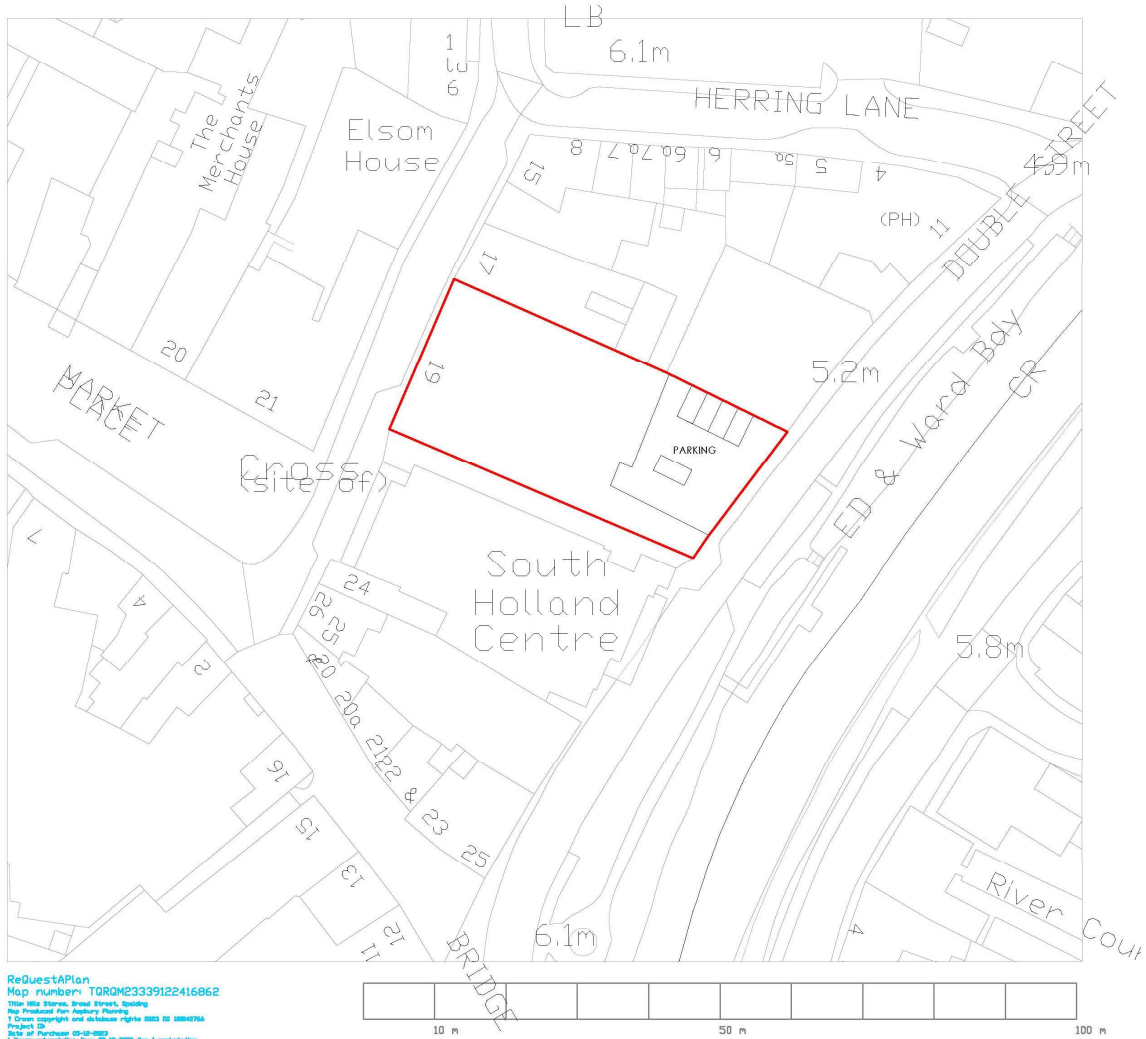
Date Produced: **05-Dec-2023**

Scale: **1:1250 @A4**



Planning Portal Reference: **PP-12649433v1**





Request a Plan
 Map number: TQRQM2339122416862
 Title: Hills Stores, Broad Street, Spalding
 Map Produced from Authority Floorings
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 Project ID:
 Date of Purchase: 05-12-2023
 1 Year subscription from 05-12-2023 For 1 consultation

Block Plan

DISCLAIMER

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General Notes

A Issued for planning approval. 05/12/23		
No.	Revision/Issue	Date



Project Name and Address
 Hills Stores,
 Broad Street,
 Spalding
 PE11 1TB

Drawing Name
 Block Plan

Project Name Hills Stores	Revision A
Drawing ID HSS-AP/101/23	Date 05/12/23
Drawing Scale 1:500	Sheet A2

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RIMMINGTON
Building Design & Consultancy

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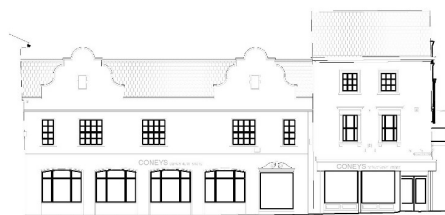
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name

Existing Elevations - Survey

Project Status Planning	Revision A
Drawing ID NSB-AP/10/10/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2

Note:
Survey by others



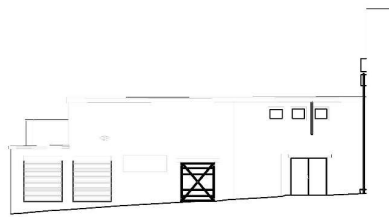
Existing Elevation 01



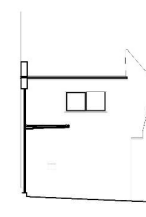
Existing Elevation 02



Existing Elevation 03



Existing Elevation 04



Existing Elevation 05

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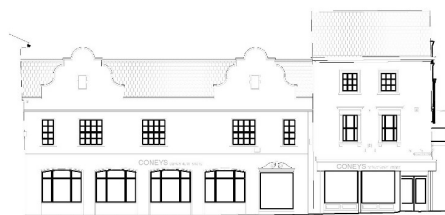
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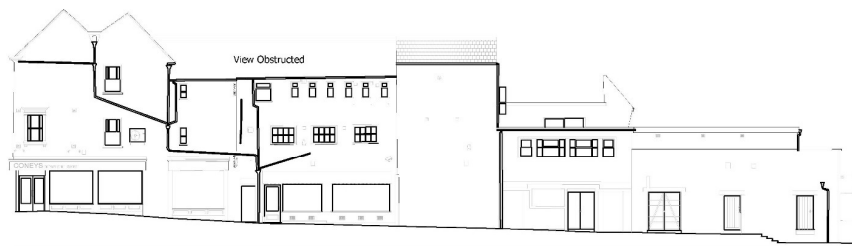
Proposed Elevations - Survey

Project Status Planning	Revision A
Drawing ID NSB-AP/1330/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2

