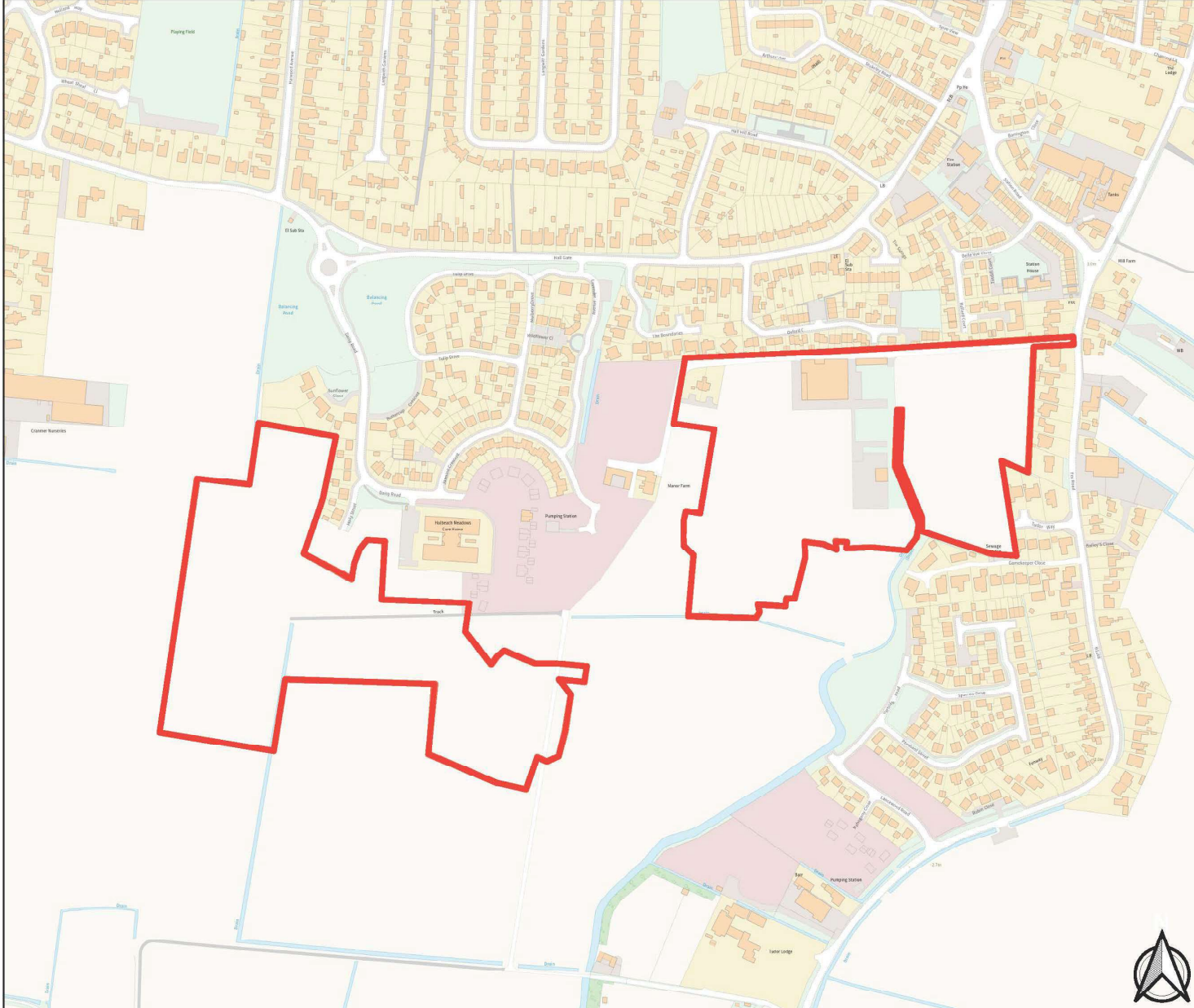


Welcome to the  
Planning  
Committee

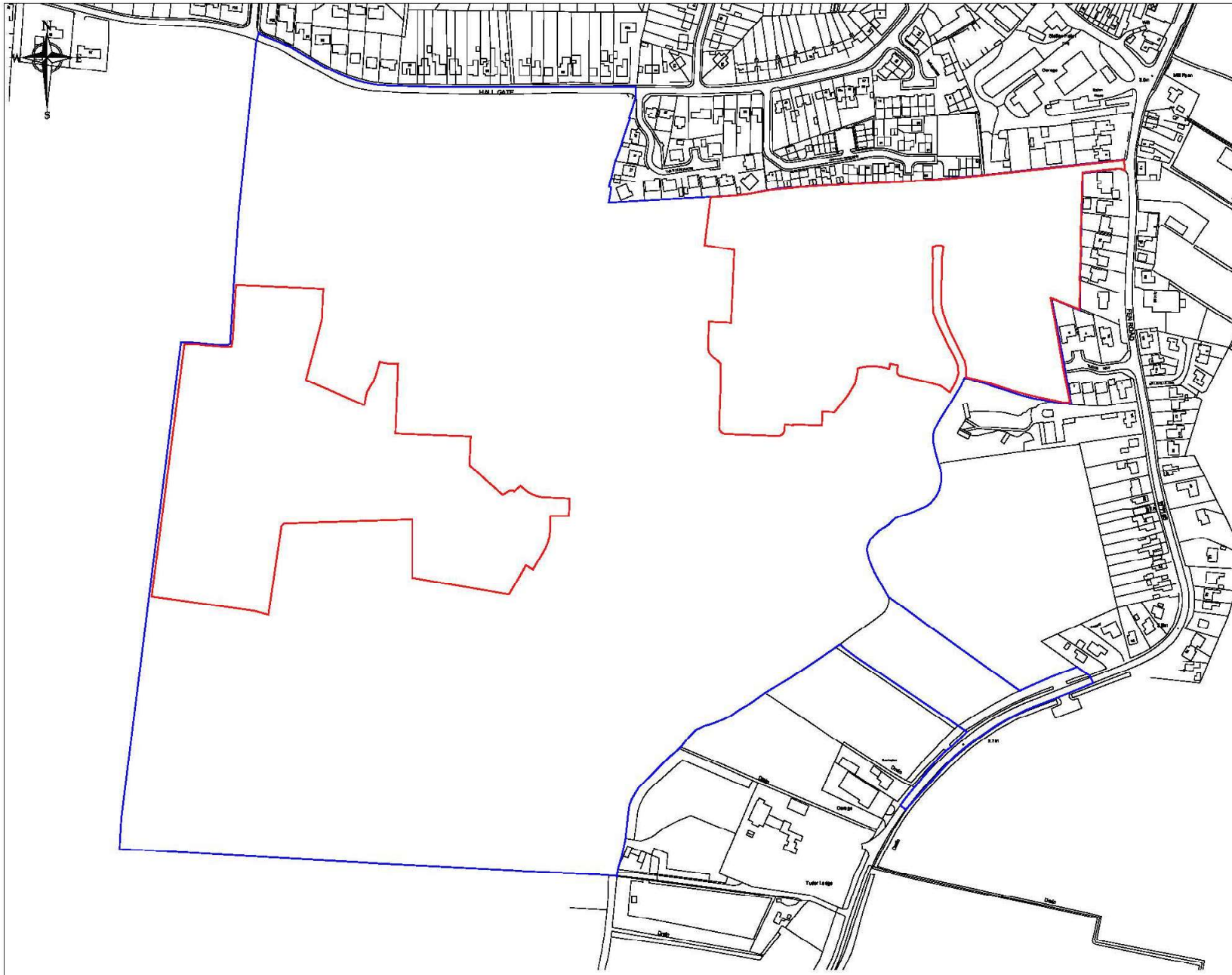


MapThat Scale Print Title



**MAP SCALE 1:** 5000  
**CREATED DATE:** 24/04/2024  
**PHOTOGRAPHIC COPY**  
**LIABLE TO DISTORTION**  
**IN SCALE**





**KEY**

- Phase 3 Site Boundary
- Outline Planning Boundary - 169-0291-14

Rev.	Date	Description
C	09.20.24	Issue the Recordset Updated to Outline Approved
B	04.02.24	Issue the Recordset Updated to Outline Approved
A	23.11.23	Issue the Recordset Updated

**ASHWOOD HOMES**  
 1 Goodfearn Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8FY. T: 01432 490580

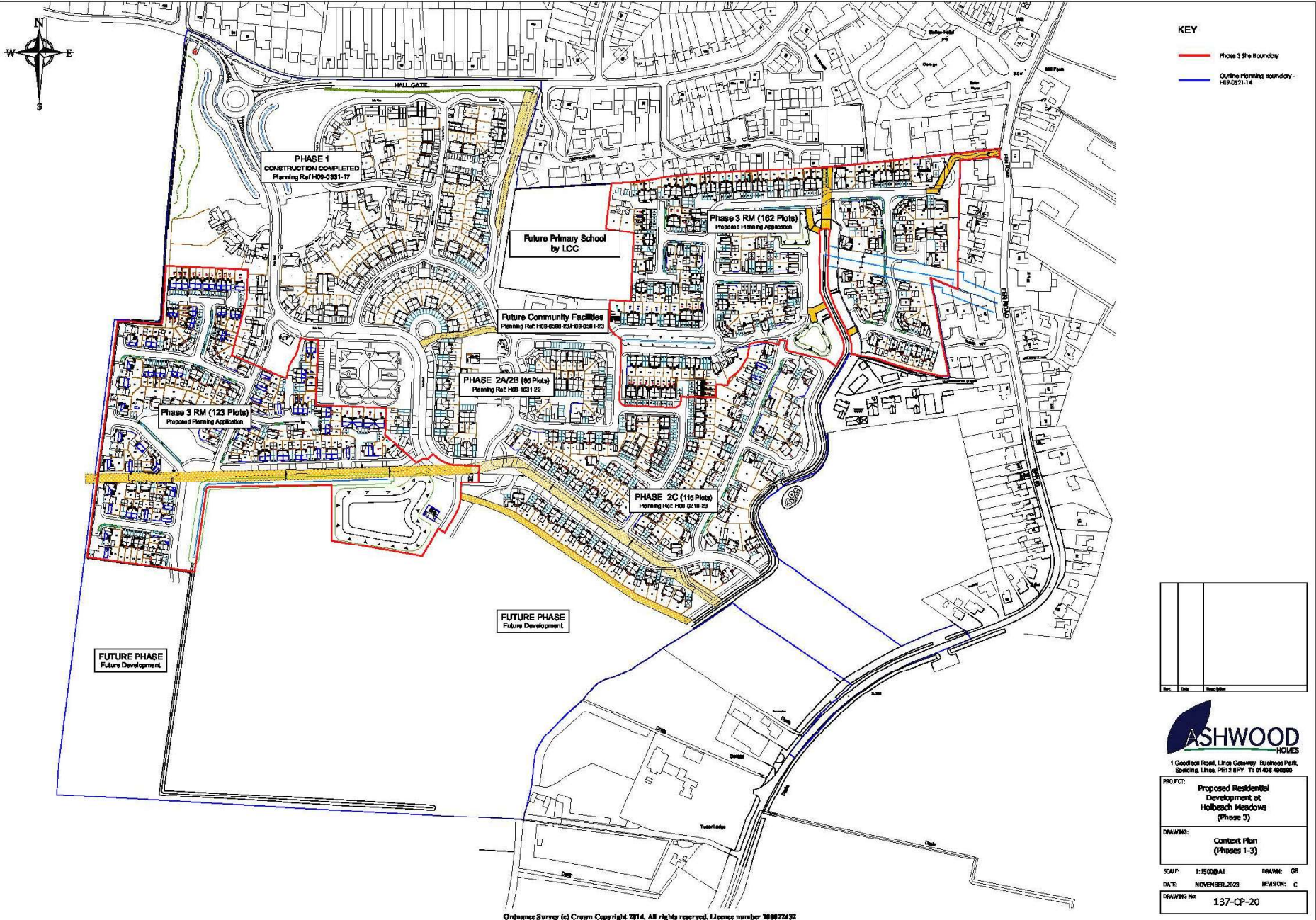
PROJECT: Proposed Residential Development at Holbeach Meadows (Phase 3)

DRAWING: Location Plan (Phase 3)

SCALE: 1:1500@A1 DRAWN: GB

DATE: OCT.2022 REVISION: C

DRAWING No: 137-LP-01



**KEY**

- Phase 3 Site Boundary
- Outline Planning Boundary - H09-0218-14

Rev.	Date	Description



1 Goodfearn Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8PY. T: 01430 400500

PROJECT: Proposed Residential Development at Holbeach Meadows (Phase 3)

DRAWING: Context Plan (Phases 1-3)

SCALE: 1:1500@A1 DRAWN: GB

DATE: NOVEMBER 2023 REVISION: C

DRAWING No: 137-CP-20



- KEY**
- Site Boundary
  - Outline Planning Boundary - H09-021-14
  - 1.8m High Brick Wall
  - Filter Drains
  - Anglian Water Drainage Easement
  - Refuse Collection Areas
  - LED dusk to dawn Bollard Lights
  - 7 kW Electric Vehicle Car Charger
  - PV Panels to Roofs - shown Indicatively, exact PV Requirements to be determined by SAPS
  - Landscaping - shown Indicatively Refer to landscape drawings
  - Existing trees to be removed
  - Affordable Housing
  - Affordable Rent
  - Shared Ownership
  - First Homes

**SITE AREAS**

Red Line Boundary 57675.5m<sup>2</sup>

Usable Public Open Space 10755m<sup>2</sup> (18.6%)

Rev.	Date	Description
F	09.07.24	Site line boundary amended
D	24.06.24	Updates to site planning comments
C	30.04.24	Affordable housing mix reviewed
B	18.03.24	Layout amended to ICC and planning comments
A	10.03.24	ICD report section amended, easement updated
Iss.	08.01.24	Issue

**ASHWOOD HOMES**

1 Goodison Road, Lincs Gateway Business Park  
 Spalding, Lincs, PE12 8FY T: 01406 480890

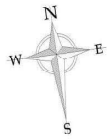
PROJECT: Proposed Residential Development at Holbeach Meadows

DRAWING: Site Layout Phase 3 - Northern Site Plots (163 No. Plots)

SCALE: 1:500@A1 DRAWN: GB

DATE: NOVEMBER 2023 REVISION: E

DRAWING No: 137-SL-11



- KEY**
- Site Boundary
  - Extent of Further Land in Applicant's Ownership
  - 1.8m High Brick Wall
  - Filter Litans
  - Anglian Water / Private Drainage (Exclusion)
  - Refuse Collection Areas
  - LED dusk to dawn Bollard Lights
  - 7 kW Electric Vehicle Car Charger
  - PV Panels to Roofs - shown indicatively, Exact PV Requirements to be determined by SAPS
  - Landscaping - shown indicatively refer to landscape drawings
  - Existing trees to be removed
- SITE AREAS**
- Red Line Boundary 51979m<sup>2</sup>
  - Usable Public Open Space 13370m<sup>2</sup> (25.7%)

B.	24.06.24	Updated to suit planning comments
A.	18.03.24	Updated to suit LCC and planning comments
REV.		03/2024



PROJECT:	Proposed Residential Development at Holbeach Meadows		
DRAWING:	Site Layout Phase 3 - Southern Site Plots (122 No. PLOTS)		
SCALE:	NTS	DRAWN:	GB
DATE:	NOVEMBER 2023	REVISION:	B
DRAWING No:	137-SL-21		







Public Open Space - Holbeach Meadows  
 (NOTE: Outline Planning Permission (H09-0521-14) requires minimum 14%)

Phase 1 and 2 (138,609m <sup>2</sup> Site Area)	POS 28,287m <sup>2</sup> (20.4%)
Phase 3 North (57,675.5m <sup>2</sup> Site Area)	POS 10,755m <sup>2</sup> (18.6%)
Phase 3 South (51,979m <sup>2</sup> Site Area)	POS 13,370m <sup>2</sup> (25.7%)
Phase 4 (62,320m <sup>2</sup> Site Area)	POS 8,780m <sup>2</sup> (14.1%)
Phase 5 (59,840m <sup>2</sup> Site Area)	POS 9,050m <sup>2</sup> (15.1%)
Estate Boundary (389,337m <sup>2</sup> )	POS Area 70,242m <sup>2</sup> (18.0%)



A 09/07/24 Blue Line Boundary Updated to Outline Approval  
 Rev: 1/16/24 Issue

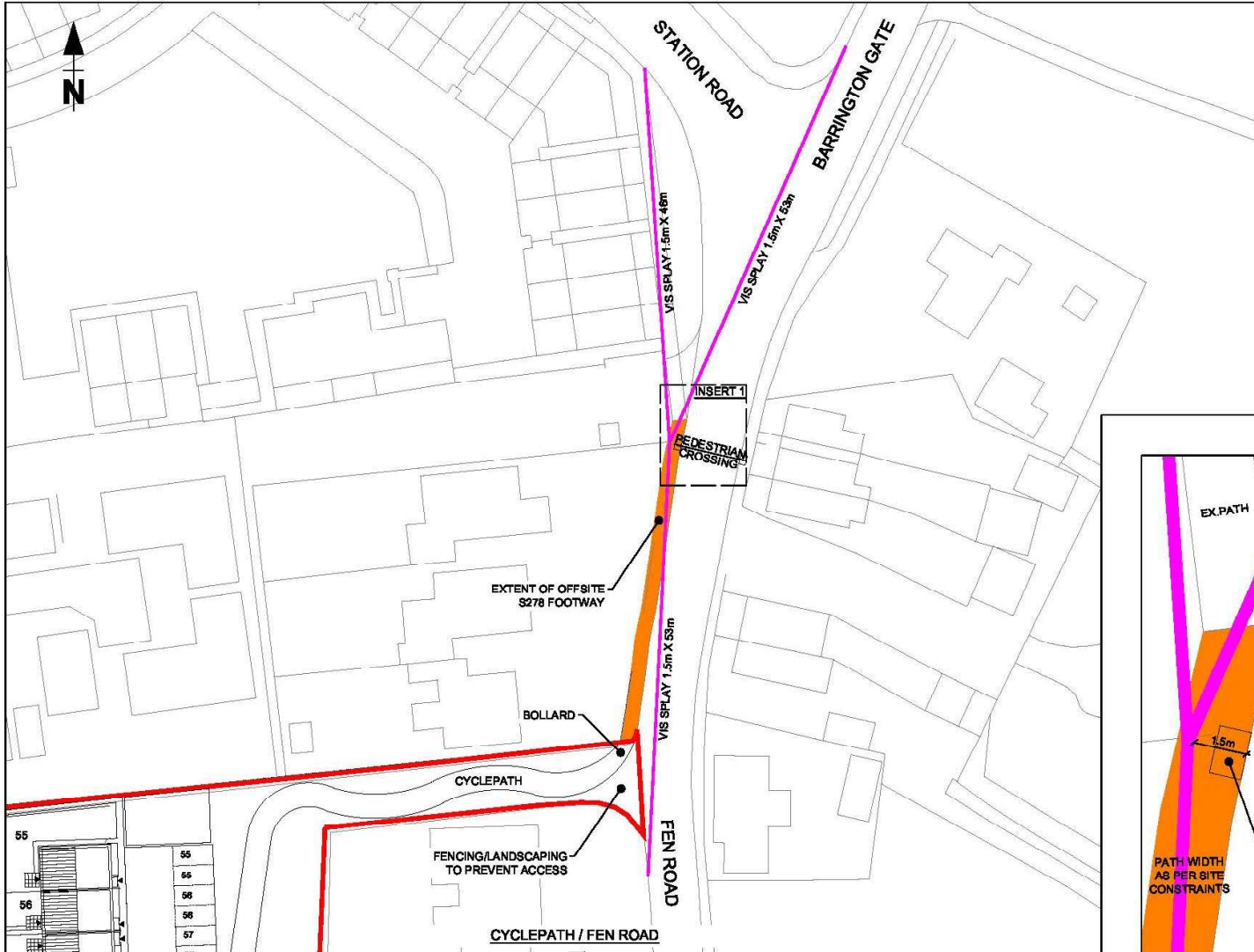
**ASHWOOD HOMES**  
 1 Golden Road, Linca Gateway Business Park,  
 Spalding, Lincoln, PE12 6PY T: 01406 490500