Note:
Survey by others
Elevations unchanged



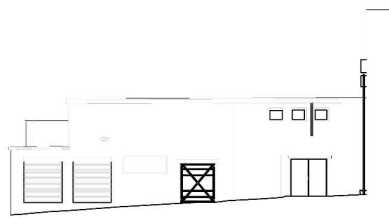
Existing Elevation 01



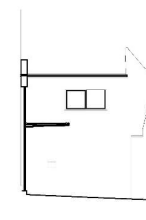
Existing Elevation 02



Existing Elevation 03

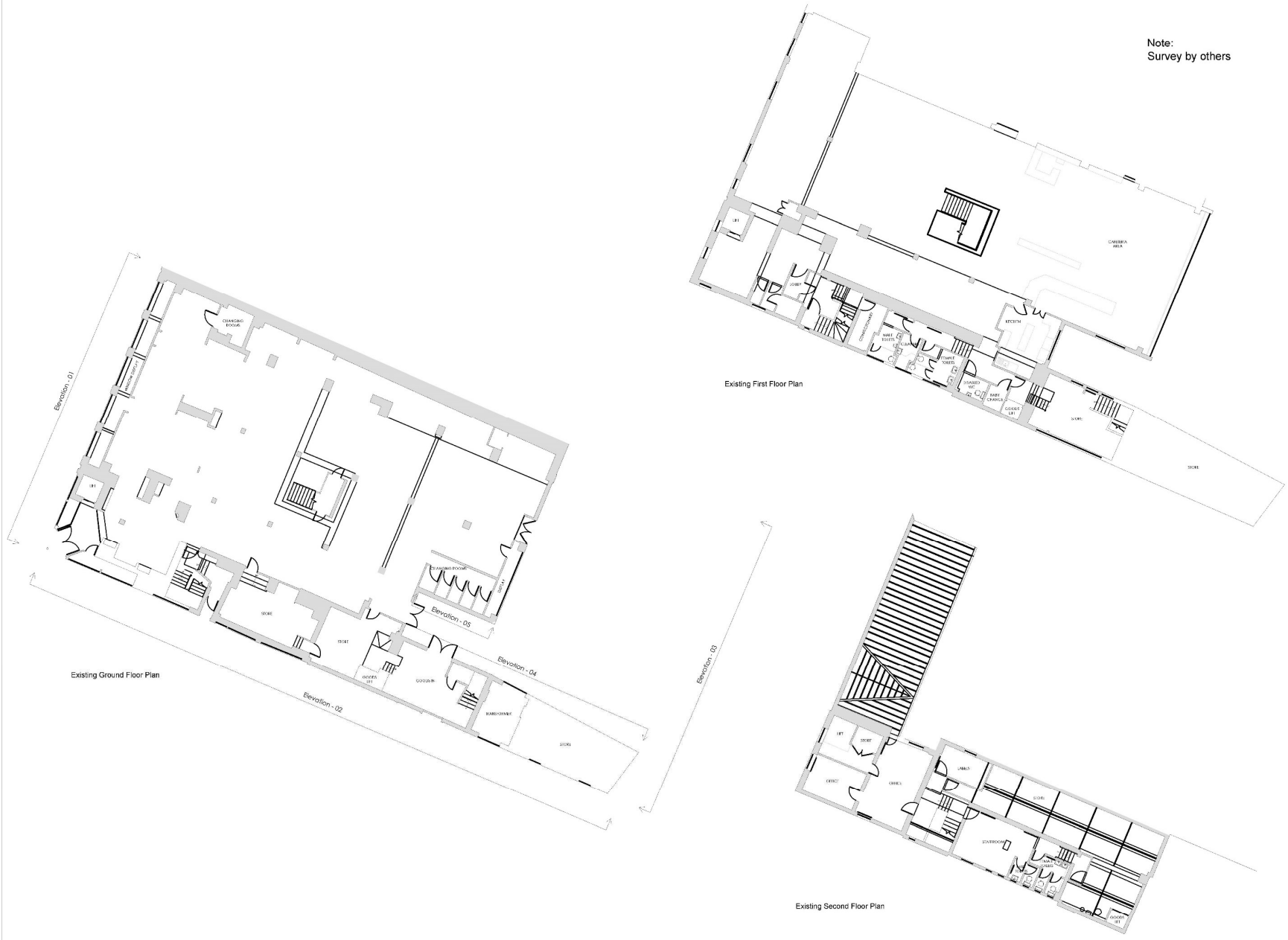


Existing Elevation 04



Existing Elevation 05

Note:
Survey by others



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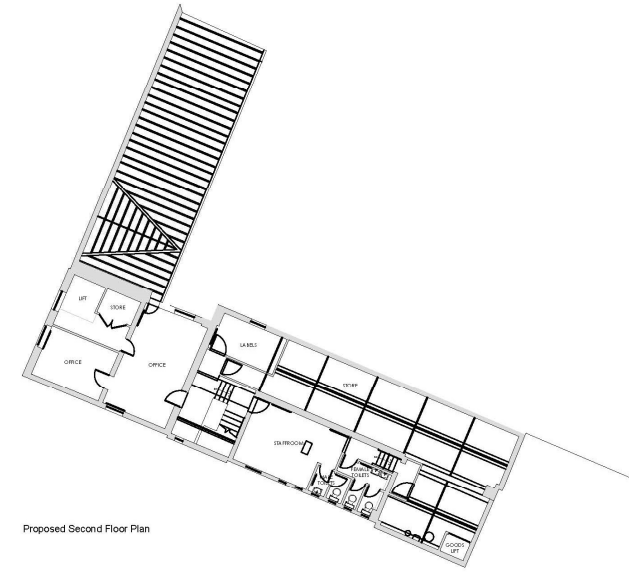
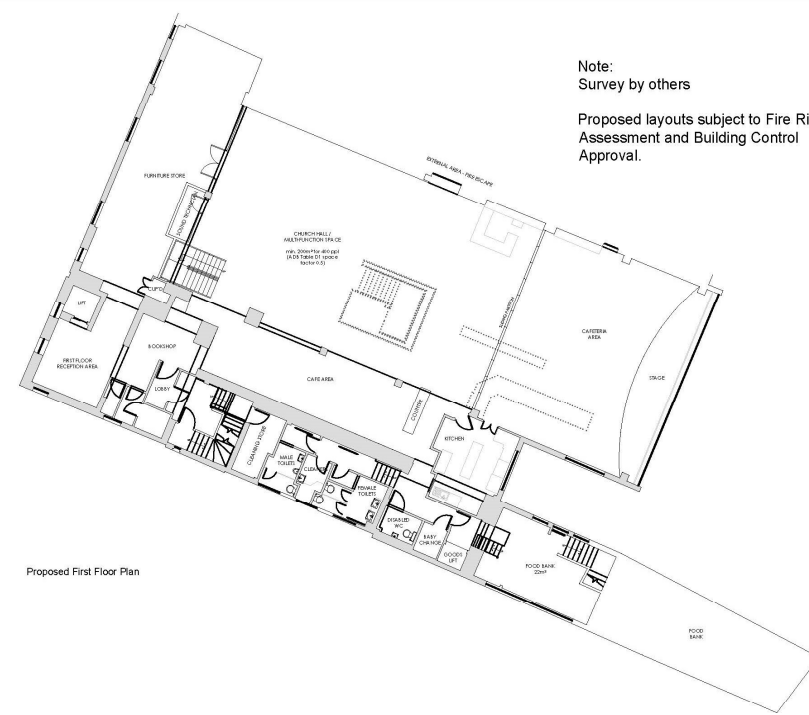
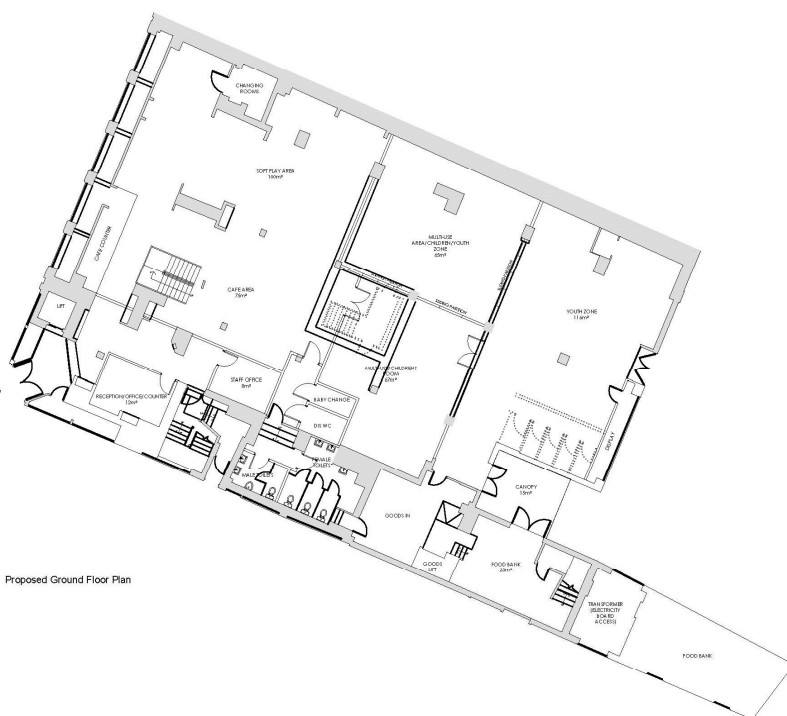
Project Name and Address
Hills Stores,
Broad Street,
Spalding
PE11 1TB

Drawing Name
Existing Floor Plans - Survey

Project Status Planning	Revision A
Drawing ID NSB-AP/001/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2

Note:
Survey by others

Proposed layouts subject to Fire Risk
Assessment and Building Control
Approval.



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Drawing Name
Proposed Floor Plans

Project Name Planning	Revision A
Drawing ID HSS-AP/020/23	Date 01/12/23
Drawing Scale 1:200	Sheet A2



Pygott & Crone
COMMERCIAL
ALL ENQUIRIES
0330 128 0939

BRAND STREET

CONEYS DEPARTMENT STORE
CONE
BRAND STREET

River Cafe
Prosecco
BAR
CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

ROAD
AHEAD
CLOSED

COMMERCIAL
ALL ENQUIRIES
0330 128 0939

BROAD STREET

CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

Riverview Cafe

Prosecco
— BAR —

CONEYS DEPARTMENT STORE

Automatic door

Automatic door

Automatic door

Automatic door

CONEYS DEPARTMENT STORE

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British Heart Foundation

profile

MOBILE MASTER
Buy, sell and repair phones
SELL EXCHANGE

Element78
JEWELLERS LTD

BEALES
REPAIRMENT STORE

Star

LEVEL 2

WINDY PLACE

10

50

100



BANK HOUSE


Moore Thompson
Trade Agent
Carpent & Cabinet
moorethompson.co.uk
0175 71155

ELDERKIN
GUNMAKER
Est. 1880

COCKEY'S

ROAD
AHEAD
CLOSED



CONEYS DEPARTMENT STORE

CONEYS DEPARTMENT STORE

paco robarinne

JAMIE TUS



Rivenew Prosecco
RESTAURANT B.V.B.

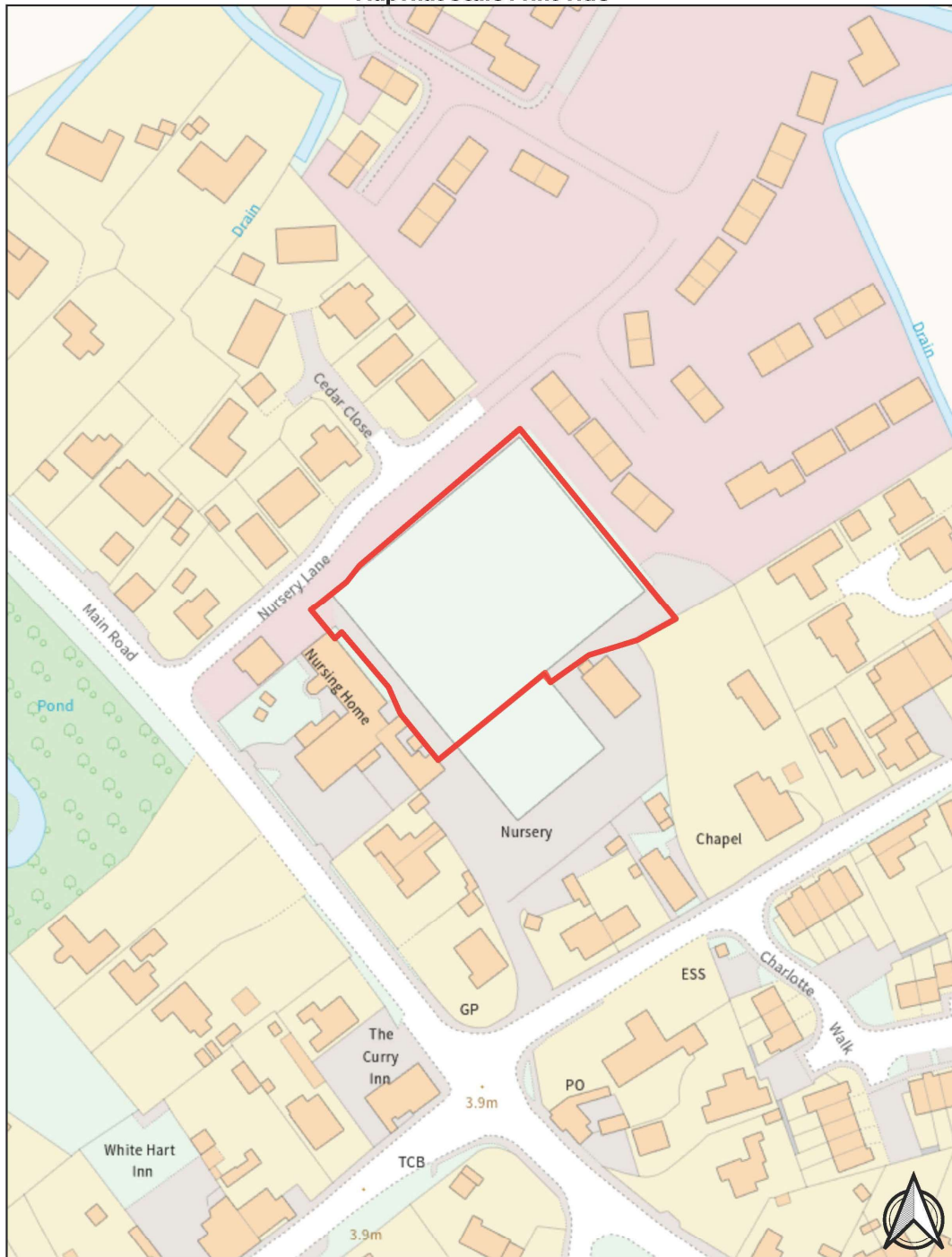
MapThat Scale Print Title



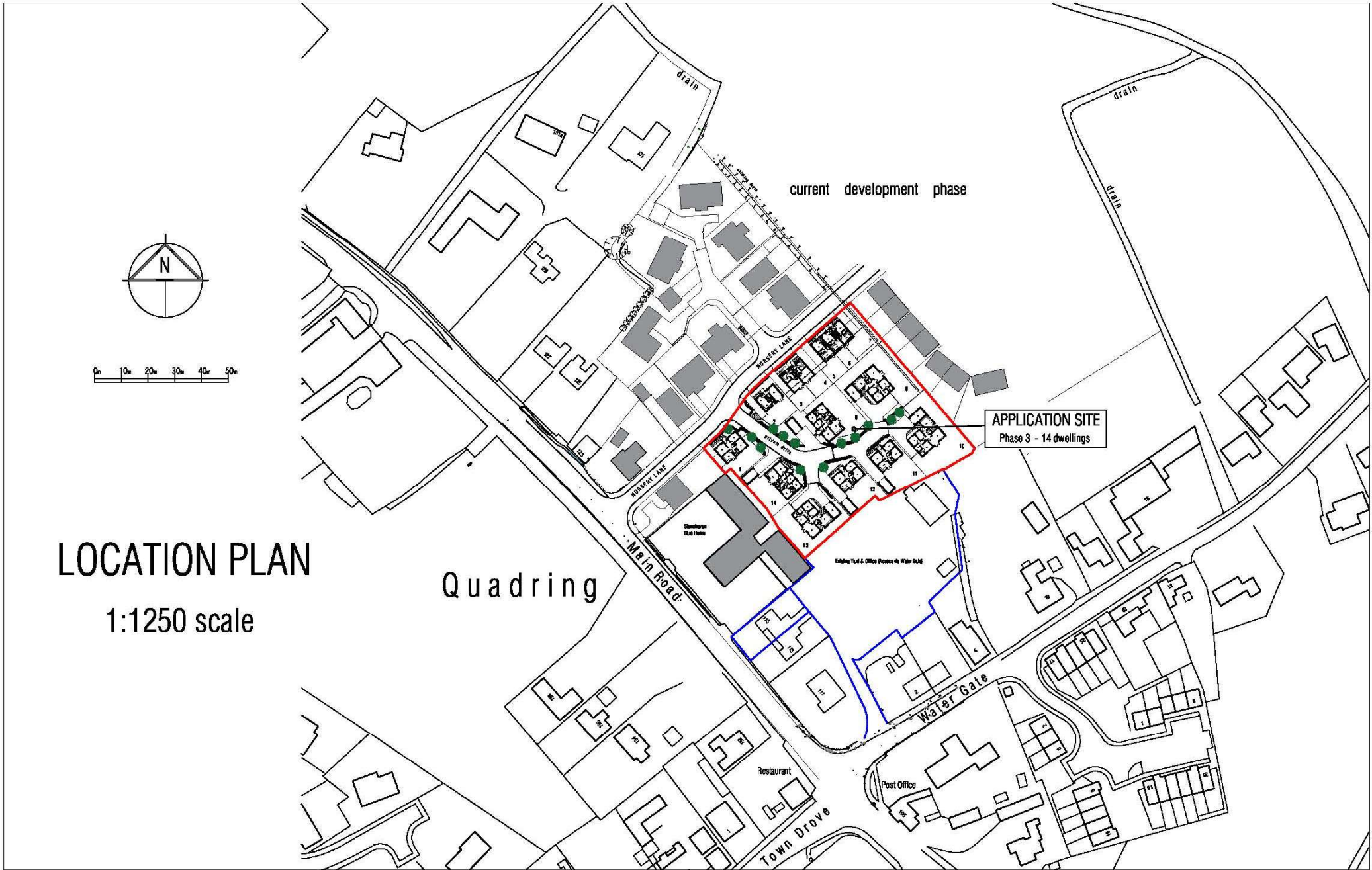
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MAP SCALE 1:1250
CREATED DATE: 20/02/2024
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MAP SCALE 1:1250
CREATED DATE: 19/04/2024
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IN SCALE



LOCATION PLAN
1:1250 scale

Quadding

APPLICATION SITE
Phase 3 - 14 dwellings

ACCOMMODATION SCHEDULE - total 14 dwellings

Affordable Housing -

2 bed terraced house - Plots 5, 6, 7

Market Housing

3 bed semi detached house - Plots 3 & 4

3 bed detached house - Plot 1, 2

2 bed detached bungalow - Plots 11, 12

3 bed detached bungalow (integral garage) - Plots 9, 10, 13

3 bed detached bungalow (detached garage) - Plots 8, 14

minimum 2 parking spaces per dwelling

Landscaping & Boundary Treatment

Tree Planting to be 1.8m - 2m high suitably staked and tied

ac - *acer campestre* Field Maple

bp - *betula pendula* Silver Birch

pa - *prunus avium* Wild Cherry

Hedgerow

Plot frontages to be defined with hedgerow planting

Prunus Laurocerasus Rotundifolia cherry laurel

45/60cm bare root plants @ 4 per metre run

Front and rear gardens to be seeded / turfed

Boundary Fencing*

Rear boundary to plots to be 2.0m high timber closeboard fence

Rear gardens to be divided by 1.8m high timber closeboard fence.

Front gardens divided by 1.2m high timber post and rail.

* heights are above finished ground levels

Private Drive

Permeable driveway 5metre width with turning head provision as indicated

Drainage

Foul Drainage from dwellings is to connect into Anglian Water sewer

Surface Water Drainage - Roof water to discharge into suitably sized soakaways or existing private watercourse in accordance with overall site drainage strategy.