PROJECT: Proposed Residential Development at Holbeach Meadows

DRAWING: Open Space Plan

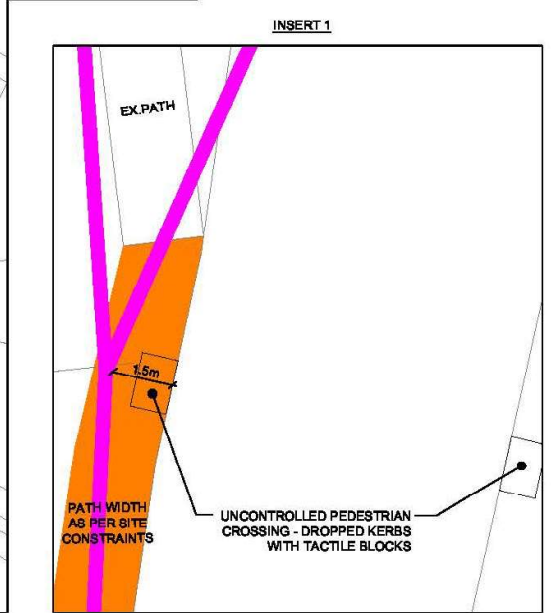
SCALE: 1:12500A1 DRAWN: GB  
 DATE: JAN 2023 REVISION: A

DRAWING No: 137-OSP-01



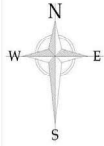
THIS DOCUMENT HAS BEEN PREPARED IN ACCORDANCE WITH THE SCOPE OF INSPIRE DESIGN A CIVIL ENGINEERING CONSULTANTS FIRM AND IS SUBJECT TO THE TERMS OF THAT AGREEMENT. INSPIRE DESIGN A DEVELOPMENT LTD ACCEPTS NO LIABILITY FOR ANY USE OF THE DOCUMENT OTHER THAN THAT EXPLICITLY AND ONLY FOR THE PURPOSE FOR WHICH IT WAS PREPARED AND PROVIDED, © INSPIRE DESIGN & DEVELOPMENT LTD 2023

- NOTES:**
- DO NOT SCALE FROM THIS DRAWING.
  - ALL MEASUREMENTS ARE IN METERS UNLESS OTHERWISE STATED.
  - DRAWING NOT ISSUED FOR CONSTRUCTION.
- KEY:**
- SITE BOUNDARY
  - PROPOSED SECTION 278 FOOTWAY
  - □ PROPOSED PEDESTRIAN CROSSING

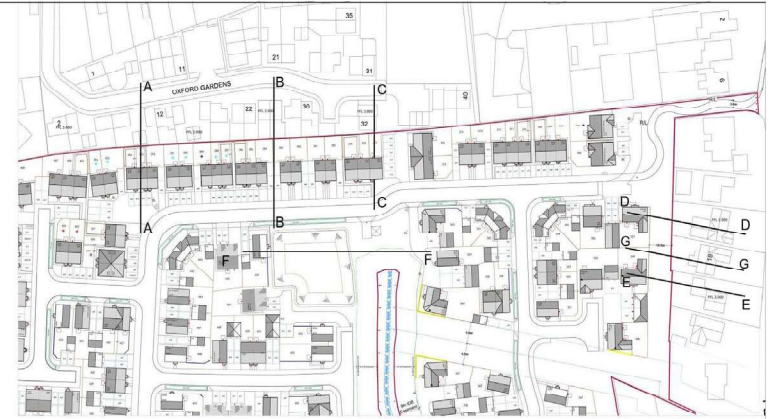


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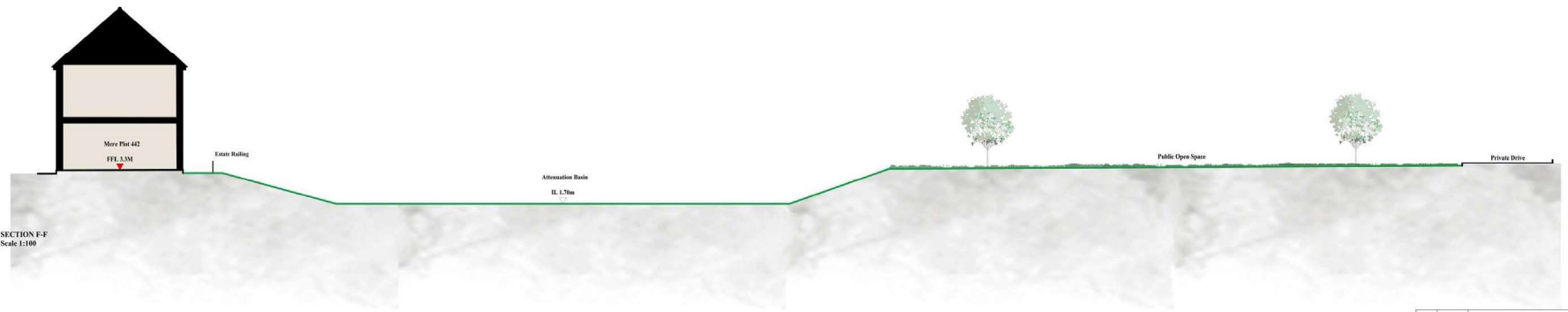
P2 26/06/24 CR CR VIS SPLAY ADDED P1 05/01/23 NGP CR CLIENT, PROJECT & DRAWING TITLE NAMES AMENDED REV   DATE   NAME   CHECK   NOTES		CLIENT:	PROJECT:	DRAWING STATUS:	DATE:	SCALE @ A3:		
		ASHWOOD HOMES LTD	HOLBEACH MEADOWS PHASE 3 NORTH RM	FOR INFORMATION	20 January 2023	1:500		
			DRAWING TITLE:	DRAWN:	CHECKED:	APPROVED:	DRAWING No:	REVISION No:
			SECTION 278 MINOR WORKS - GENERAL ARRANGEMENT	AJS	CR	CR	AHL-1636-06-PL-003	P2



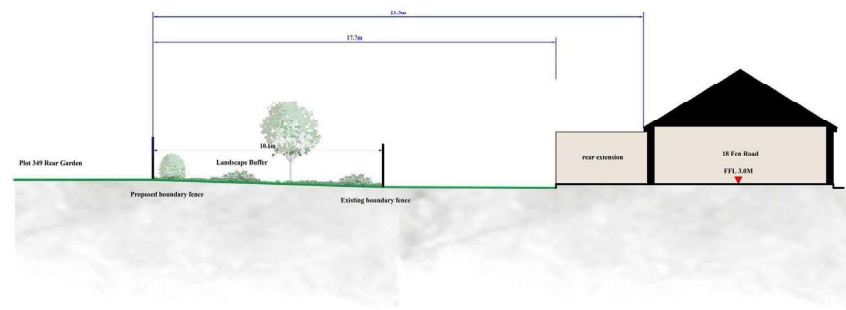
For Sections A-A to E-E refer to drawing 137-SS-15 Site Sections Sheet 1



OVERALL PLAN  
Scale 1:1000



SECTION F-F  
Scale 1:100

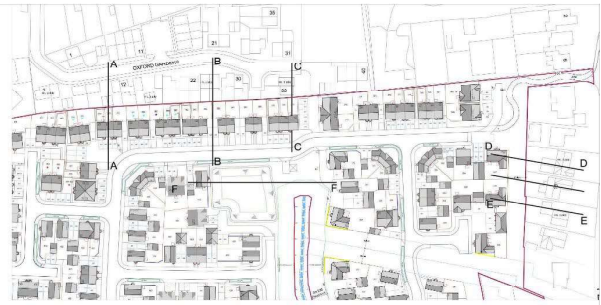
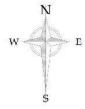


SECTION C-C  
Scale 1:100

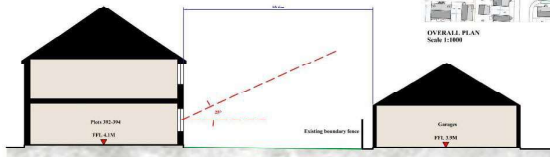
NO.	LINE	DESCRIPTION



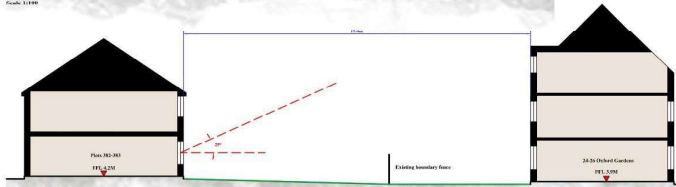
PROJECT:	Proposed Residential Development at Holbeach Meadows	
DRAWING:	Site Sections Sheet 2 Phase 3 - Northern Site Plots (163 No. Plots)	
SCALE:	AS SHOWN/B1	DRAWN: GB
DATE:	NOVEMBER 2023	REVISION: /
DRAWING No:	137-SS-16	



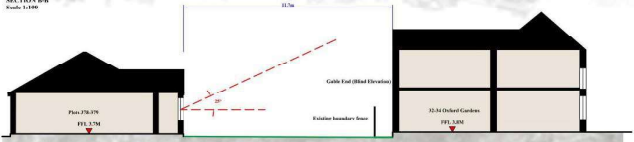
OVERALL PLAN  
Scale 1:1000



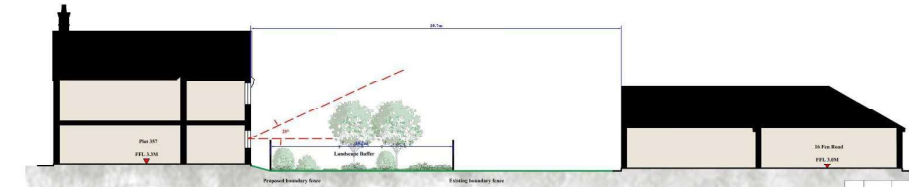
SECTION A-A  
Scale 1:100



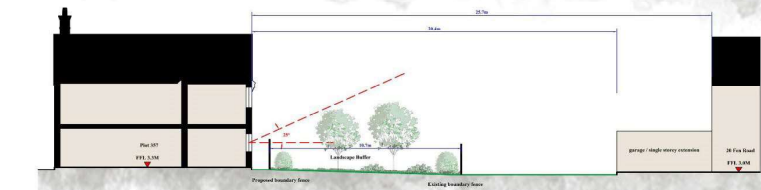
SECTION B-B  
Scale 1:100



SECTION C-C  
Scale 1:100



SECTION D-D  
Scale 1:100



SECTION E-E  
Scale 1:100

Rev.	Date	Description
5	20/10/24	Issue for J10 DC approval
4	19/02/24	Issue for approval to SEC and planning committee
3	15/01/24	Issue for approval to SEC and planning committee

**ASHWOOD HOMES**  
1 Goodson Road, Lincs Gateway Business Park,  
Spalding, Lincs. PE35 6JY. T: 01430 40000

PROJECT: Proposed Residential Development of Holbeach Meadows

DRAWN: Site Sections  
Phurua 3 - Northern Site Plans  
(163 No. Plots)

SCALE: AS SHOWN ON DRAWING  
DATE: NOVEMBER 2023  
DRAWING NO: 137-SS-15



PARTIAL SITE LAYOUT - NTS - SECTION A

Rev.	Date	Description
A	04.07.24	Updated to match latest site layout



1 Goodson Road, Lines Gateway Business Park,  
Spalding, Lines, PE12 6FY T: 01406 480590

PROJECT:	Proposed Residential Development at Holbeach Meadows
DRAWING:	Site Section Phase 3 - Southern Site Plots
SCALE:	1:100@A1
DATE:	MARCH 2024
DRAWING No.:	137-SS-101
DRAWN:	JE
REVISION:	A



STREET SCENE - SCALE 1:100 - SECTION A



PARTIAL SITE LAYOUT - NTS - SECTION A

Rev.	Date	Description
A	04.07.24	Updated to match latest site layout



1 Goodison Road, Lines Gateway Business Park,  
Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT:	Proposed Residential Development at Holbeach Meadows	
DRAWING:	Site Section Phase 3 - Northern Site Plots 337,342,347	
SCALE:	1:100@A1	DRAWN: JE
DATE:	MARCH 2024	REVISION: A
DRAWING No:	137-SS-100	



LEGEND	
	PRIVATE PATHS: BUFF RIVER PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF ROUND GUTTERS 60MM DIA, DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: IVANHOE CREAM
	BRICK TYPE B: LEICESTER RED STOCK
	BRICK TYPE C: IVANHOE WESTMINSTER
	BRICK TYPE D: OAKMOOR CREAM
	ROOF TILE A: ONDRON CONCRETE SLATE: BLACK
	ROOF TILE B: ONDRON CONCRCTE PANTILE: TERRACOTTA
	ROOF TILE C: ONDRON CONCRCTE: SLATE: COUNTRY RED
	ROOF TILE D: WIENERBERGER NEW CASSIUS ANTIQUE SLATE
	ROOF TILE E: ONDRON CONCRETE PANTILE: BURNT RED



BRICK TYPE A:  
IVANHOE CREAM



BRICK TYPE B:  
LEICESTER RED STOCK



BRICK TYPE C:  
IVANHOE WESTMINSTER



BRICK TYPE D:  
OAKMOOR CREAM



ROOF TILE A:  
ONDRON CONCRETE SLATE -  
BLACK



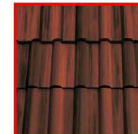
ROOF TILE B:  
ONDRON CONCRETE PANTILE -  
TERRACOTTA



ROOF TILE C:  
ONDRON CONCRETE SLATE -  
COUNTRY RED



ROOF TILE D:  
WIENERBERGER NEW CASSIUS  
ANTIQUE SLATE



ROOF TILE E:  
ONDRON CONCRETE PANTILE -  
BURNT RED

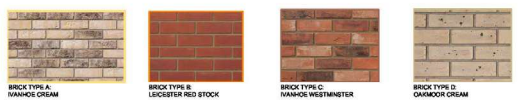
E	09.07.24	Issue the boundary agreement
D	25.06.24	Issue the boundary agreement, brickwork and roof tile samples, updated to latest the Revit.
C	02.05.24	Finalise the proposed drawing layout attached to ICC and planning comments
B	16.03.24	Finalise the proposed drawing layout attached to ICC and planning comments
A	15.02.24	Finalise the proposed drawing layout attached to ICC and planning comments
Rev.	Date	Description

**ASHWOOD HOMES**  
 1 Clonsilla Road, Lincs Gateway Business Park  
 Ruskington, Lincs PE12 8FV T: 01463 490890

PROJECT:	Proposed Residential Development at Holbeach Meadows	
DRAWING:	Material Schedule Phase 3 - North West Site Plots (163 No. Plots)	
SCALE:	1:500@A3	DRAWN: CS
DATE:	NOVEMBER 2023	REVISED: E
DRAWING No.:	137-MSL-14	



LEGEND	
	PRIVATE PATHS: BUFF-TINTED PAVING SLABS
	METER BOXES: RECESSED WHITE GRP
	RAINWATER GOODS: HALF-ROUND GUTTERS 85MM DIA, DOWN PIPES BLACK UPVC
	EXTRACT GRILLE: BLACK UPVC
	WALL FLUE TERMINAL: BLACK UPVC
	ROOF FLUE TERMINALS: BLACK UPVC
	BRICK TYPE A: IVANHOE CREAM
	BRICK TYPE B: LEICESTER RED STOCK
	BRICK TYPE C: IVANHOE WESTMINSTER
	BRICK TYPE D: OAKMOOR CREAM
	ROOF TILE A: CONDRON CONCRETE SLATE: BLACK
	ROOF TILE B: CONDRON CONCRETE PANTILE: TERRACOTTA
	ROOF TILE C: CONDRON CONCRETE SLATE: COUNTRY RED
	ROOF TILE D: WIMMERBERG NEW CASSIUS ANTIQUE SLATE
	ROOF TILE E: CONDRON CONCRETE PANTILE: BURNT RED



C. 15/06/24  
 L. 02/06/24  
 A. 18/06/24  
 No. 109

Brick Type and Roof Tile Test samples  
 These are intended for use only  
 in the test area and are not for general  
 use.