Driveways to be permeable in accordance with drainage strategy

Site Levels

For details of existing site levels please refer to Topographical Survey
Finished Floor Levels to dwellings are to be at 3.40mODN minimum in accordance with FRA

Refuse Storage and Collection

Plots 8 - 14 provided with refuse collection point as indicated on layout
provision is made within rear gardens for suitable storage of general and recycle materials



SITE LAYOUT

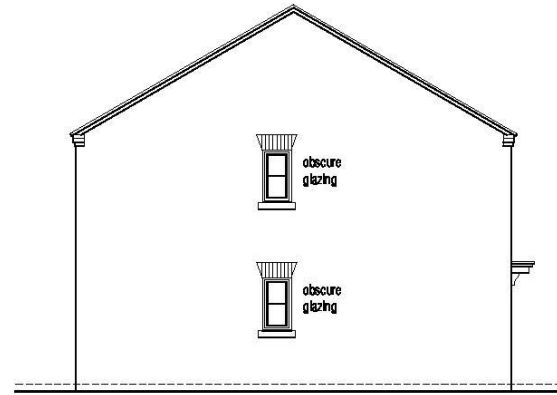
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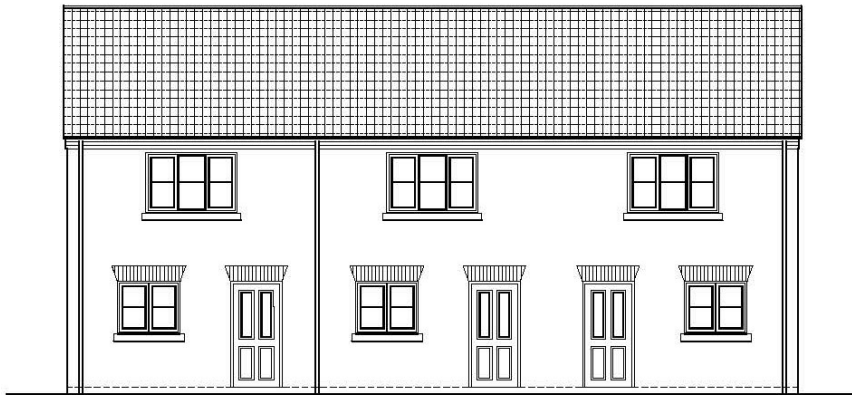


front elevation

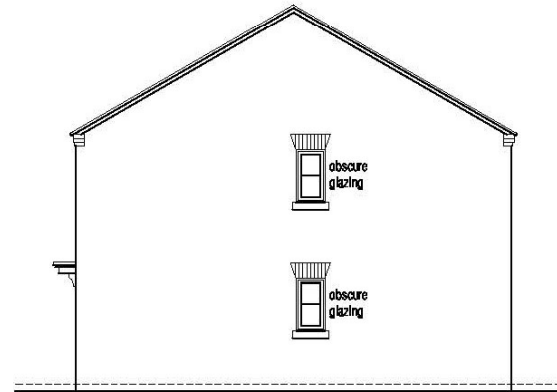
Plot 7 Plot 6 Plot 5



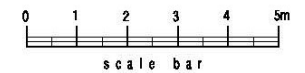
side elevation

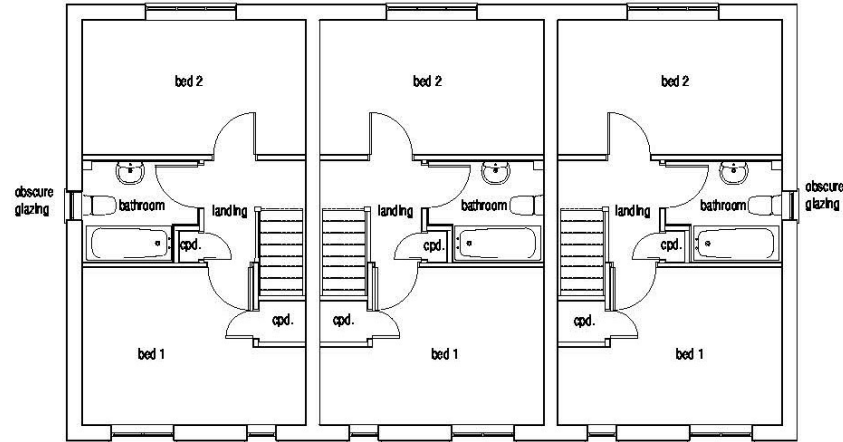


rear elevation

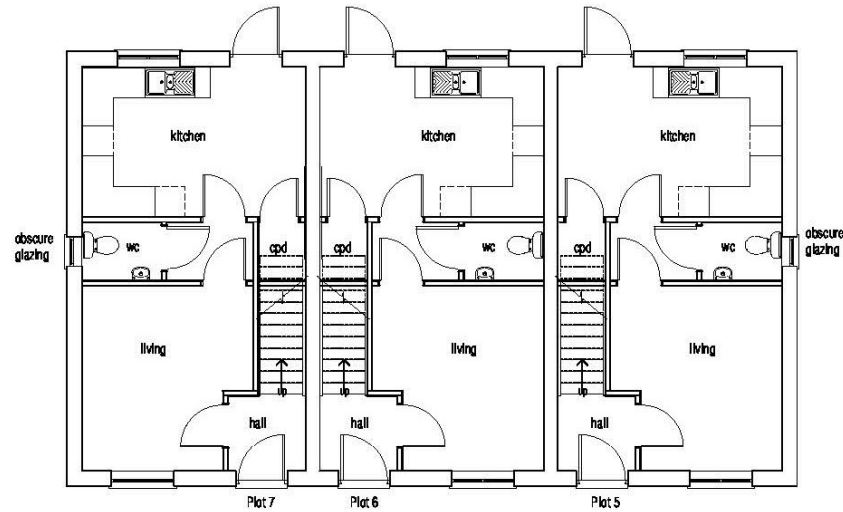


side elevation

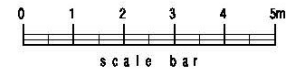




first floor

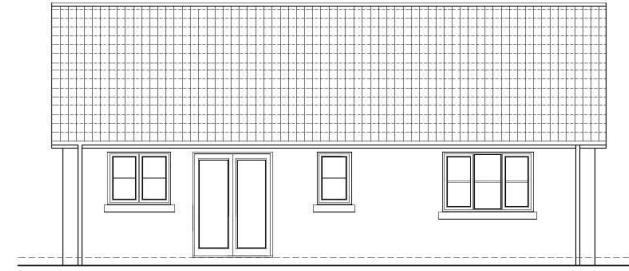


ground floor





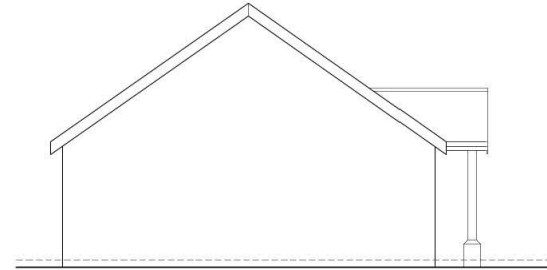
front elevation



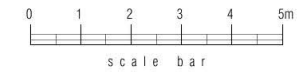
rear elevation



Floor Layout



side elevations



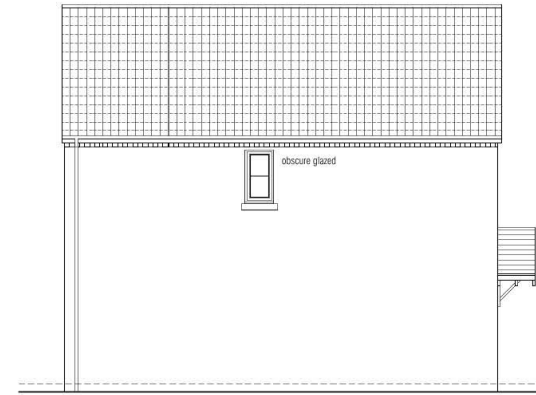
rev A mar24 - plot schedule amended
(plot 1 omitted)



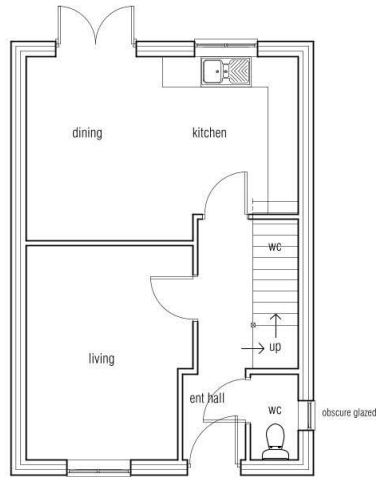