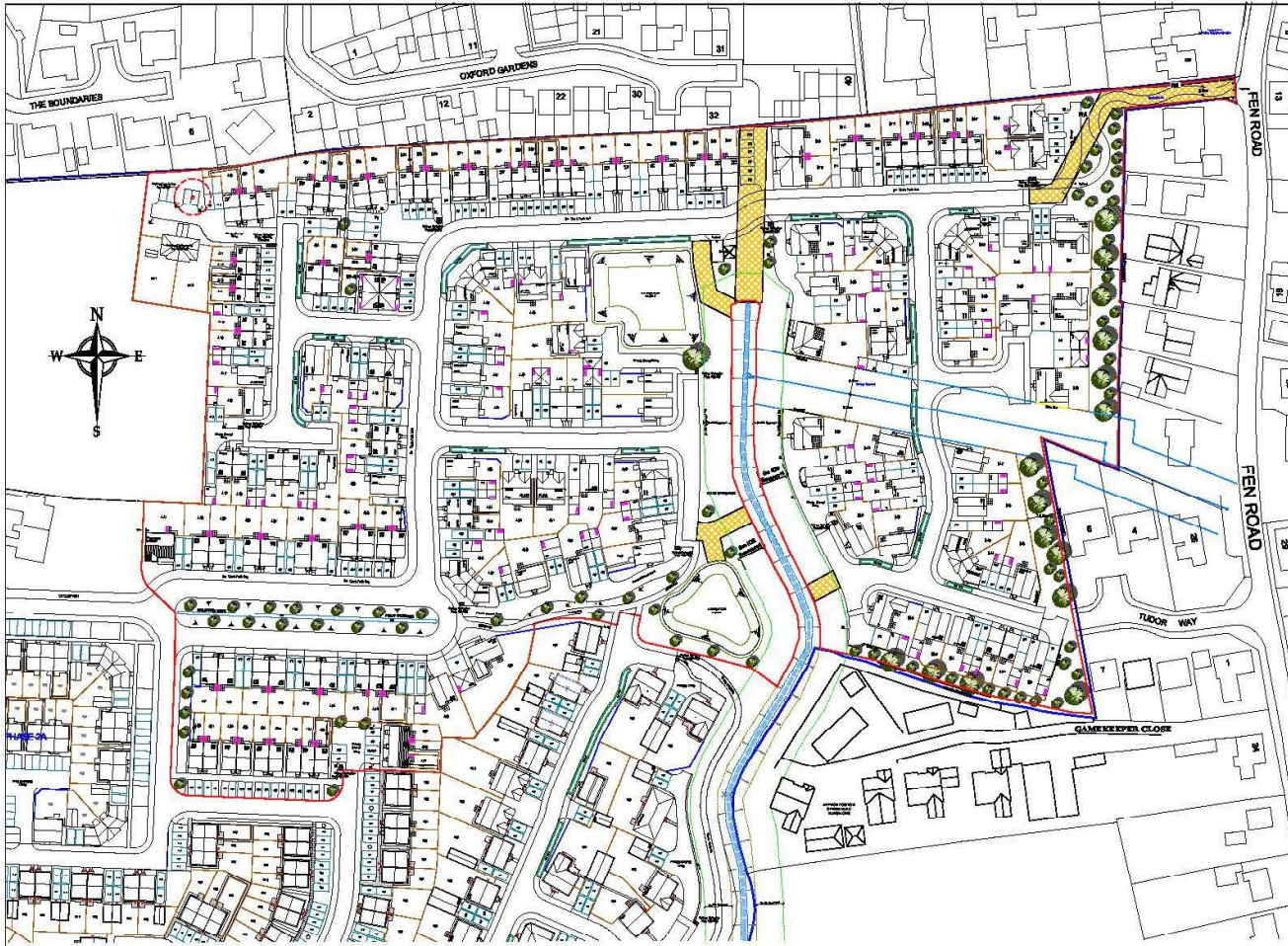


PROJECT:  
 Proposed Residential  
 Development of  
 Holbeach Meadows

DRAWING:  
 Material Schedule  
 Phase 3 - Southern Site Plots  
 (122 No. Plots)

SCALE: 1:500 (A1) DRAWN: GB  
 DATE: NOVEMBER 2023 REVISION: C  
 DRAWING No: 137-MSL-24





**Cycle Storage**

Houses with garages - Cycles to be stored in garage.

Houses with out garages - To be provided with secure screwed wall mounted postlock hoop within private garden area.

Plot No	House Type	Cycle Storage
334	RUTLAND-V	Garage
335	HUNTINGDON	Garage
336	RUTLAND-V	Garage
337	STAMFORD	Garage
338	RUTLAND-V	Garage
339	MERE	Garage
340	LOCK	Garage
341	RUTLAND-V	Garage
342	MERE	Garage
343	STAMFORD	Garage
344	CORONATION	Garage
345	RUTLAND-V	Garage
346	MERE	Garage
347	HUNTINGDON	Garage
348	HUNTINGDON	Garage
349	HUNTINGDON	Garage
350	MERE	Garage
351	MERE	Garage
352	HUNTINGDON	Garage
353	HUNTINGDON	Garage
354	CORONATION	Garage
355	CORONATION	Garage
356	MERE	Garage
357	HUNTINGDON	Garage
358	MERE	Garage
359	CORONATION	Garage
360	CORONATION	Garage
361	CORONATION	Garage
362	STAMFORD	Garage
363	RUTLAND-V	Garage
364	STAMFORD	Garage
365	WOLCHESTER	Walled/Secured
366	WOLCHESTER	Walled/Secured
367	ATSO	Walled/Secured
368	ATSO	Walled/Secured
369	ATSO	Walled/Secured
370	ATSO	Walled/Secured
371	ATSO	Walled/Secured
372	ATSO	Walled/Secured
373	ATSO	Walled/Secured
374	ATSO	Walled/Secured
375	ATSO	Walled/Secured
376	WOLCHESTER	Walled/Secured
377	ATSO	Walled/Secured
378	ATSO	Walled/Secured
379	ATSO	Walled/Secured
380	ATSO	Walled/Secured
381	ATSO	Walled/Secured
382	ATSO	Walled/Secured
383	ATSO	Walled/Secured
384	ATSO	Walled/Secured
385	ATSO	Walled/Secured
386	ATSO	Walled/Secured
387	ATSO	Walled/Secured
388	ATSO	Walled/Secured

Plot No	House Type	Cycle Storage
389	ATSO	Walled/Secured
400	ATSO	Walled/Secured
401	ATSO	Walled/Secured
402	ATSO	Walled/Secured
403	ATSO	Walled/Secured
404	ATSO	Walled/Secured
405	ATSO (BURE)	Walled/Secured
406	ATSO (BURE)	Walled/Secured
407	ATSO (BURE)	Walled/Secured
408	ATSO (BURE)	Walled/Secured
409	ATSO (BURE)	Walled/Secured
410	ATSO (BURE)	Walled/Secured
411	ATSO	Walled/Secured
412	ATSO	Walled/Secured
413	ATSO	Walled/Secured
414	ATSO	Walled/Secured
415	HUNTINGDON	Garage
416	HUNTINGDON	Garage
417	RUTLAND-V	Garage
418	LOCK	Garage
419	HUNTINGDON	Garage
420	HUNTINGDON	Garage
421	ATSO	Garage
422	ATSO	Garage
423	RUTLAND-V	Garage
424	MERE	Garage
425	RUTLAND-V	Garage
426	ATSO	Garage
427	MERE	Garage
428	ATSO	Garage
429	HUNTINGDON	Garage
430	RUTLAND-V	Garage
431	RUTLAND-V	Garage
432	ATSO (BURE)	Walled/Secured
433	ATSO (BURE)	Walled/Secured
434	ATSO (BURE)	Walled/Secured
435	ATSO (BURE)	Walled/Secured
436	ATSO (BURE)	Walled/Secured
437	ATSO (BURE)	Walled/Secured
438	ATSO (BURE)	Walled/Secured
439	ATSO (BURE)	Walled/Secured
440	ATSO (BURE)	Walled/Secured
441	WOLCHESTER	Walled/Secured
442	MERE	Garage
443	SPENGLAY	Garage
444	CORONATION	Garage
445	CORONATION	Garage

Plot No	House Type	Cycle Storage
446	RUTLAND-V	Garage
447	RUTLAND-V	Garage
448	MERE	Garage
449	RUTLAND-V	Garage
450	ATSO	Garage
451	ATSO	Garage
452	MERE	Garage
453	MERE	Garage
454	BEVERLY-V	Garage
455	RUTLAND-V	Garage
456	MERE	Garage
457	RUTLAND-V	Garage
458	ATSO	Garage
459	MERE	Garage
460	RUTLAND-V	Garage
461	BEVERLY-V	Garage
462	BEVERLY-V	Garage
463	MERE	Garage
464	HUNTINGDON	Garage
465	HUNTINGDON	Garage
466	HUNTINGDON	Garage
467	CORONATION	Garage
468	CORONATION	Garage
469	ATSO	Garage
470	RUTLAND-V	Garage
471	ATSO (BURE)	Walled/Secured
472	ATSO (BURE)	Walled/Secured
473	ATSO (BURE)	Walled/Secured
474	ATSO (BURE)	Walled/Secured
475	ATSO (BURE)	Walled/Secured
476	ATSO (BURE)	Walled/Secured
477	ATSO (BURE)	Walled/Secured
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489	ATSO	Walled/Secured
490	ATSO	Walled/Secured
491	ATSO	Walled/Secured

E 05.01.24 This site boundary enclosed  
 24.04.24 Operator to deliver site layout  
 02.05.24 To secure enclosure from existing  
 18.03.24 Layout enclosed to ICC and planning comments  
 12.02.24 Initial design to client external, external walling  
 12.02.24

**ASHWOOD HOMES**

1 Gopston Road, Lincs Gateway Business Park, Scunthorpe, Lincs, LE15 9JY. Tel: 01522 450000

PROJECT: Proposed Residential Development at Holbeck Meadows

DRAWING: Cycle Storage Plan Phase 3 - Northern Site Plots (163 No. Plots)

SCALE: 1:750@A1 DRAWN: GB

DATE: NOVEMBER 2023 REVISION: E

DRAWING No: 137-CSP-13



Plot Schedule				Plot Schedule				Plot Schedule				Plot Schedule			
Plot No.	House Type	Cycle Storage		Plot No.	House Type	Cycle Storage		Plot No.	House Type	Cycle Storage		Plot No.	House Type	Cycle Storage	
452	SHARWICK	Wall Mounted		550	MERE	Garage		568	DEE	Garage		608	DEE	Garage	
453	SHARWICK	Wall Mounted		551	MERE	Garage		569	HUNTINGDON	Garage		607	DEE	Garage	
454	SHARWICK	Wall Mounted		552	CORONATION	Garage		570	HUNTINGDON	Garage		606	DEE	Garage	
455	SHARWICK	Wall Mounted		553	CORONATION	Garage		571	ARE	Garage		605	DEE	Garage	
456	SHARWICK	Wall Mounted		554	A538 (Gar)	Wall Mounted		572	ARE	Garage		610	MERE	Garage	
457	SHARWICK	Wall Mounted		555	A538 (Gar)	Wall Mounted		573	RUTLAND V	Garage		611	ARE	Garage	
458	RUTLAND V	Garage		556	A538	Wall Mounted		574	MERE	Garage		612	DEE	Garage	
459	ARE	Garage		557	A538	Wall Mounted		575	ARE	Garage		613	DEE	Garage	
500	ARE	Garage		558	A538	Wall Mounted		576	ARE	Garage					
501	RUTLAND V	Garage		559	A538	Wall Mounted		577	ARE	Garage					
502	ARE	Garage		560	A1132	Wall Mounted		578	HUNTINGDON	Garage					
503	ARE	Garage		561	A1132	Wall Mounted		579	HUNTINGDON	Garage					
504	ARE	Garage		562	A732	Wall Mounted		580	MERE	Garage					
505	ARE	Garage		563	A732	Wall Mounted		581	BALMORAL	Garage					
506	HUNTINGDON	Garage		564	A622	Wall Mounted		582	BALMORAL	Garage					
507	HUNTINGDON	Garage		565	A622	Wall Mounted		583	BANK	Garage					
508	MERE	Garage		566	A622	Wall Mounted		584	BANK	Garage					
509	MULTI-USE V	Garage		567	ARE	Wall Mounted		585	BRIVERS V	Garage					
510	ARE	Garage		568	A622	Wall Mounted		586	STAMFORD	Garage					
511	MERE	Garage		569	A622	Wall Mounted		587	HUMBER	Garage					
512	MERE	Garage		570	A622	Wall Mounted		588	HUMBER	Garage					
513	MERE	Garage		571	A622	Wall Mounted		589	BANK	Garage					
514	DEE	Garage		572	A622	Wall Mounted		590	CORONATION	Garage					
515	DEE	Garage		573	A622	Wall Mounted		591	CORONATION	Garage					
516	DEE	Garage		574	A622	Wall Mounted		592	RUTLAND V	Garage					
517	DEE	Garage		575	A622	Wall Mounted		593	LOOK	Garage					
518	A732 (DEE)	Wall Mounted		576	A622	Wall Mounted		594	LOOK	Garage					
519	A732 (DEE)	Wall Mounted		577	A622	Wall Mounted		595	MERE	Garage					
520	A732 (DEE)	Wall Mounted		578	A622	Wall Mounted		596	ARE	Garage					
521	A732 (DEE)	Wall Mounted		579	A622	Wall Mounted		597	RUTLAND V	Garage					
522	A732 (DEE)	Wall Mounted		580	HUNTINGDON	Garage		598	MERE	Garage					
523	A732 (DEE)	Wall Mounted		581	HUNTINGDON	Garage		599	HUNTINGDON	Garage					
524	A732 (DEE)	Wall Mounted		582	STAMFORD	Garage		600	HUNTINGDON	Garage					
525	A732 (DEE)	Wall Mounted		583	BANK	Garage		601	HUNTINGDON	Garage					
526	MERE	Garage		584	STAMFORD	Garage		602	LOOK	Garage					
527	MERE	Garage		585	STAMFORD	Garage		603	STAMFORD	Garage					
528	RUTLAND V	Garage		586	DEE	Garage		604	BRIVERS V	Garage					
529	RUTLAND V	Garage		587	DEE	Garage		605	STAMFORD	Garage					

**Cycle Storage**

Houses with garages - Cycles to be stored in garage.

Houses with out garages - To be provided with secure screwed wall mounted padlock hasp within private garden area.

1 12/23/2023 These drawings are for planning purposes only. They do not constitute an offer of any product or service.

**ASHWOOD HOMES**

1 Quenford Road | Little Gidding, Rutland LE19 1JH

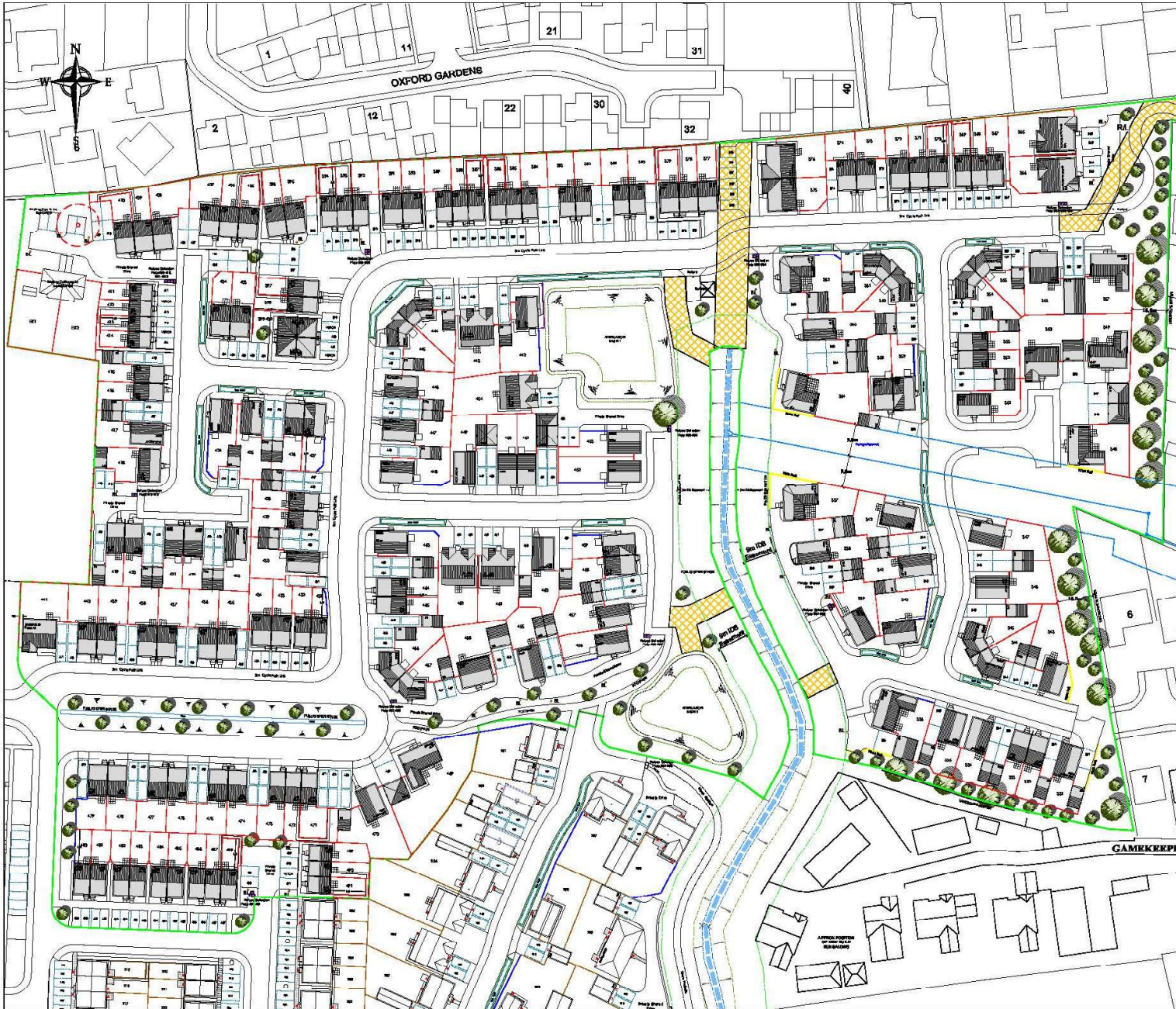
PROJECT: Proposed Residential Development of Holbeach Meadows

DRAWN: Cycle Storage Plan Phase 3 Southern 500 Plots

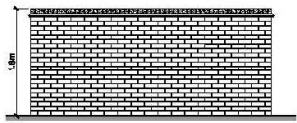
SCALE: 1:500/A1 ORIGINAL: GB

DATE: NOVEMBER 2023 REVISION: B

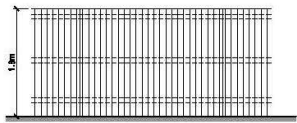
DRAWING NO: 137-CSP-23



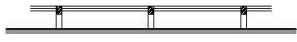
**KEY**



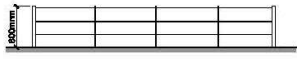
**BOUNDARY TYPE - A**  
1.8m High Brick Wall



**BOUNDARY TYPE - B**  
1.8m Close Boarded Fence



**BOUNDARY TYPE - D**  
Green Rail



**BOUNDARY TYPE - E**  
600mm Estate Style Black Metal Railings

E	03.01.24	Check the boundary treatment
D	14.03.24	Final railing order to draw and update to full planning comments
C	07.02.24	Final rail order from drawing
B	18.02.24	Layout amended to LCC and planning comments
A	12.02.24	2D floor order amended, reserved updated
Rev		description

**ASHWOOD HOMES**  
 1 Goodwin Road, Lincs Gateway Business Park  
 Spalding, Lincs, PE12 6FY T: 01430 482592

**PROJECT:**  
Proposed Residential Development of Holbeach Meadows

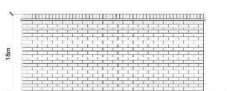
**DRAWING:**  
Boundary Treatment Plan  
Phase 3 - Northern Site Plots  
(163 No. Plots)