front elevation



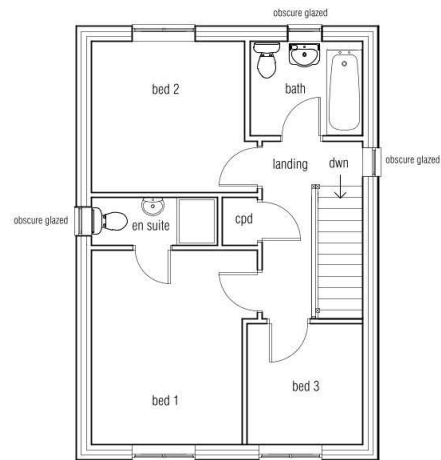
rear elevation



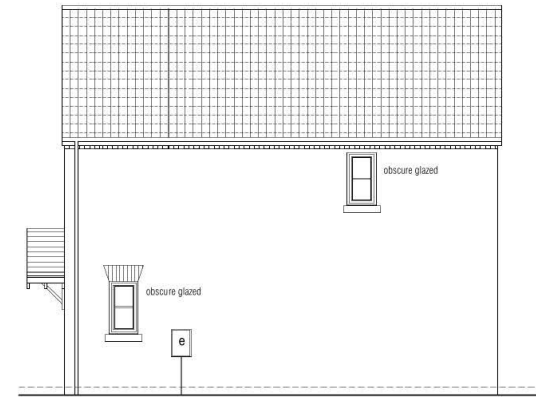
side elevation



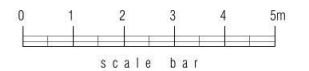
ground floor



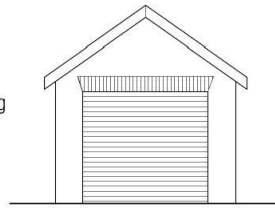
first floor



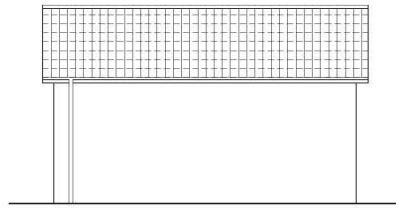
side elevation



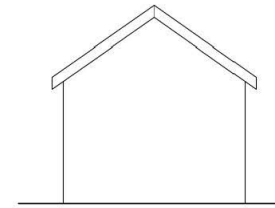
Roof Tiles & Brickwork
to match associated dwelling



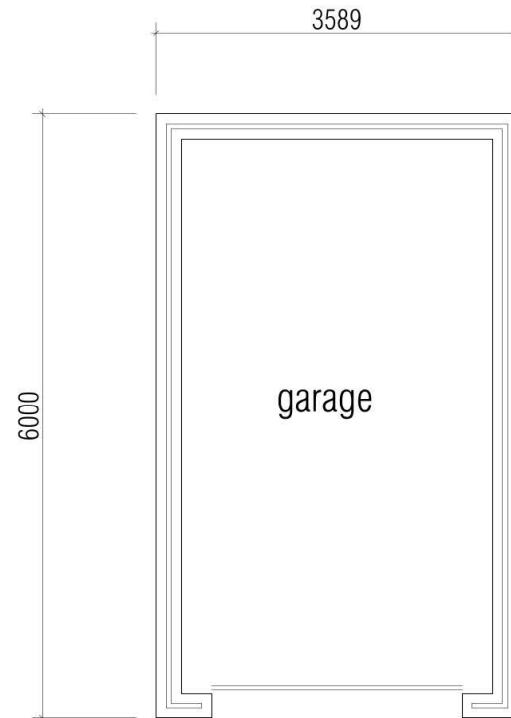
front elevation



side elevations



rear elevation

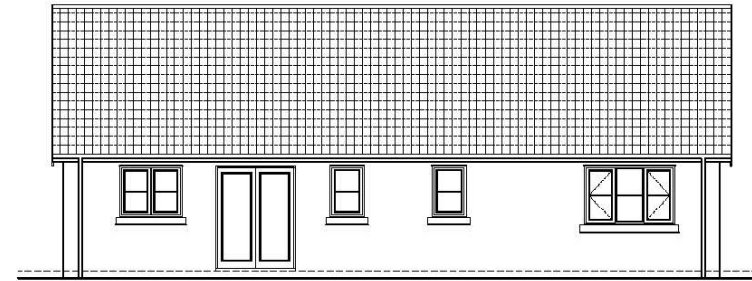


floor plan 1:50 scale

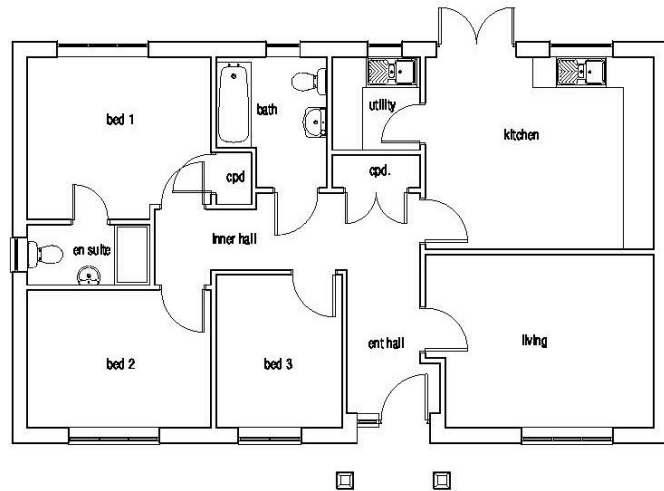
rev A mar24 - plot schedule amended
(garage added to plot 2)



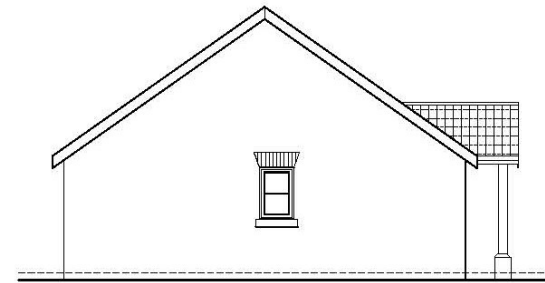
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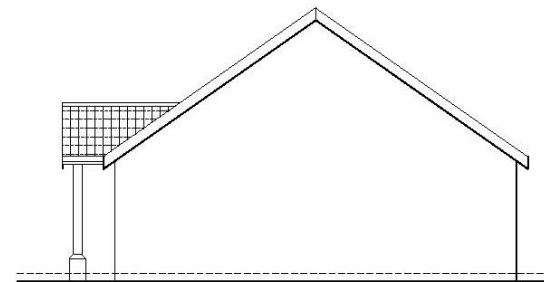
rear elevation



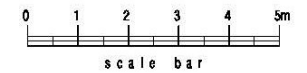
Floor Layout

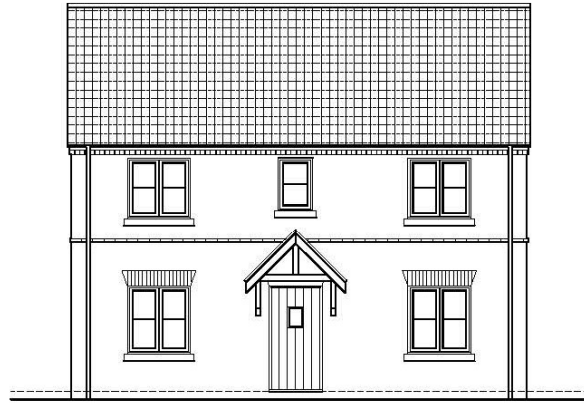


side elevation



side elevation

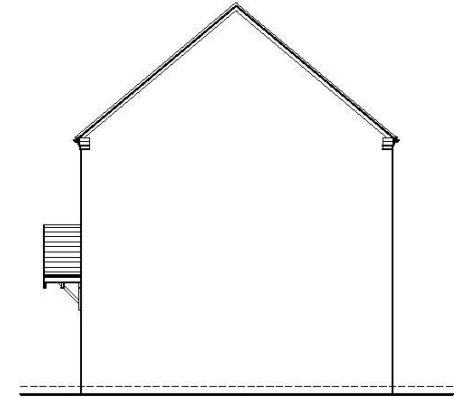




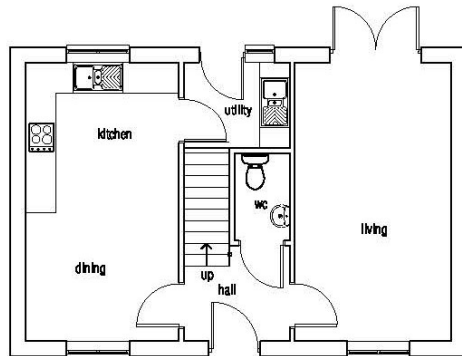
front elevation



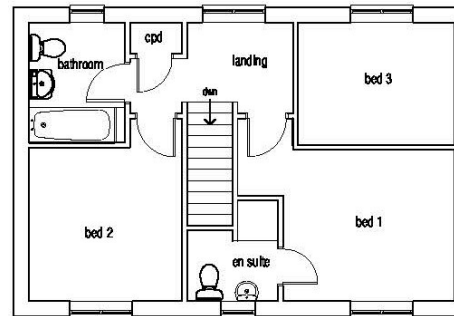
rear elevation



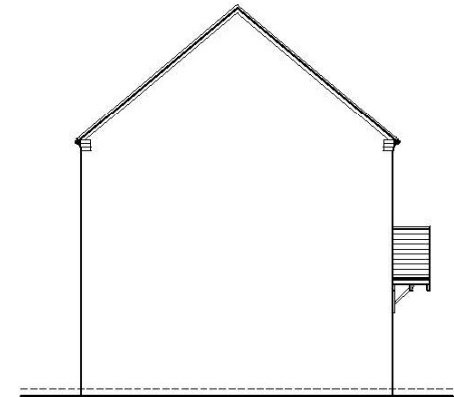
side elevation



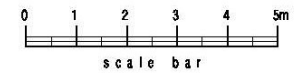
Ground Floor Layout

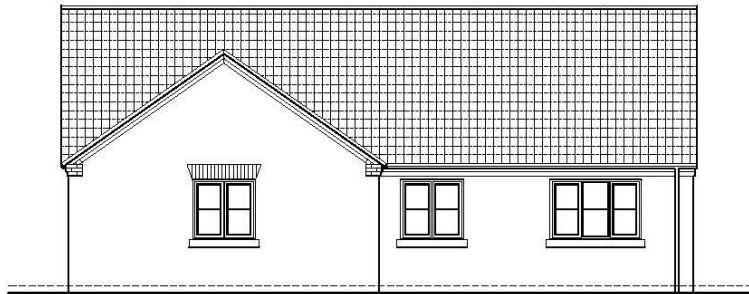


First Floor Layout

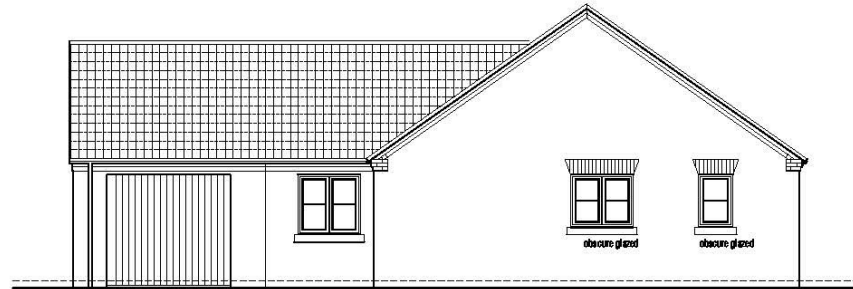


side elevation

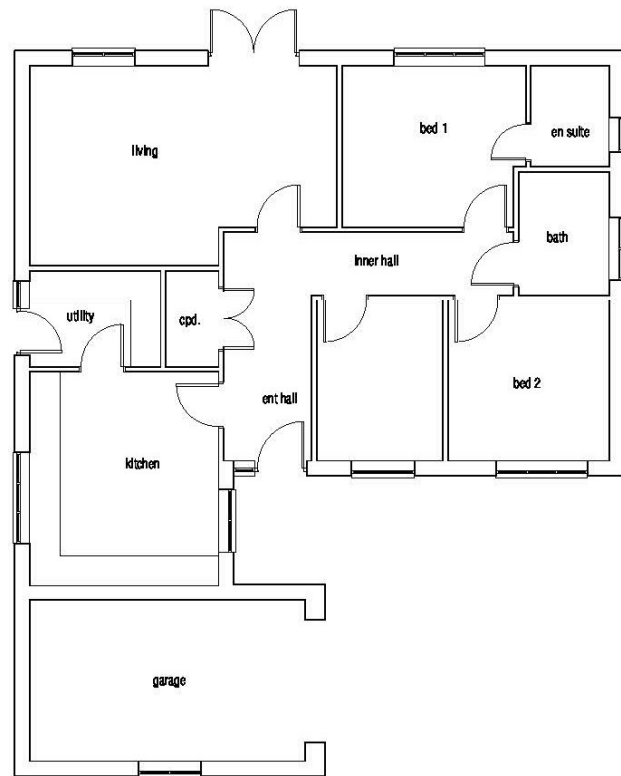




front elevation



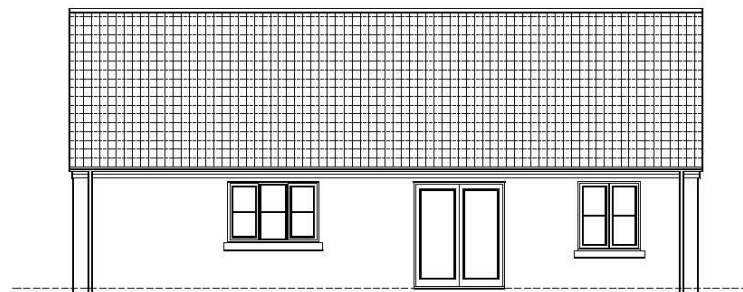
side elevation