**SCALE:** 1:500@A1 **DRAWN:** GB

**DATE:** NOVEMBER 2023 **REVISION:** E

**DRAWING No:** 137-BT-12

KEY



BOUNDARY TYPE - A  
1.8m High Brick Wall



BOUNDARY TYPE - B  
1.8m Close Boarded Fence



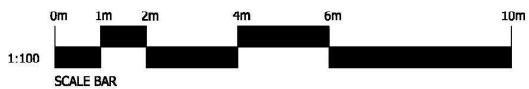
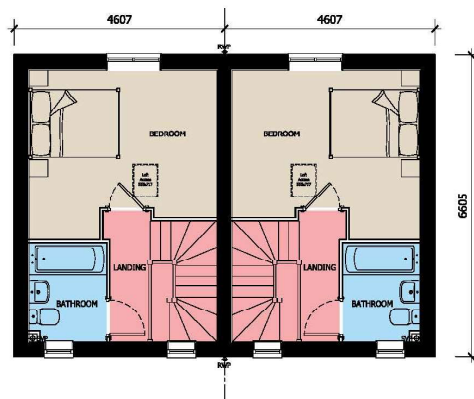
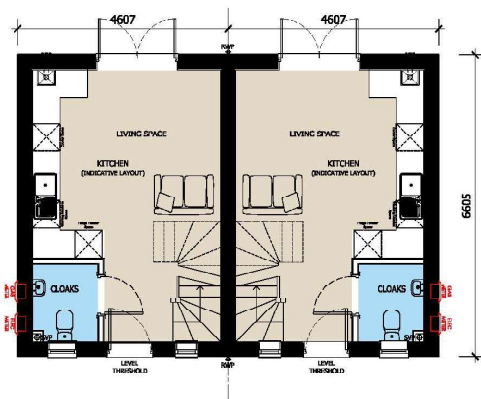
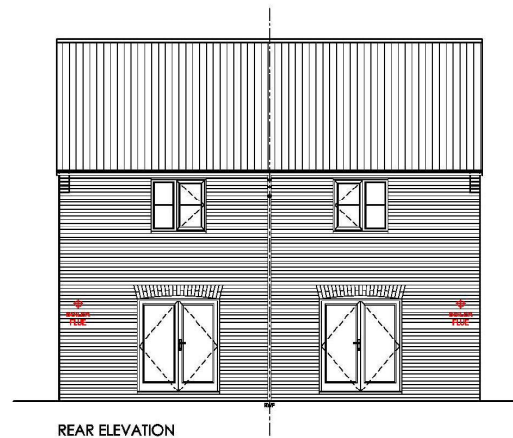
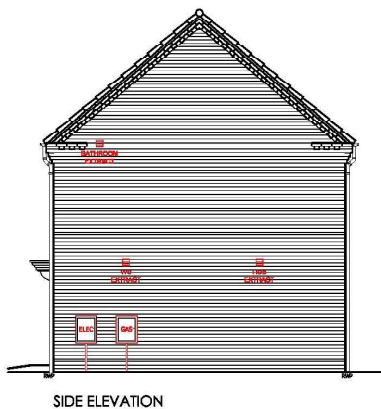
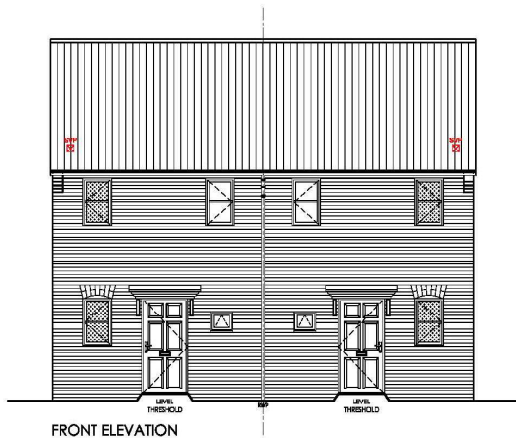
BOUNDARY TYPE - D  
Knee Rail




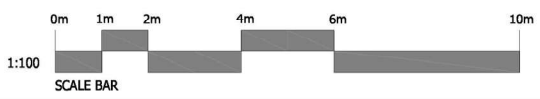
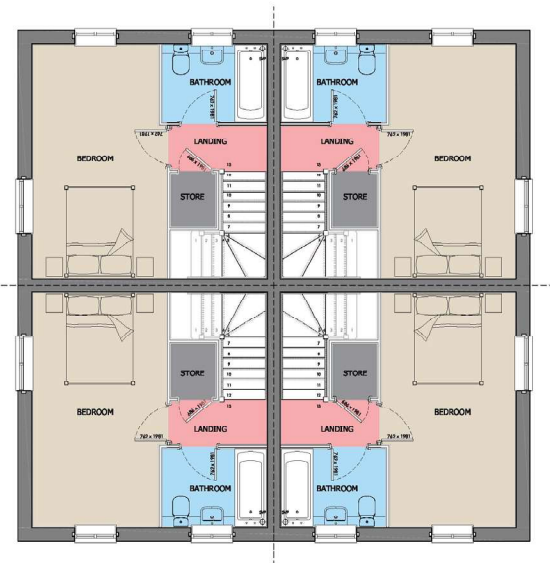
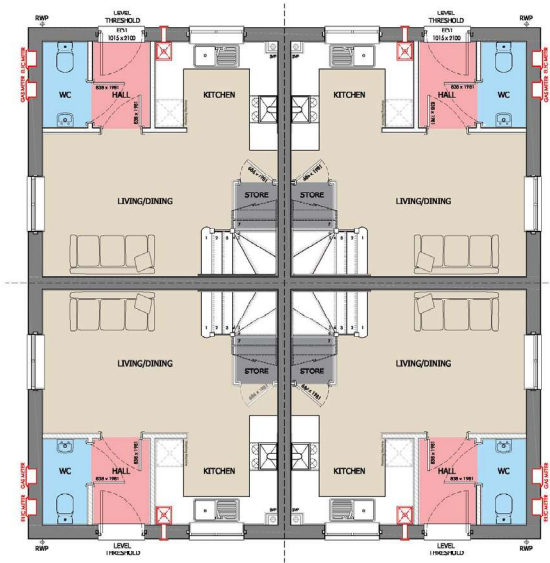
CONTINUATION PLAN

<p>1 03/03/2024 2 20/02/2024 3 01/02/2024</p> <p>Rev. Date Description</p>	<p>1 Gordon Road, Lincs Gateway, Business Park, Spalding, Lincs, PE12 8FY T: 01430 490592</p>
<p>PROJECT: Proposed Residential Development of Holebeach Meadows</p> <p>DRAWN BY: Residential Treatment Plan Phase 3 - Southern Site Plots (122 No. Plots)</p> <p>SCALE: 1:5000A1 DATE: NOVEMBER 2023 DRAWING NO: 137-BT-22</p>	



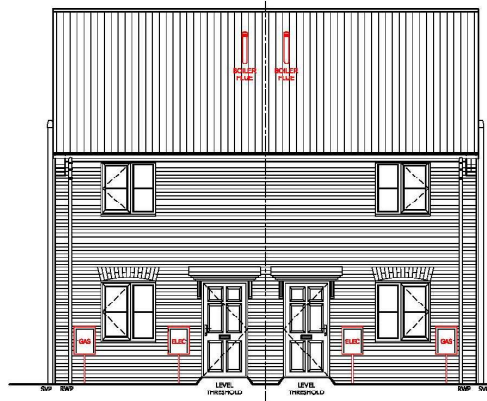


 <small>1 Carrickmore Road, 11 Inch Clooney Business Park, Spalding, Lincs, PE12 8EY T: 01430 460090</small>	HOUSE TYPE: A538(R) (538 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: A538(R)-001

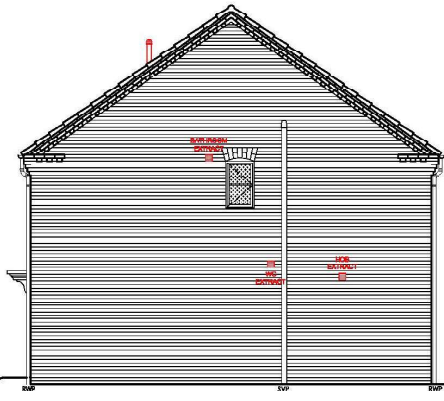


1 Goodson Road, Lincs Gateway Business Park,  
Spalding, Lincs. PE12 6PY T: 01406 450590

HOUSE TYPE:  
A575 - V - DS - 001  
(575 sq ft)



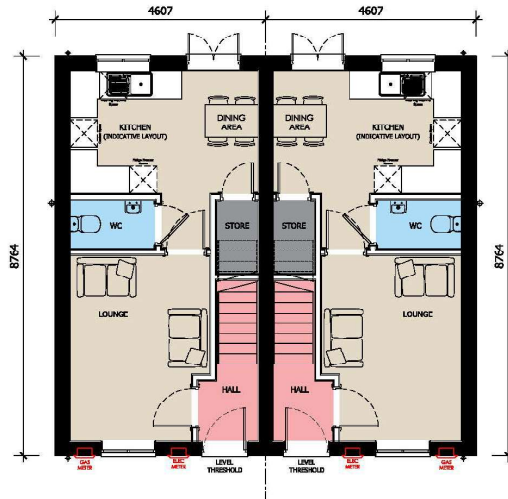
FRONT ELEVATION



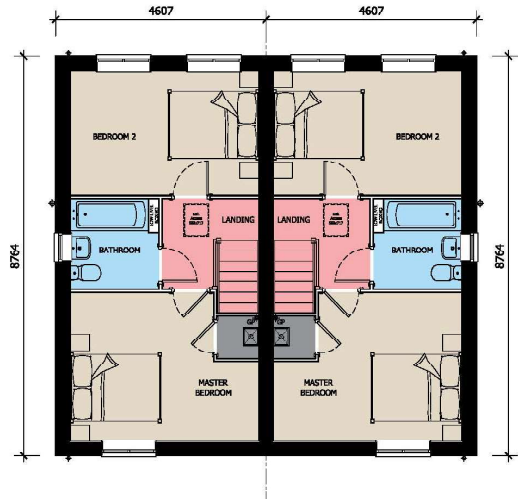
SIDE ELEVATION



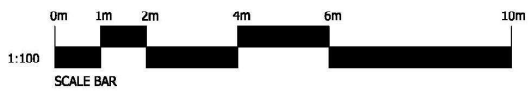
REAR ELEVATION



GROUND FLOOR




FIRST FLOOR



1:100

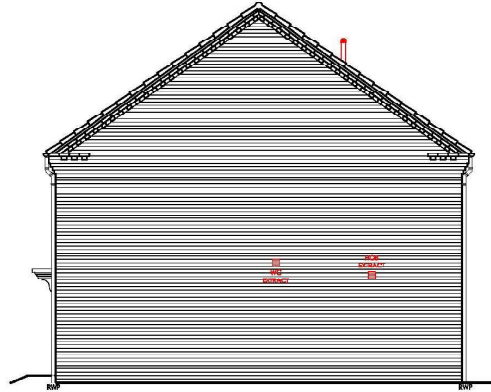
SCALE BAR

 <p>1 Greenhill Road, 11 Inch Glenway Business Park, Spalding, Lincs, PE12 6EY T: 01439 460990</p>	HOUSE TYPE:	A732(R) (732 FT <sup>2</sup> )
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	DRAWING NUMBER:	A732(R)-001

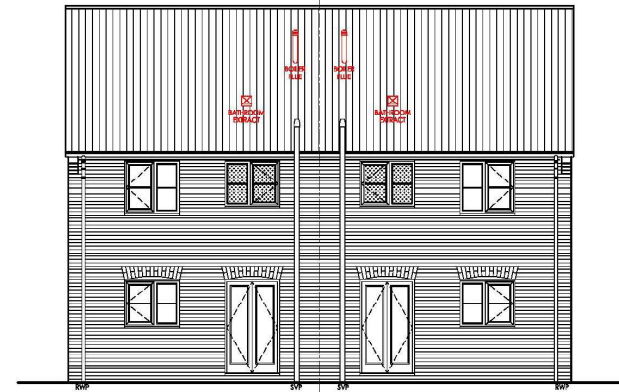




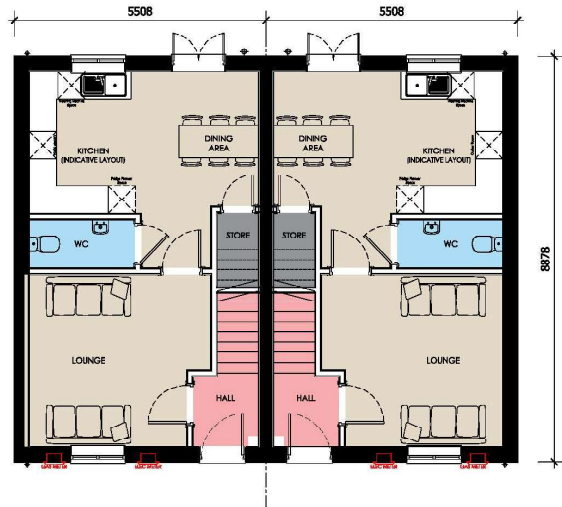
FRONT ELEVATION



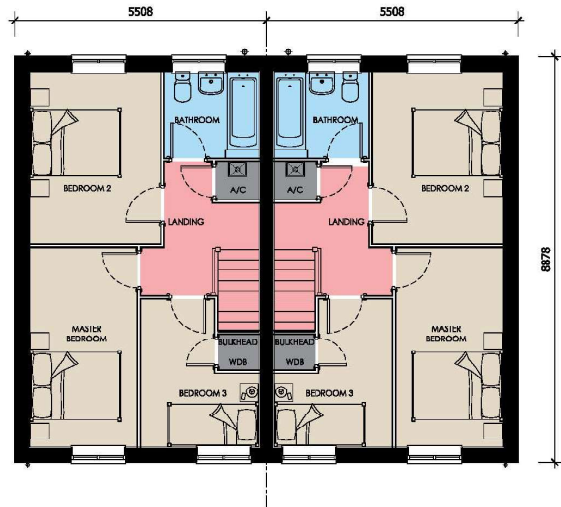
SIDE ELEVATION



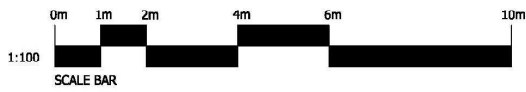
REAR ELEVATION




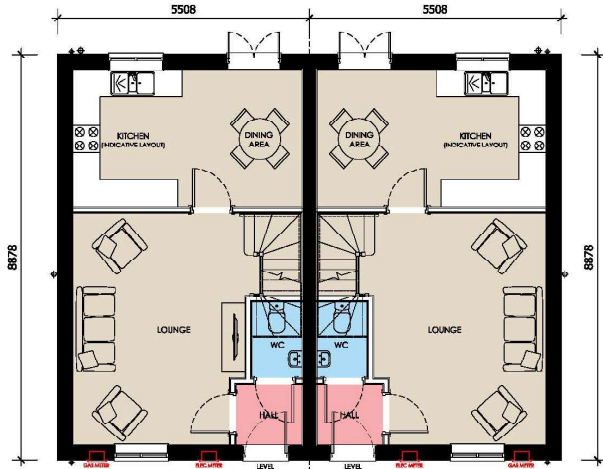
GROUND FLOOR



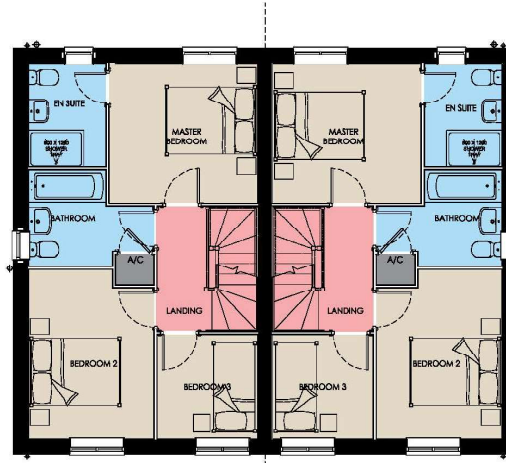
FIRST FLOOR



 <p>1 Carrillon Road, 11 Inch (Ormeau) Business Park, Spalding, Lincs, PE12 6PY T: 01438 460990</p>	HOUSE TYPE:	A902(R) (902 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	A902(R)-001



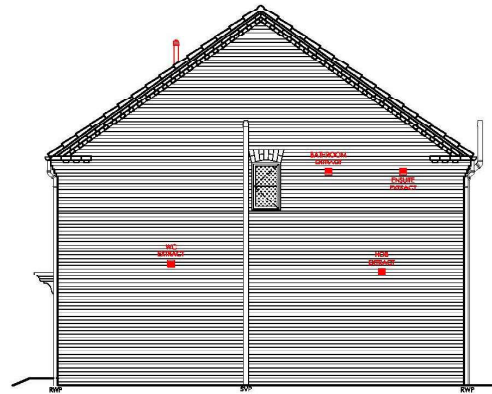
GROUND FLOOR



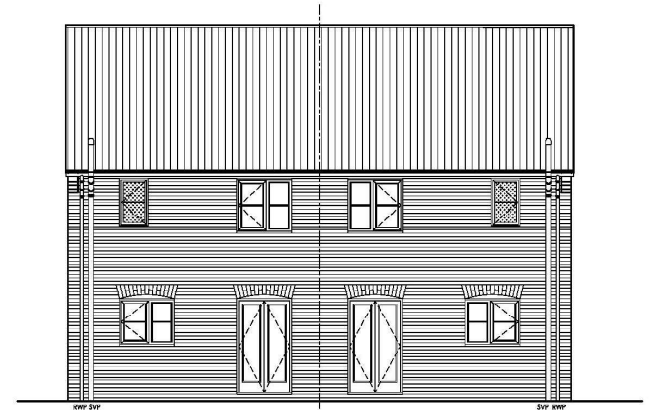
FIRST FLOOR



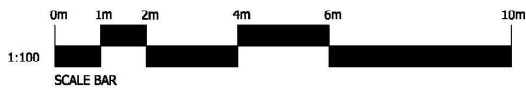
FRONT ELEVATION




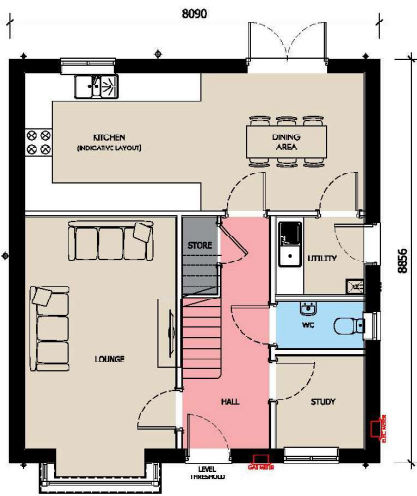
SIDE ELEVATION



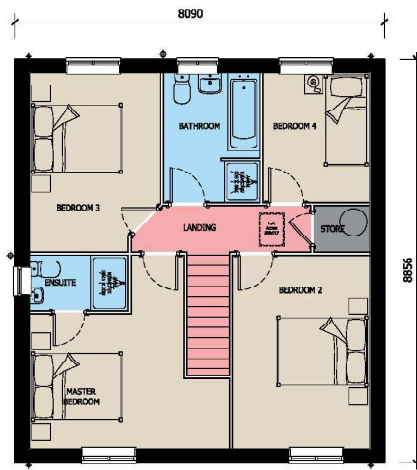
REAR ELEVATION



 <p>1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6PY T: 01453 60060</p>	HOUSE TYPE: <b>AIRE (902 FT<sup>2</sup>)</b>
	DRAWING TITLE: <b>DESIGN SHEET</b>
	DRAWING NUMBER: <b>AIRE-001</b>