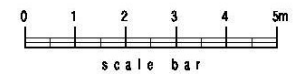
Floor Layout

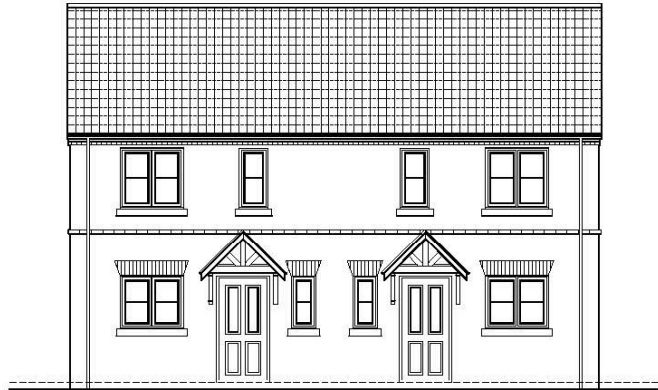


side elevation

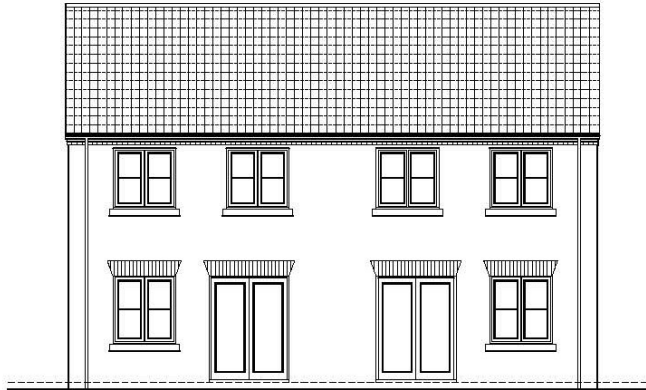


rear elevation

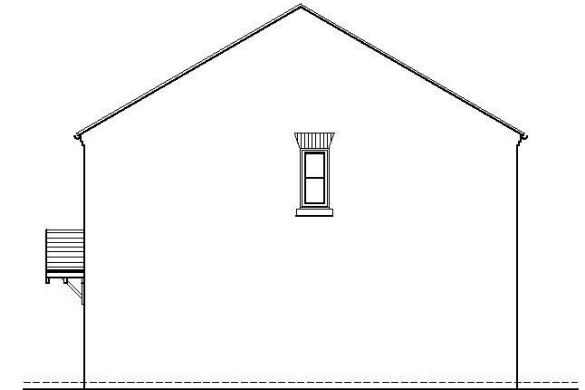




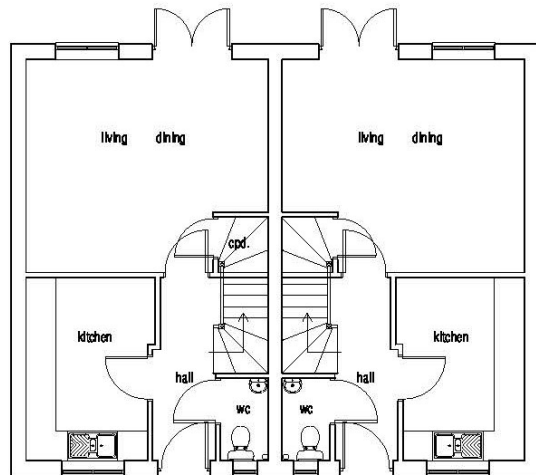
front elevation



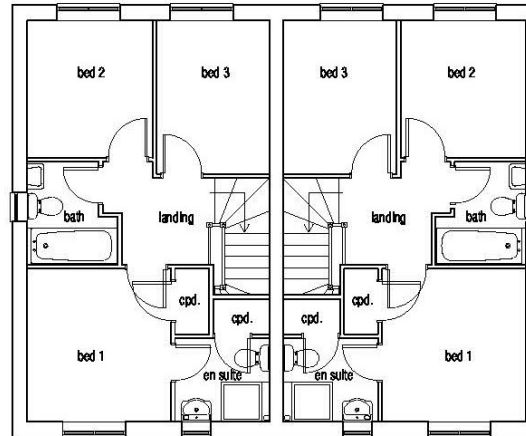
rear elevation



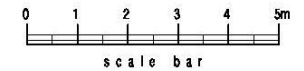
side elevations



Ground Floor Layout



First Floor Layout































Site Office
←

STANDARD
No access to unauthorised persons
All visitors must report to site office
CS Sites must not play on this site
Dangerous traffic
High visibility clothing must be worn
Safety helmets & footwear must be worn
Eye protection must be worn
Please park safely

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