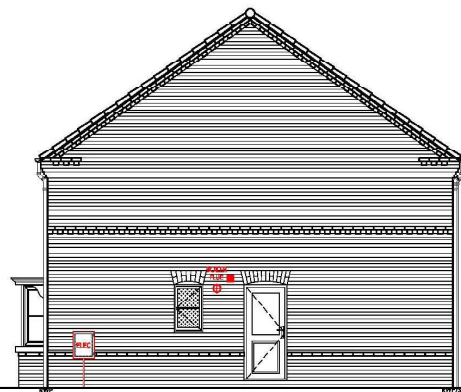
GROUND FLOOR



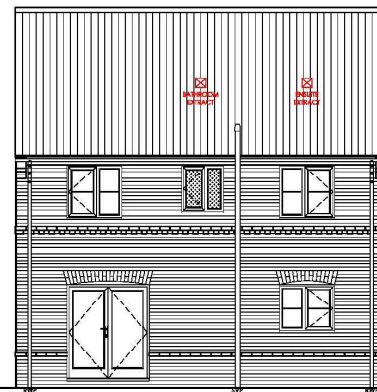
FIRST FLOOR



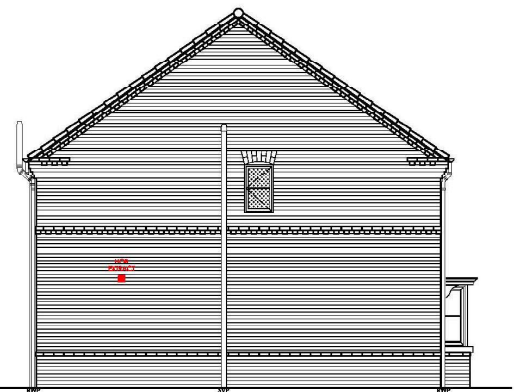
FRONT ELEVATION



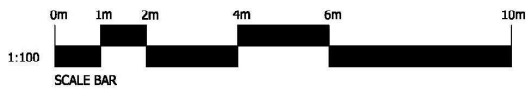
SIDE ELEVATION




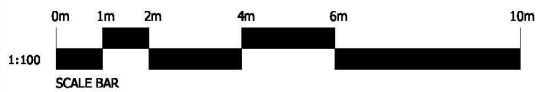
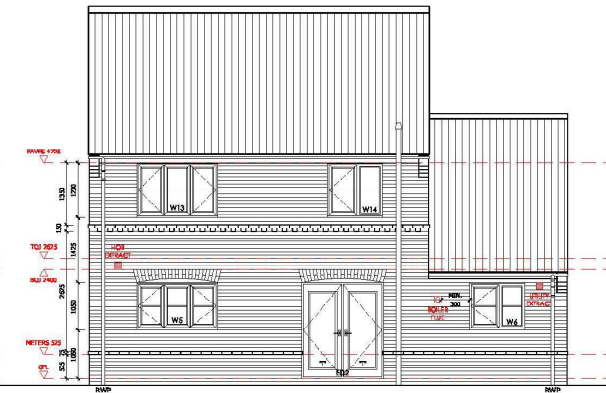
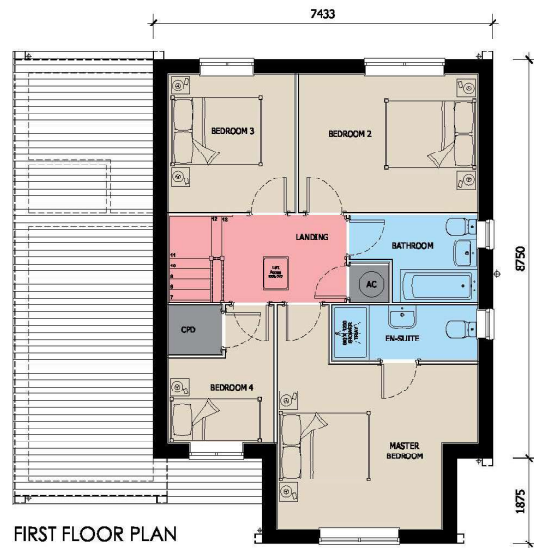
REAR ELEVATION




SIDE ELEVATION



 <p>1 Cranberry Road, 11 Inch Clewsey Business Park, Spalding, Lincs, PE12 6EY T: 01439 480990</p>	HOUSE TYPE: <b>BAIN</b> (1310 FT <sup>2</sup> )
	DRAWING TITLE: <b>DESIGN SHEET</b>
	DRAWING NUMBER: <b>BAIN-001</b>



 <p>1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6PY T: 01430 460500</p>	HOUSE TYPE: <b>BALMORAL (1460)</b>
	DRAWING TITLE: <b>DESIGN SHEET</b>
	DRAWING NUMBER: <b>BALMORAL-001</b>



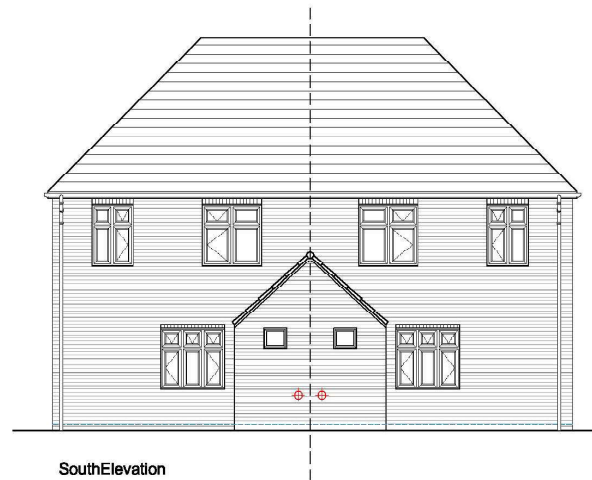
North Elevation



East Elevation



West Elevation



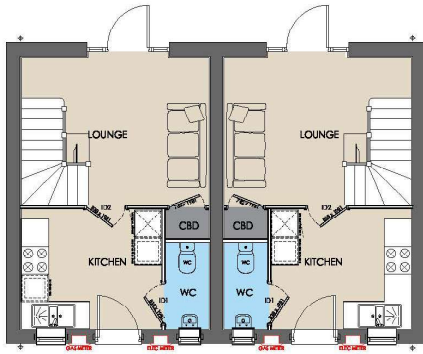
South Elevation



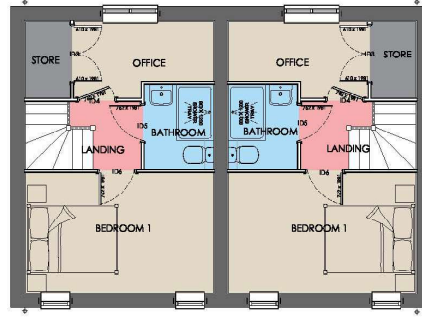
1 Goodson Road, Lincs Gateway Business Park,  
Spalding, Lincs, PE12 8FY T: 01400 490580

HOUSE TYPE:	Existing Dwelling
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	ED -001





GROUND



FIRST

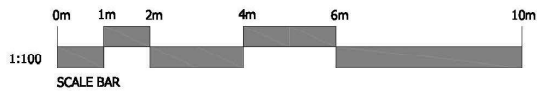


SIDE ELEVATION

FRONT ELEVATION

REAR ELEVATION

SIDE ELEVATION

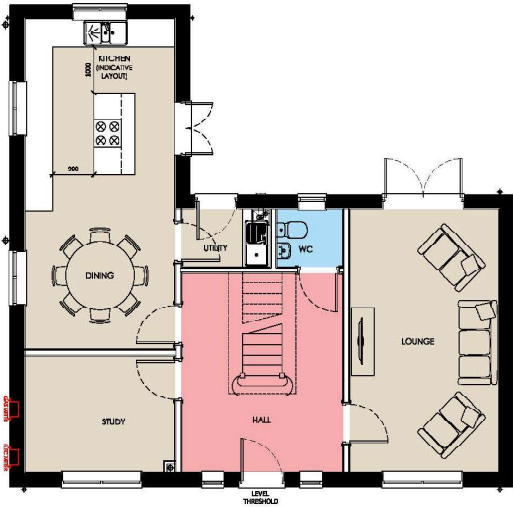


SCALE BAR

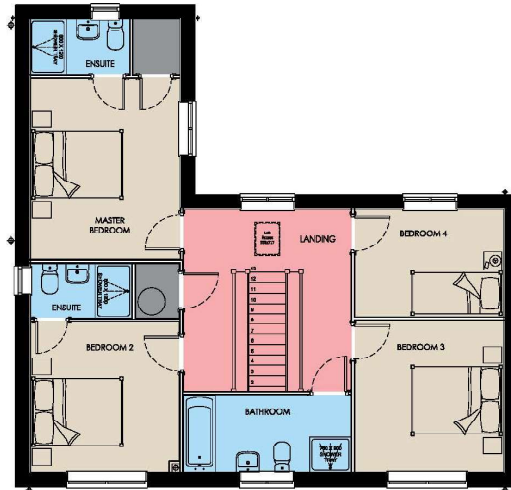


1 Goodson Road, Lincs Gateway Business Park,  
Spalding, Lincs, PE12 6PY T: 01406 490590

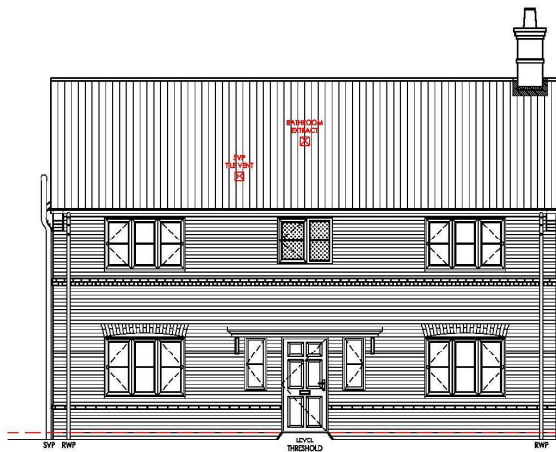
HOUSE TYPE:  
**GLEN - DS - 001**  
(538 sq ft)



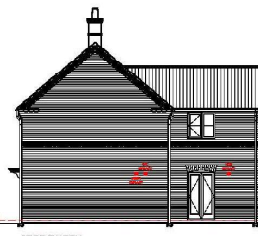
GROUND FLOOR



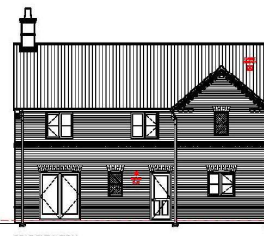
FIRST FLOOR



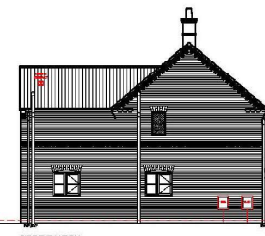
FRONT ELEVATION



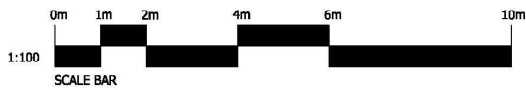
SIDE ELEVATION




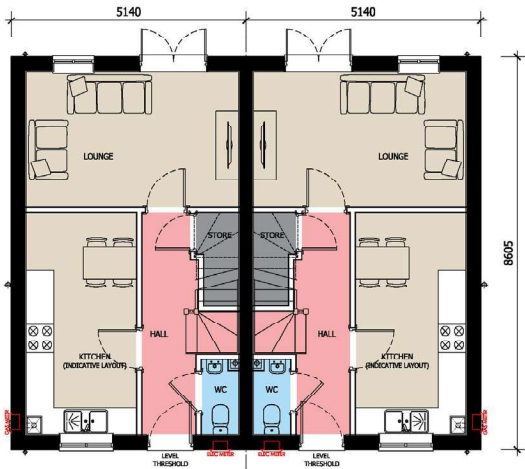
REAR ELEVATION



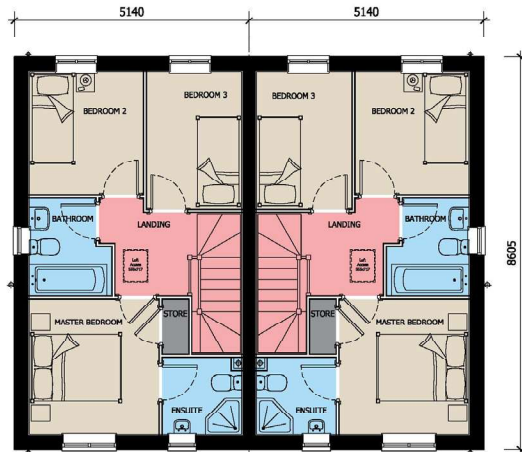
SIDE ELEVATION



 <p>1 Cornhill Road, 11 Iron Chantry Business Park, Spalding, Lincs, PE12 6EY T: 01439 490990</p>	HOUSE TYPE: <b>HUMBER</b> (1578 FT <sup>2</sup> )
	DRAWING TITLE: <b>DESIGN SHEET</b>
	DRAWING NUMBER: <b>HUMBER-001</b>



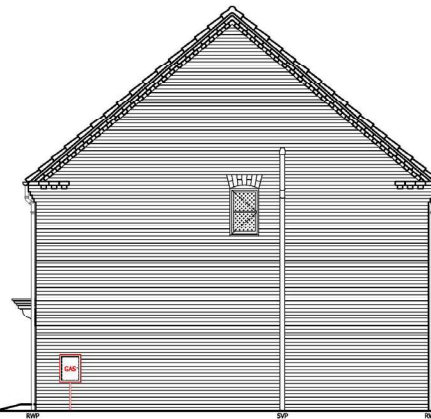
GROUND FLOOR



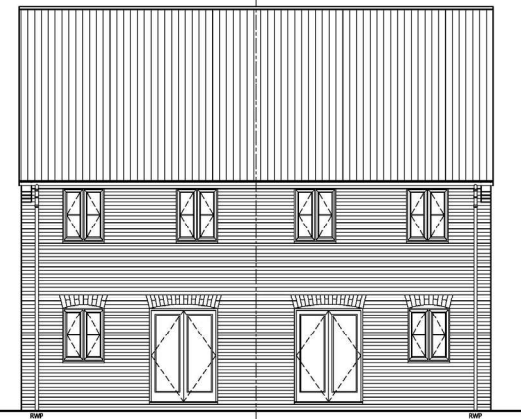
FIRST FLOOR



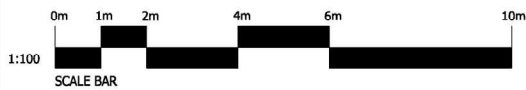
FRONT ELEVATION



SIDE ELEVATION

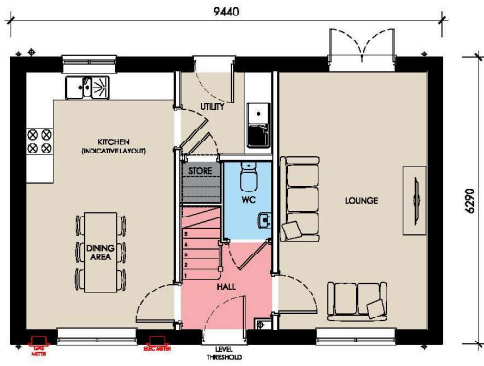


REAR ELEVATION

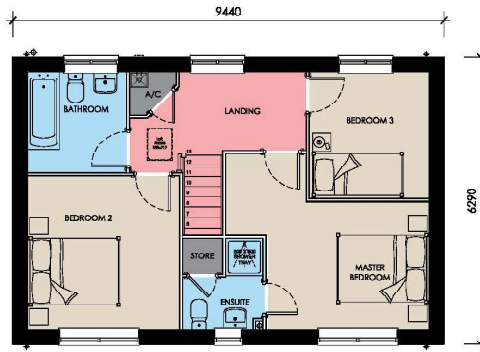


 <p>1 Goodison Road, Lincs Gateway Business Park, Scolding, Lincs. PE12 8PY T: 01438 480590</p>	HOUSE TYPE: <b>HUNTINGDON</b> (796 FT <sup>2</sup> )
	DRAWING TITLE: <b>DESIGN SHEET</b>
	DRAWING NUMBER: <b>HUNTINGDON-001</b>





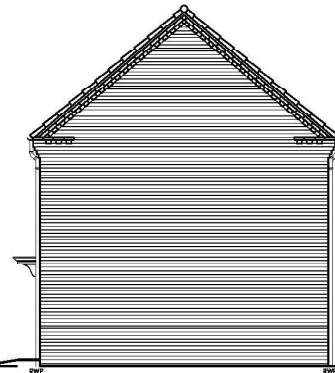
GROUND FLOOR



FIRST FLOOR



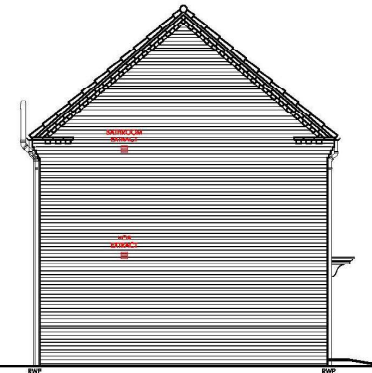
FRONT ELEVATION



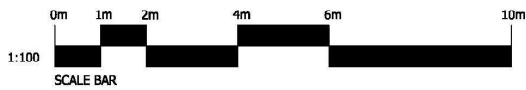
SIDE ELEVATION




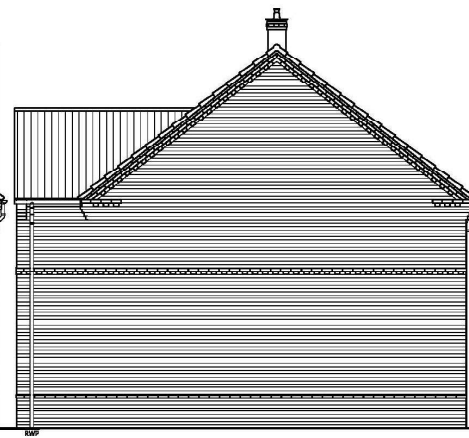
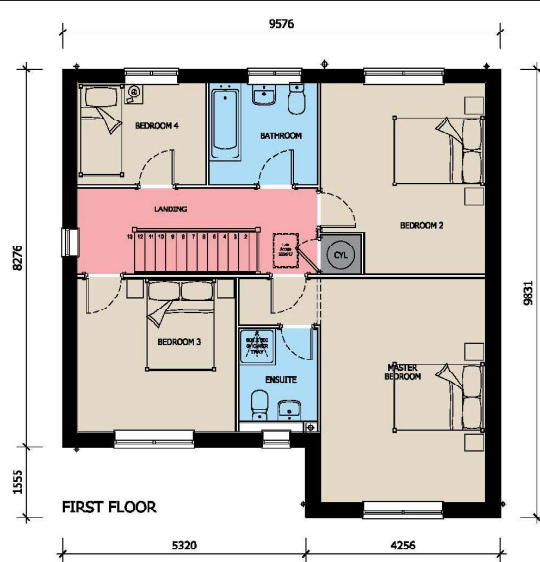
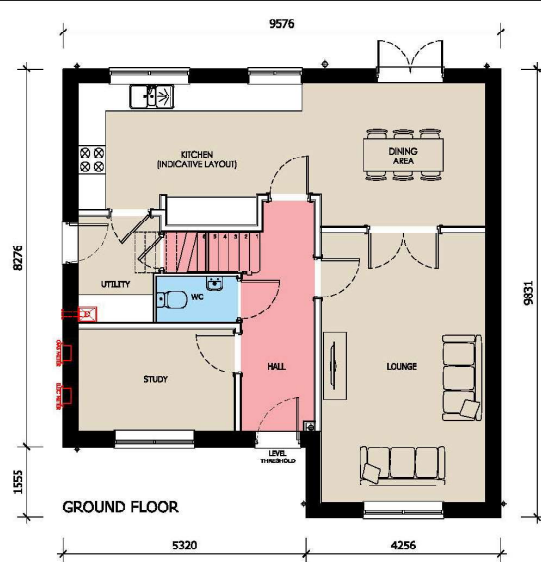
REAR ELEVATION



SIDE ELEVATION



 <p>ASHWOOD HOMES</p> <p>1 Carrillon Road, 11 Inch Clooney Business Park, Spalding, Lincs, PE12 8EY T: 01430 480090</p>	HOUSE TYPE:	LOCK (1079 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	LOCK-001

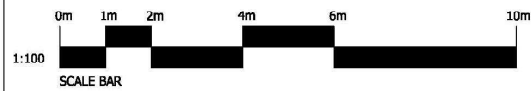



FRONT ELEVATION

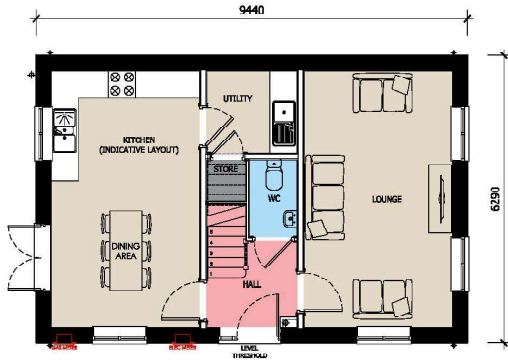
SIDE ELEVATION

REAR ELEVATION

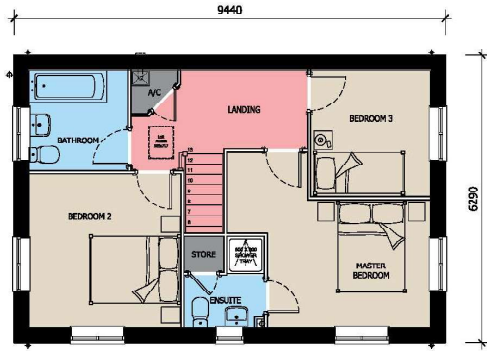
SIDE ELEVATION



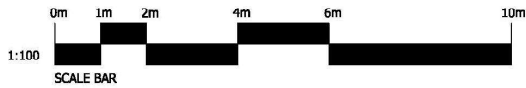
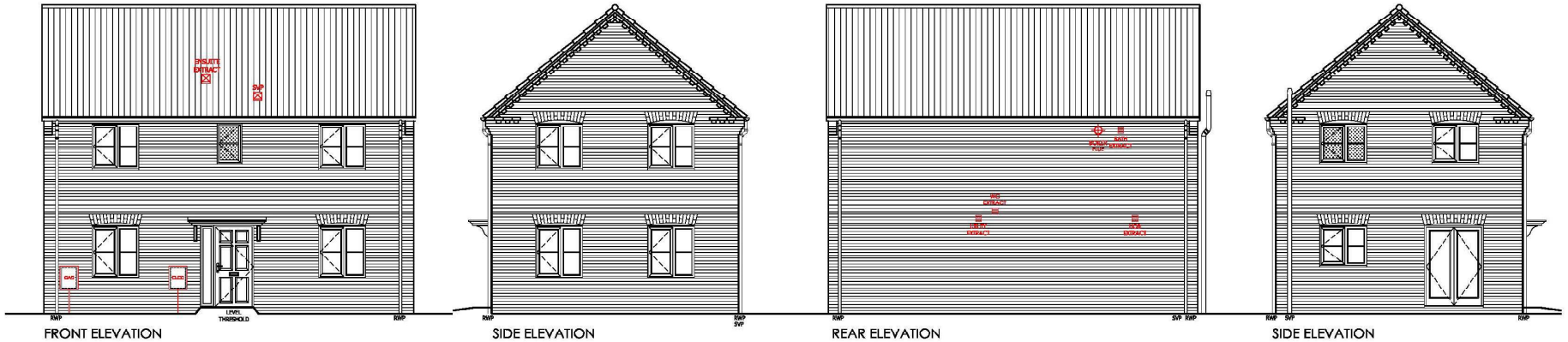
 <p>ASHWOOD HOMES</p> <p>1 Corporation Road, 11th Floor Embassy Business Park, Spalding, Lincs, PE12 6PY T: 01439 460990</p>	HOUSE TYPE: MEDWAY (1603 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: MEDWAY-001



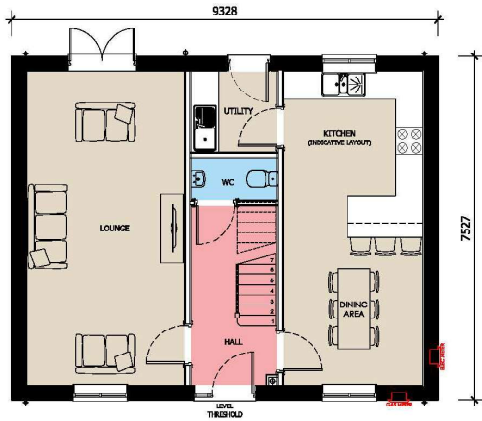
GROUND FLOOR



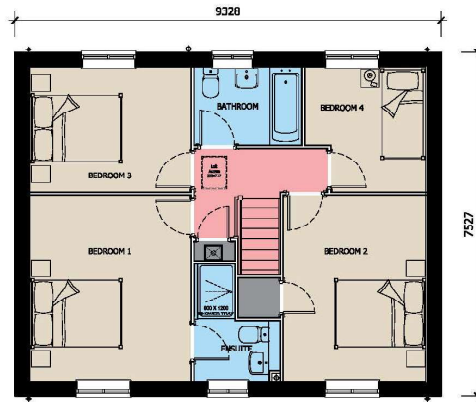
FIRST FLOOR



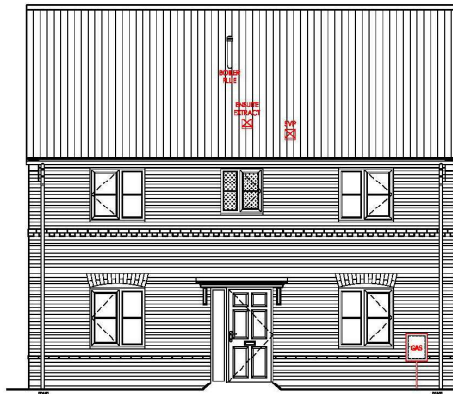
<p>ASHWOOD HOMES</p> <p>1 Cranberry Row, 1 Iron Chantry Business Park, Spalding, Lincs, PE12 6EY T: 01430 460090</p>	HOUSE TYPE: MERE (1080 FT <sup>2</sup> )
	DRAWING TITLE: DESIGN SHEET
	DRAWING NUMBER: MERE-001



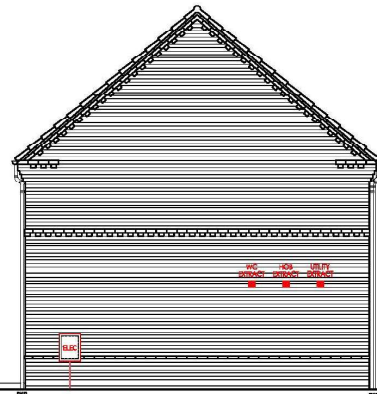
GROUND FLOOR



FIRST FLOOR



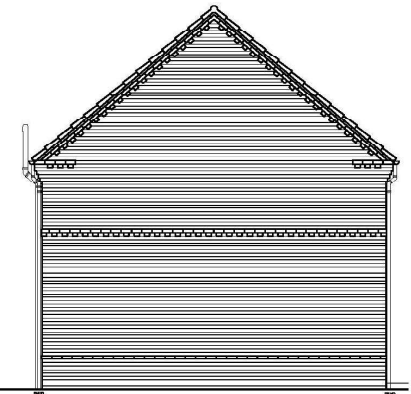
FRONT ELEVATION



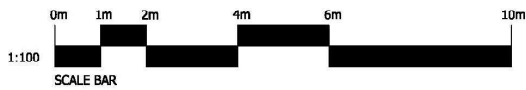
SIDE ELEVATION



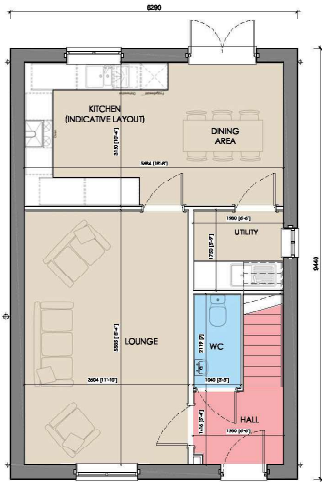
REAR ELEVATION



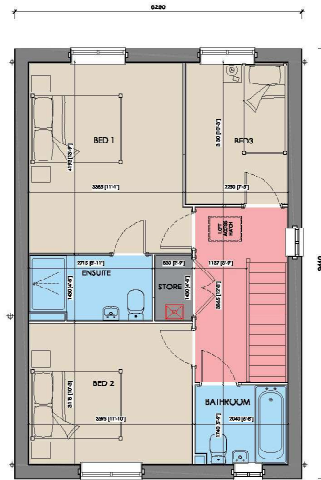
SIDE ELEVATION



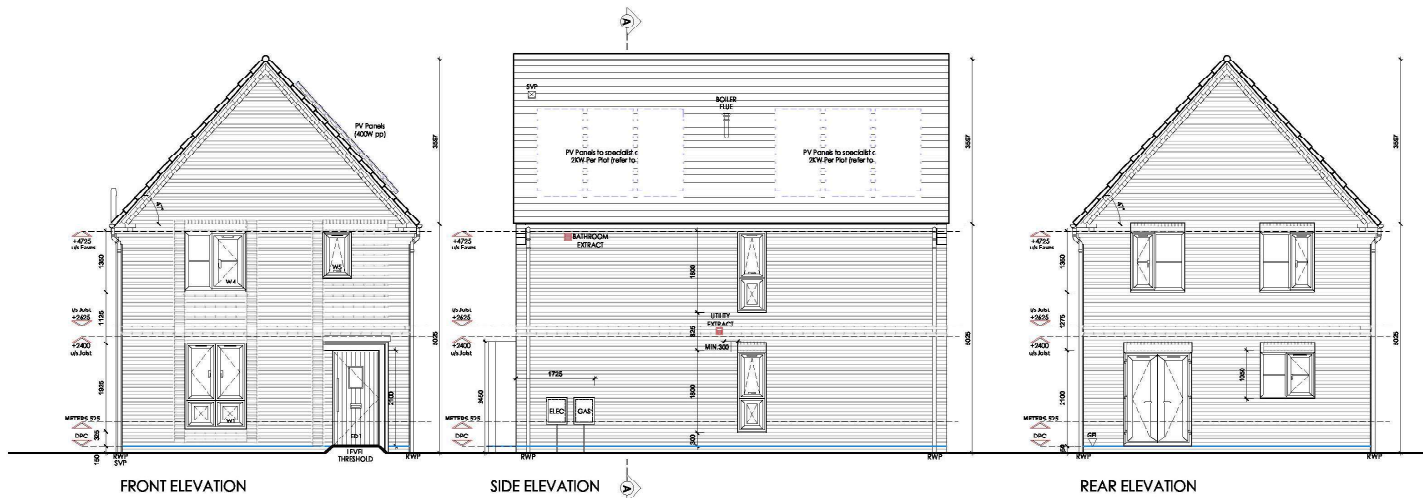
<p>ASHWOOD HOMES</p> <p>1 Greenhill Road, 11 Irons Colliery Business Park, Spalding, Lincs, PE12 6PY T: 01438 460590</p>	HOUSE TYPE:	RIBBLE-V (1283 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	RIBBLE-V-001



GROUND FLOOR



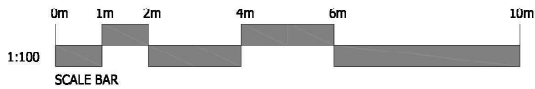
FIRST FLOOR



FRONT ELEVATION

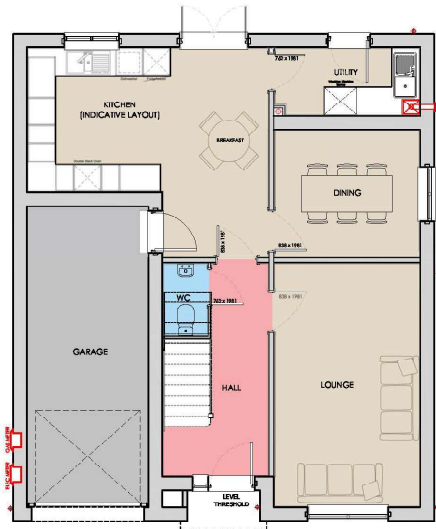
SIDE ELEVATION

REAR ELEVATION

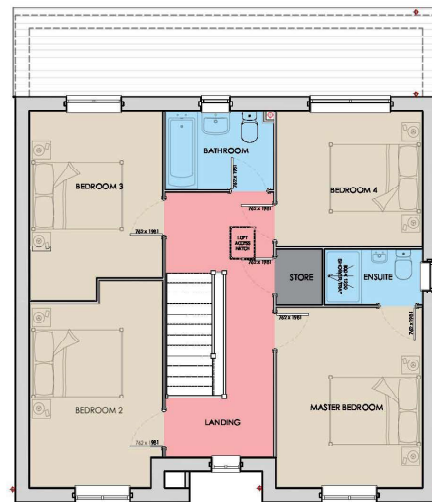


1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 0PY T: 01400 480090

HOUSE TYPE:  
RUTLAND - V - DS - 001  
(1080 sq ft)



GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



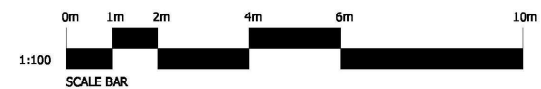
SIDE ELEVATION



REAR ELEVATION

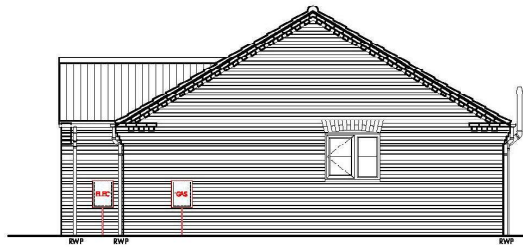


FOUR TYPE:	Severn - V (1442 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Severn - V - 001

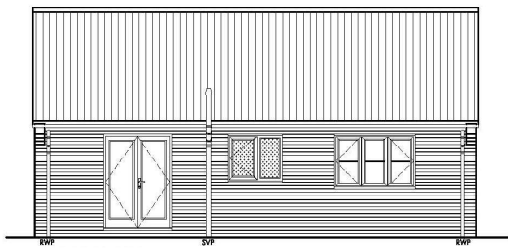




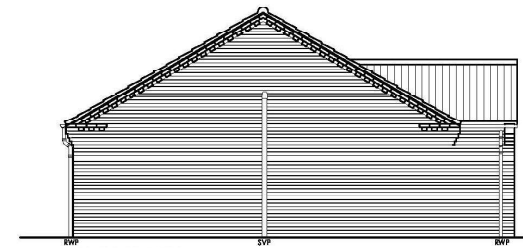
FRONT ELEVATION



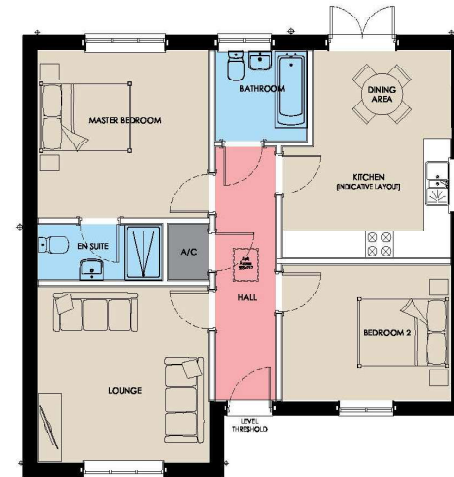
SIDE ELEVATION



REAR ELEVATION




SIDE ELEVATION



GROUND FLOOR

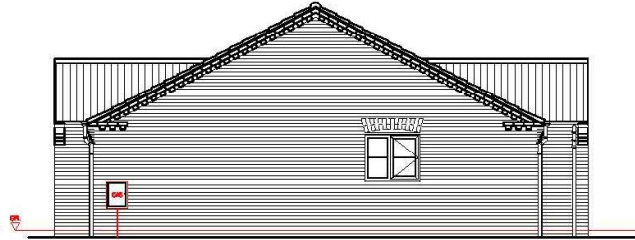


	HOUSE TYPE:	WARWICK (802 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	WARWICK-001

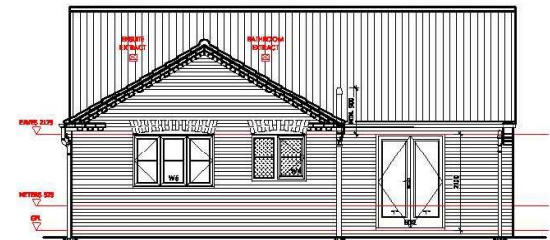
1 Goodfellow Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6PY T: 01430 490390



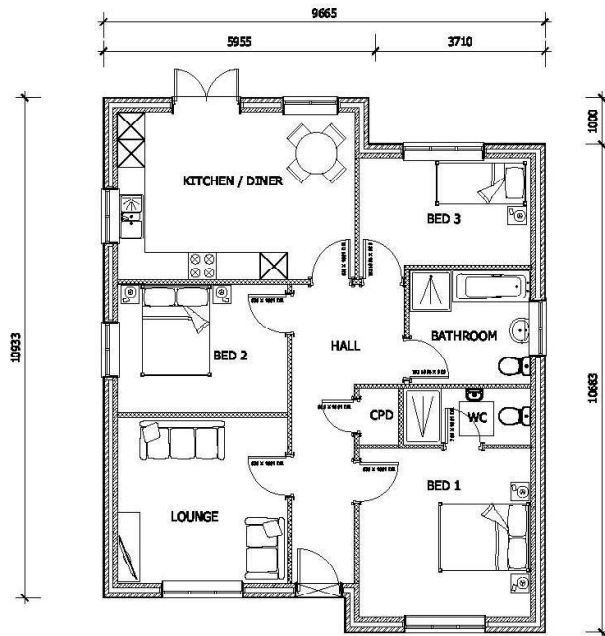
FRONT ELEVATION



SIDE ELEVATION



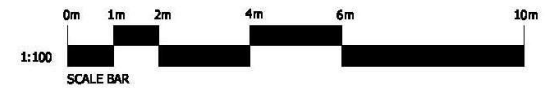
REAR ELEVATION



GROUND FLOOR PLAN



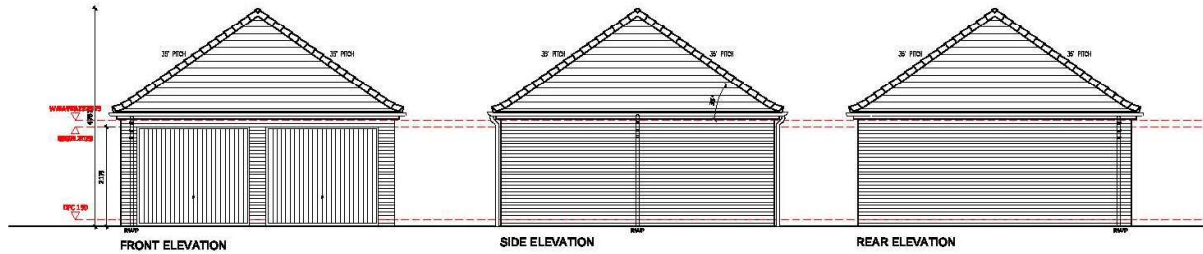
SIDE ELEVATION



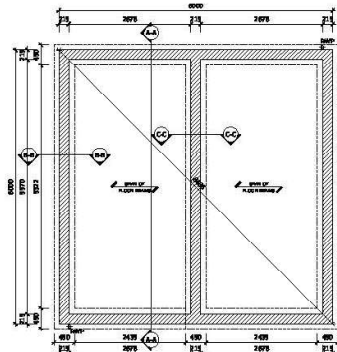
<small>1 Goodson Road, Lincs Gateway Business Park, Scunthorpe, Lincs, YO12 6PP. T: 01430 840000</small>	HOUSE TYPE:	WORCESTER (995 FT <sup>2</sup> )
	DRAWING TITLE:	DESIGN SHEET
	DRAWING NUMBER:	WORCESTER-001



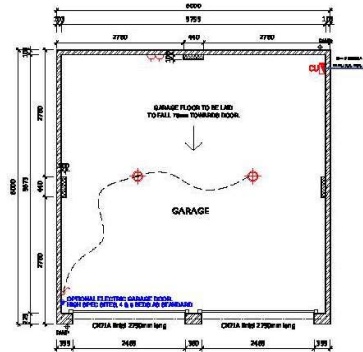




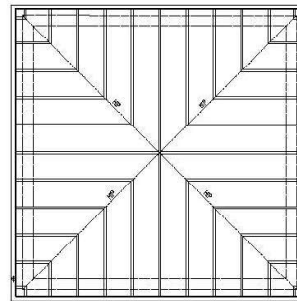
**BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS**



**SUBSTRUCTURE PLAN**  
 RWP positions dependent on soil type. See Note 5.  
 Reinforcement details require a minimum ground bearing pressure of 75 kPa/m<sup>2</sup>.



**GARAGE PLAN**  
 RWP positions dependent on soil type. See Note 5.  
 Help for 13A socket - refer to detail 13A-01 for location of socket.  
 Floor level to be 100mm above finished ground level.  
 Ground floor slab - 100mm and block paving. Structural ground level to be 100mm above finished ground level. 100mm concrete slab over 100mm compacted hardcore. 100mm concrete slab over 100mm compacted hardcore. 100mm concrete slab over 100mm compacted hardcore.



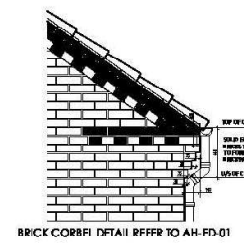
**ROOF PLAN** PITCH 30°  
 Design of roof trusses to be subject to confirmation by the architect.  
 External rafter slope to be subject to confirmation by the architect.  
 External rafter slope to be subject to confirmation by the architect.  
 External rafter slope to be subject to confirmation by the architect.

**CAR CHARGER PROVISION**  
 13 AMP External Socket to garage wall - refer to 13A-01 for location of socket.  
 To be fed using 6mm armoured cable with separate fuse on main fuse board in house.  
 Allowance to upgrade socket to 7 kW car charger at customer's discretion and cost at later date.

- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
  - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PRESTONE AND MOVEMENT JOINTS REFER TO ENGINEERS DETAILS AND SPECIFICATIONS.
  - ALL MANUFACTURES AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCEMENT.
  - ANY LINTELS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LINTELS TO BE INSULATED AS MANUFACTURERS OF DETAIL.
  - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART L 2016. DESCRIBED IN FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CONDUIT WATT.
- ABBREVIATIONS:-**  
 RWP = RAINWATER PIPE  
 MJ = MOVEMENT JOINT
- WALL LEGEND**
- FOUNDATION WALL: 215 CONCRETE TRENCH BLOCKS - 3.6 N/mm<sup>2</sup>
  - EXTERNAL WALL: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
  - EXTERNAL WALL - PER: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) 100mm - 3.6 N/mm<sup>2</sup> AGGREGATE BLOCK for Pier Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)

**M&E KEY**

SYMBOL	DESCRIPTION
△	LOW LEVEL SINGLE 13AMP SOCKET
△	LOW LEVEL TWIN 13AMP SOCKET
△	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 RESS ON 1)
△	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 RESS ON 1)
⊕	BATTERY HOLDER - LOW ENERGY
⊕	LIGHT SWITCH
⊕	7kW ELECTRIC VEHICLE CHARGER (OPTIONAL)
⊕	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE / 2 WAY CONSUMER UNIT TO GARAGE



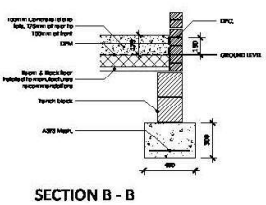
Date	Description



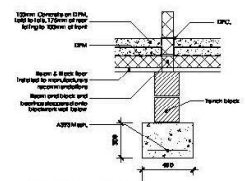
1 Goodfellow Road, Litch Green, Spalding, Lincolnshire, PE12 8PY T: 01430 400280

PROJECT:	Proposed Residential Development at Holbeach Meadows Phase 3 - Northern
HOUSE TYPE:	Double Garage Hipped
DRAWING:	FLOOR PLANS & ELEVATIONS
SCALE:	1:500A1 DRAWN: JF
DATE:	SEP 2022 REVISION: /
DRAWING NO.:	137 - DGH - 019

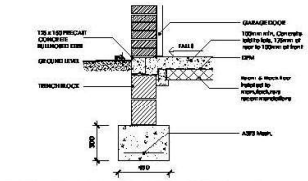
ASSOCIATED PLOTS:  
 357,469



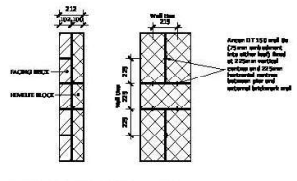
SECTION B - B



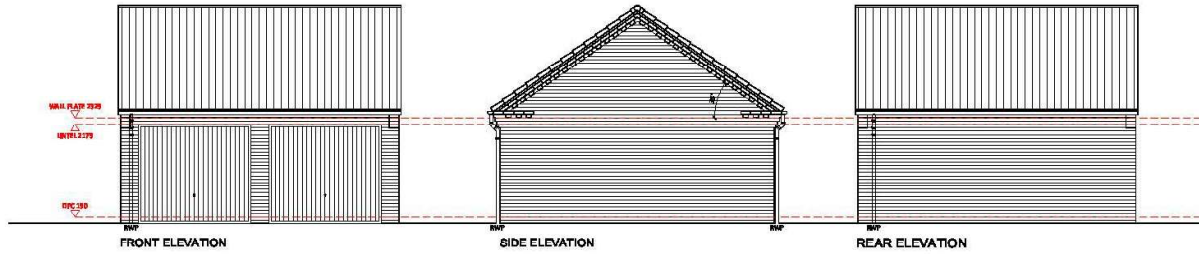
SECTION C - C



GARAGE DOOR THRESHOLD DETAIL



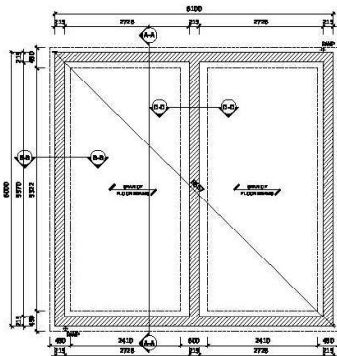
MASONRY PIER DETAIL



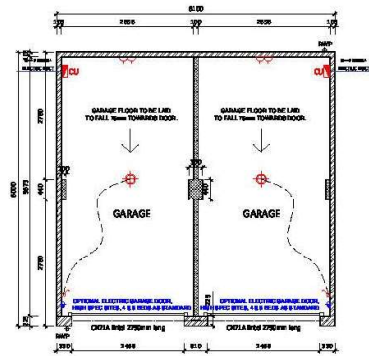
**BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS**

- NOTES:**
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  - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PRESTONE AND MOVEMENT JOINTS REFER TO ENGINEERS DETAILS AND SPECIFICATIONS.
  - ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCEMENT.
  - ANY LINTELS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LINTELS TO BE INSULATED AS MANUFACTURERS DETAILS.
  - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART L 1 (2013). DESIGNATED LIGHT FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CONCRETE WALL.

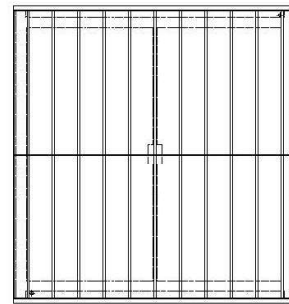
- 6) ABBREVIATIONS:-**  
 RW/P = RAINWATER PIPE  
 MJ = MOVEMENT JOINT
- 7) WALL LEGEND**
- FOUNDATION WALL: 215 CONCRETE TRENCH BLOCKS - 3.6 N/mm<sup>2</sup>
  - EXTERNAL WALL: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
  - EXTERNAL WALL - PER: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) 100mm - 3.6N/mm<sup>2</sup> AGGREGATE BLOCK for Per Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)



**SUBSTRUCTURE PLAN**  
 RWP postholes dependent on roof span. See elevations.  
 Precast slabs support a minimum ground bearing pressure of 10 kPa.



**GARAGE PLAN**  
 RWP postholes dependent on roof span. See elevations.  
 Match plot to main elevations - refer to detail.  
 Match plot to include ball and chain support of garage door and rail.  
 Ground floor 100 - 20mm and Black Rearing. Structural ground over to be 1:3 compact base course supported with 1 layer of 40mm. 20mm over to be 1:3 compact. Min. ground pressure 10kPa rising to 15kPa at top of garage.

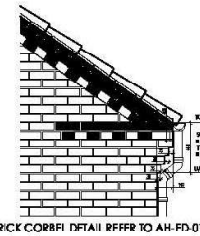


**ROOF PLAN**  
 Design of roof trusses to be subject to checkmark by Inspectors.  
 Labelled rafters to be subject to checkmark by Inspectors.  
 Labelled rafters to be at 1.20m centres maximum and to be secured to the first three rafters of trusses where they run parallel to the walls.  
 Vertical rafters to be secured to anchor roof trusses to wall at 1.20m centres.

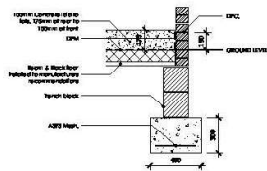
**CAR CHARGER PROVISION**  
 13 AMP External Socket to garage wall - refer to 90A - EVCP - 01 for location of sockets. To be fed using 6mm armoured cable with separate fuse on main fuse board in house. Allowance to upgrade socket to 7 kW car charger at customer's discretion and cost at later date.

**8) M&E KEY**

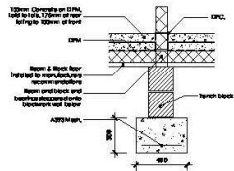
SYMBOL	DESCRIPTION
[Symbol]	LOW LEVEL SINGLE 13AMP SOCKET
[Symbol]	LOW LEVEL TWIN 13AMP SOCKET
[Symbol]	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 RESS ON 1)
[Symbol]	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 RESS ON 1)
[Symbol]	BATTERY HOLDER - LOW ENERGY
[Symbol]	LIGHT SWITCH
[Symbol]	7kW ELECTRIC VEHICLE CHARGER (OPTIONAL)
[Symbol]	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE / 2 WAY CONSUMER UNIT TO GARAGE



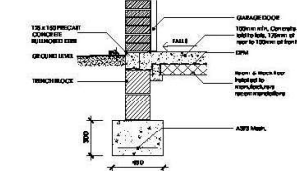
BRICK CORBEL DETAIL REFER TO AH-FD-01



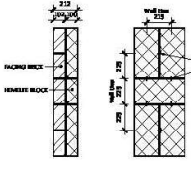
SECTION B - B



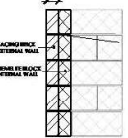
SECTION C - C



GARAGE DOOR THRESHOLD DETAIL



MASONRY PIER DETAIL



MASONRY WALL DETAIL

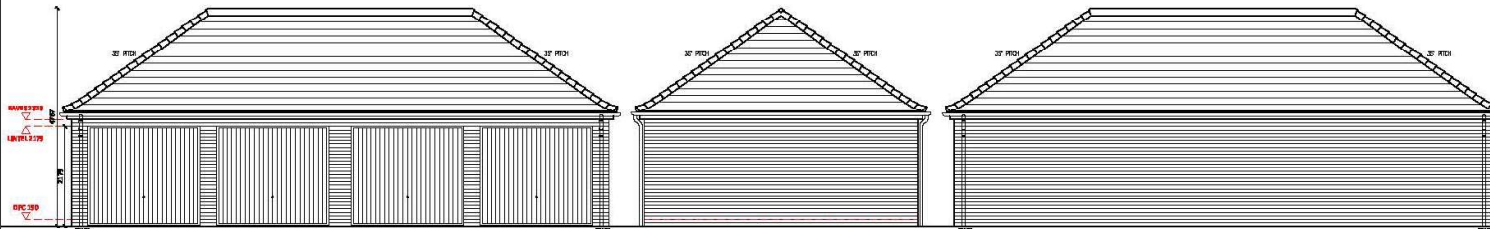
**ASSOCIATED PLOTS:**  
 323/294/238/239/241/242/243/244/347/247/  
 351/352/359/360/416/417/420/421/422/423/  
 425/426/427/428/429/430/446/447/449/450/  
 455/456/457/458/463/464

Date	Description

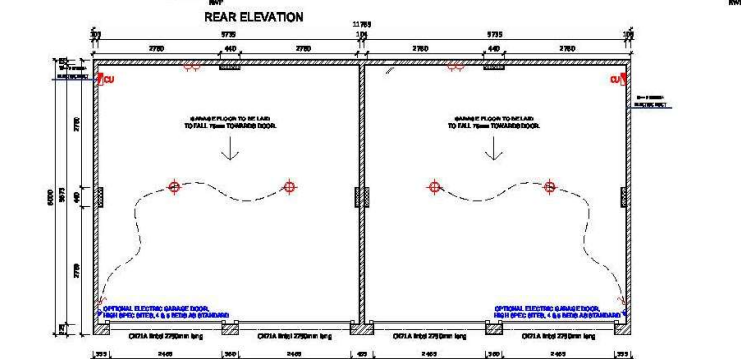
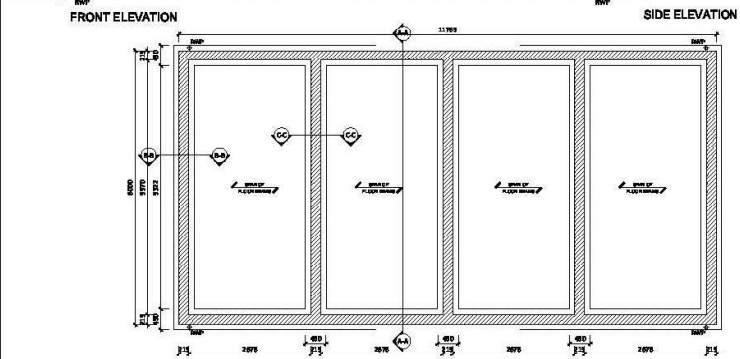


1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8PY T: 01438 406280

PROJECT:	Proposed Residential Development at Holbeach Meadows Phase 3 - Northern
HOUSE TYPE:	Double Shared Garage Side Pitched
DRAWING:	FLOOR PLANS & ELEVATIONS
SCALE:	1:500A1
DATE:	08/21/2022
DESIGNED BY:	137-DSG-014
DRAWN BY:	
REVISION:	



- NOTES:**
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  - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PAISONITE AND MOVEMENT JOINTS REFER TO ENGINEERS OF DETAILS AND SPECIFICATIONS.
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  - ALL UNITS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER ALL UNITS TO BE INSULATED AS MANUFACTURERS DETAILS.
  - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART E, SDOL. INDICATED C/F FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER C/M<sup>2</sup> WATT.
- ABBREVIATIONS:-**  
 RHPF = RAISED FLOOR PIER  
 MJ = MOVEMENT JOINT



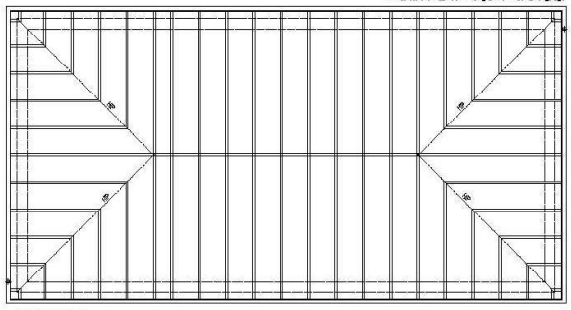
- WALL LEGEND**
- FOUNDATION WALL: 215 CONCRETE TRENCH BLOCKS - 3.6 N/mm<sup>2</sup>
  - EXTERNAL WALL: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
  - EXTERNAL WALL - PER: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) 100mm - 3.6N/mm<sup>2</sup> AGGREGATE BLOCK BY PLY internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
- M&E KEY**

SYMBOL	DESCRIPTION
	LOW LEVEL SINGLE 13AMP SOCKET
	LOW LEVEL TWIN 13AMP SOCKET
	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 WIRE ONLY)
	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 WIRE ONLY)
	BATTERY HOLDER - LOW ENERGY
	LIGHT SWITCH
	40W LED INC. VERTICAL CHANDELIER (OPTIONAL)
	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE / 2 WAY CONSUMER UNIT TO GARAGE

**SUBSTRUCTURE PLAN**  
 RHPF positions dependent on roof span. See Headers  
 Suspension rods ensure a minimum ground bearing pressure of 10 kN/m<sup>2</sup>

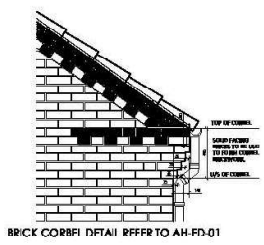
**GARAGE PLAN**  
 RHPF positions dependent on roof span. See Headers - RHPF pier to be elevated - refer to detail - Pier to be fully finished brickwork for support of garage door and block - Garage floor 100 - 100mm and steel flooring. Structural ground level to be 125 concrete/30mm gravel method with 1 layer 20k2 mesh, 100mm cover to bottom of armor. Min. ground clearance 100mm rising to 175mm at rear of garage.

Design of roof trusses to be subject to confirmation by truss supplier.  
 Lateral restraint straps to reduce trusses to concrete beams in three-  
 bay support garages with steel plates, must meet 8 x 2 long x 10mm  
 long (min)  
 Lateral restraint straps to be at 1.2m centres maximum and to be  
 secured to the flat steel ceiling of trusses where they are parallel to  
 the main.  
 Vertical restraint straps at eaves level to be fixed to another roof beam  
 to meet at 1.2m centres.



**BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS**

**CAR CHARGER PROVISION**  
 13 AMP External Socket to garage wall - refer to 90A - EVCP - 01 for location of sockets.  
 To be fed using 6mm armoured cable with separate fuse on main fuse board in house.  
 Allowance to upgrade socket to 7 kW car charger at customer's discretion and cost at later date.



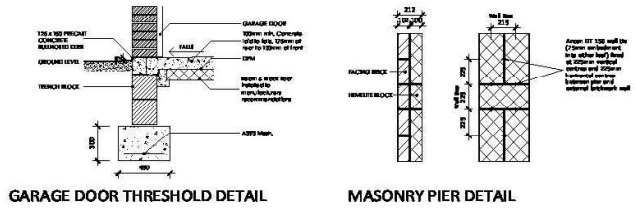
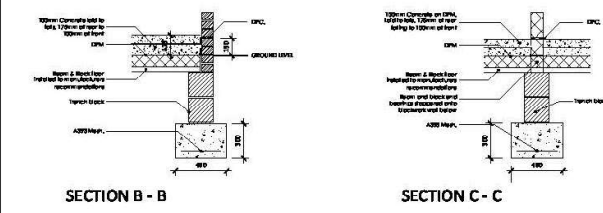
NO.	TYPE	DESCRIPTION



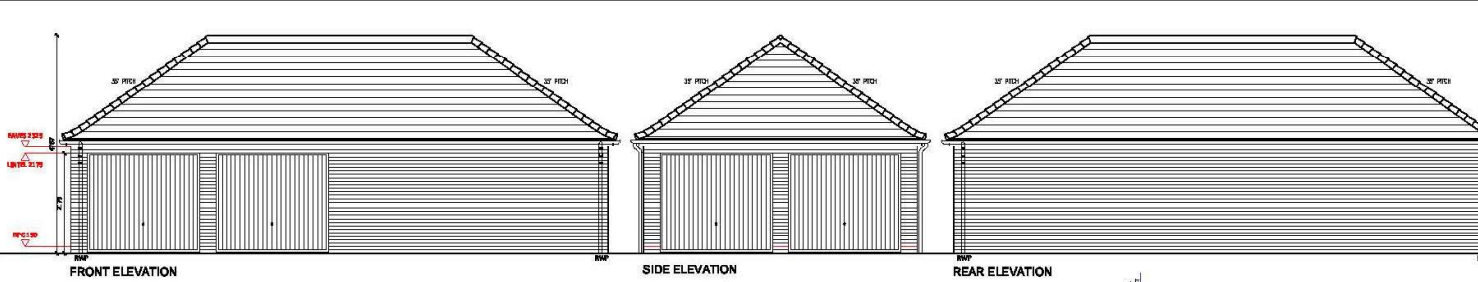
1 Quodiam Road, Llyn Gwynedd, Brecknock Park, Spelling, Llan, PE12 8PV T: 01428 402830

PROJECT:	Proposed Residential Development at Holbeach Meadows Phase 3 - Northern
HOUSE TYPE:	Quad Garage - Hipped
DRAWING:	FLOOR PLANS & ELEVATIONS
SCALE:	1:500@A1
DATE:	SEPT.2022
DRAWING NO.:	137 - QGH - 017

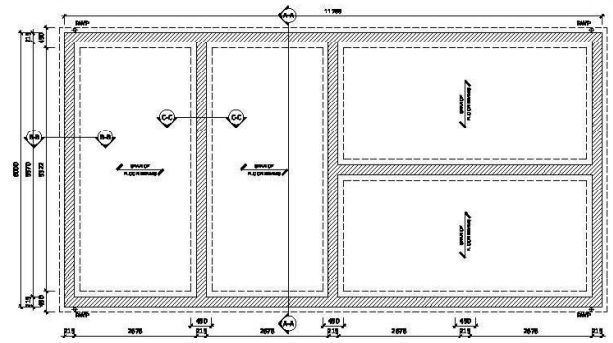
ASSOCIATED PLOTS:  
 348,349



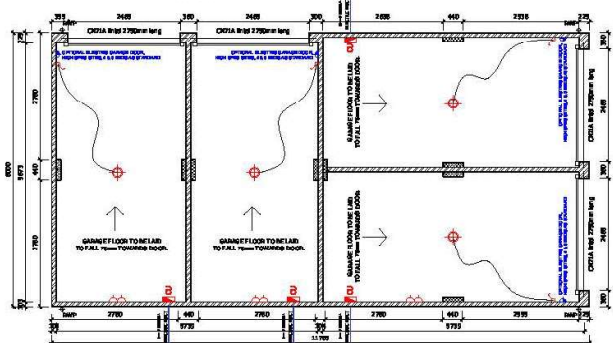
**QUAD GARAGE - HIPPED**



- NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
  - FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PAISONITE AND MOVEMENT JOINTS REFER TO ENGINEERS OF DRAWS AND SPECIFICATIONS.
  - ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCING.
  - ANY UNITS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL UNITS TO BE INSULATED AS MANUFACTURERS DETAILS.
  - ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART E. SOAK. IS INDICATED USE FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CM<sup>2</sup> AT WAIT.
- ABBREVIATIONS:-**  
 RWP = RAINWATER PIPE  
 MJ = MOVEMENT JOINT



**SUBSTRUCTURE PLAN**  
 ALL WALLS TO BE CONCRETE ON GRAVEL. SEE FOUNDATIONS. ALL WALLS TO BE CONCRETE ON GRAVEL. SEE FOUNDATIONS. ALL WALLS TO BE CONCRETE ON GRAVEL. SEE FOUNDATIONS.

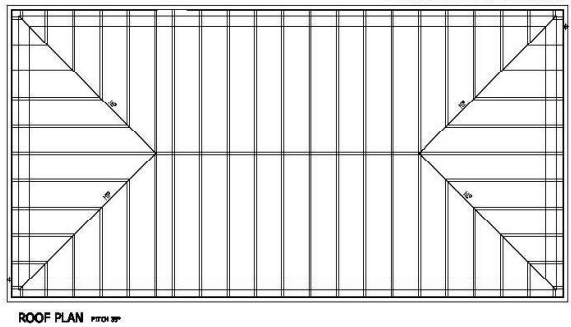


**GARAGE PLAN**  
 ALL WALLS TO BE CONCRETE ON GRAVEL. SEE FOUNDATIONS. ALL WALLS TO BE CONCRETE ON GRAVEL. SEE FOUNDATIONS. ALL WALLS TO BE CONCRETE ON GRAVEL. SEE FOUNDATIONS.

- WALL LEGEND**
- FOUNDATION WALL: 215 CONCRETE TRENCH BLOCKS - 3.6 N/mm<sup>2</sup>
  - EXTERNAL WALL: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
  - EXTERNAL WALL - PER: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) 100mm - 3.6N/mm<sup>2</sup> AGGREGATE BLOCK BY PER internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
- M&E KEY**

SYMBOL	DESCRIPTION
	LOW LEVEL SINGLE 13AMP SOCKET
	LOW LEVEL TWIN 13AMP SOCKET
	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 Wires Only)
	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 Wires Only)
	BATTERY HOLDER - LOW ENERGY
	LIGHT SWITCH
	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE / 2 WAY CONSUMER UNIT TO GARAGE

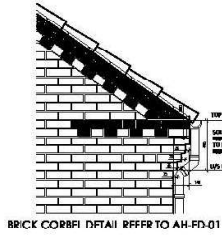
DESIGN OF ROOF TO BE IN ACCORDANCE WITH THE BRICKWORK SPECIFICATION OF STATE SPECIFICATIONS. Lateral restraint should be provided to all walls / floors by cast in place beams or 6mm bar clipped to masonry in above slabs. Slabs shall be 100mm thick. Lateral restraint should be at 1.2m centres maximum and to be provided to the first three rafters or bays where they run parallel to the walls. Vertical restraint should be provided to be used to anchor rafters to wall at 1.2m centres.



**ROOF PLAN**

**BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS**

**CAR CHARGER PROVISION**  
 13 AMP External Socket to garage wall - refer to SDA - EVCP - 01 for location of sockets. To be fed using 6mm armoured cable with separate fuse on main fuse board in house. Allowance to upgrade socket to 7 kW car charger at customer's discretion and cost at later date.



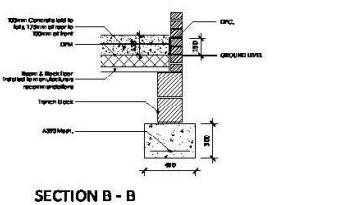
**BRICK CORNER DETAIL** REFER TO AH-FD-01

REV.	DATE	DESCRIPTION

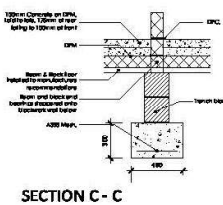


1 Goodwin Road, L30m Gateway, Brisbane Park, Spelling, Lind, PE12 8PV T: 01408 40080

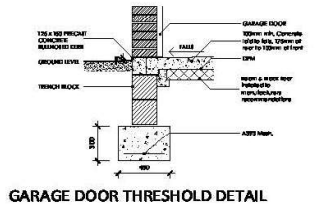
PROJECT:	Proposed Residential Development at Holbeach Meadows Phase 3 - Northern
HOUSE TYPE:	Quad Garage - Hipped 2
DRAWING:	FLOOR PLANS & ELEVATIONS
SCALE:	1:500@A1
DATE:	SEPT.2022
DRAWING NO.:	137 - QGH - 021



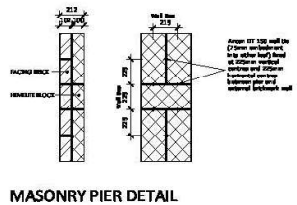
**SECTION B - B**



**SECTION C - C**



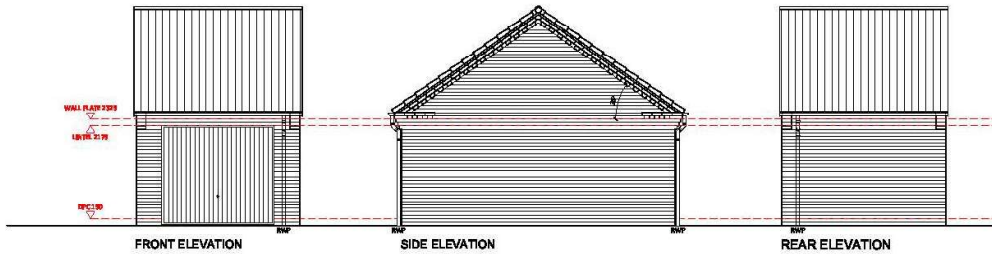
**GARAGE DOOR THRESHOLD DETAIL**



**MASONRY PIER DETAIL**

**QUAD GARAGE - HIPPED 2**

ASSOCIATED PLOTS:  
 594,595,596,597



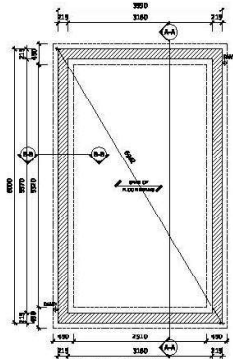
## BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS

**CAR CHARGER PROVISION**  
 13 AMP External Socket to garage wall - refer to SDA - EVCP - 01 for location of sockets.  
 To be fed using 6mm armoured cable with separate fuse on main fuse board in house.  
 Allowance to upgrade socket to 7 kW car charger at customer's discretion and cost at later date.

- NOTES:**
- ① THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
  - ② FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PRESTONE AND MOVEMENT JOINTS REFER TO ENGINEERS DETAILS AND SPECIFICATIONS.
  - ③ ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCING.
  - ④ ANY LINTELS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LINTELS TO BE INSULATED AS MANUFACTURERS DETAILS.
  - ⑤ ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART L 2(2)(b). DESIGNATED CEILING FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CONCRETE WALL.
- ABBREVIATIONS:-**  
 RW/P = RAINWATER PIPE  
 MJ = MOVEMENT JOINT
- ⑦ WALL LEGEND**
- FOUNDATION WALL**
- 215 CONCRETE TRENCH BLOCKS - 3.6 N/mm<sup>2</sup>
- EXTERNAL WALL**
- 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
  - 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) 100mm - 3.6 N/mm<sup>2</sup> AGGREGATE BLOCK FOR PERLITE internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)

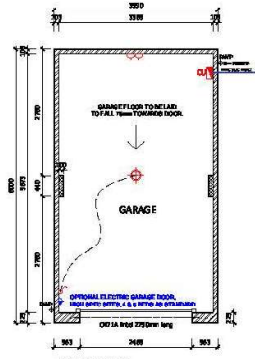
**⑧ M&E KEY**

SYMBOL	DESCRIPTION
	LOW LEVEL SINGLE 13AMP SOCKET
	LOW LEVEL TWIN 13AMP SOCKET
	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 BBS DIM. Y)
	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 BBS DIM. Y)
	BATTERY HOLDER - LOW ENERGY
	LIGHT SWITCH
	7kW ELECTRIC VEHICLE CHARGER (OPTIONAL)
	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE / 2 WAY CONSUMER UNIT TO GARAGE



**SUBSTRUCTURE PLAN**

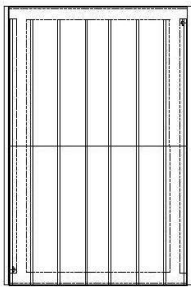
SEE WALLING SECTION ON REAR ELEV. SEE FOUNDATION NOTES SECTION 3 FOR ACHIEVEMENT GRADE & BEARING CAPACITY OF 75 kN/m<sup>2</sup>



**GARAGE PLAN**

SEE WALLING SECTION 1 ON REAR ELEV. SEE FOUNDATION NOTES SECTION 3 FOR ACHIEVEMENT GRADE & BEARING CAPACITY OF 75 kN/m<sup>2</sup>

Ground floor slab - beam and block flooring. Structural ground level to be 100 concrete ground level (minimum 100mm above AFD) to be 100mm above AFD. Min. ground thickness 100mm rising to 175mm at rear of garage.



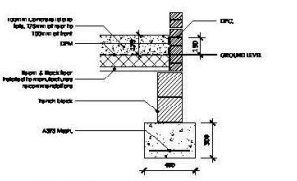
**ROOF PLAN** (REFER TO)

Design of roof trusses to be subject to confirmation by the local authority.

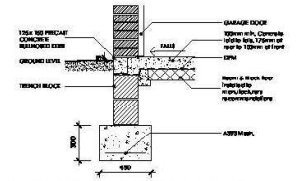
Use local rafters subject to rafters / trusses to comprise 20mm x 20mm hot dipped galvanized mild steel strapping with 6 x 6 x 6 sag 75mm long nails.

Use local rafters subject to be at 1.2m centres maximum and to be secured to the next truss rafters or to intermediate truss rafters spaced at 1.2m.

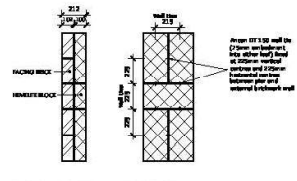
Vertical rafters subject to be spaced to be used to another set of trusses to wall at 1.2m centres.



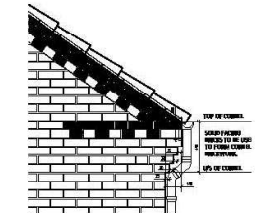
**SECTION B - B**



**GARAGE DOOR THRESHOLD DETAIL**



**MASONRY PIER DETAIL**



**BRICK CORBEL DETAIL REFER TO AH-ED-01**

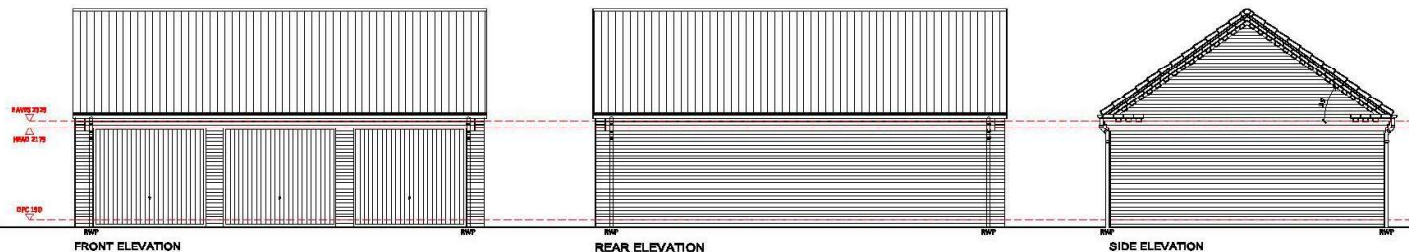


1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 8PY T: 01405 400280

PROJECT:	Proposed Residential Development at Holbeach Meadows Phase 3 - Northern	
HOUSE TYPE:	Single Garage Front Pitched	
DRAWING:	FLOOR PLANS & ELEVATIONS	
SCALE:	1:500A1	DRAWN: JF
DATE:	09/07/2022	REVISION: /
DRAWING No.:	137 - SG - 012	

**ASSOCIATED PLOTS:**  
 331,332,335,340,345  
 353,354,355,358,361,  
 415,418,419,424,442,  
 444,445,448,459,460,  
 465,466,467,470

# TRIPLE SHARED GARAGE 3



### NOTES:

- ① THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
- ② FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PAVEMENT AND MOVEMENT JOINTS REFER TO ENGINEER DETAILS AND SPECIFICATIONS.
- ③ ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCEMENT.
- ④ ANY LIGHTS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LIGHTS TO BE INSULATED AS MANUFACTURER'S DETAILS.
- ⑤ ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART L2 OF THE BUILDING REGULATIONS. FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CONCRETE WALL.

### ABBREVIATIONS:

- RWP = RAINWATER PIPE
- MJ = MOVEMENT JOINT

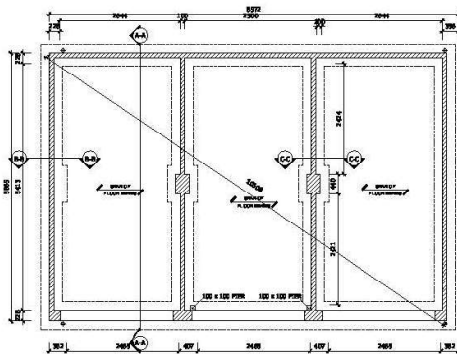
### WALL LEGEND

FOUNDATION WALL	215 CONCRETE TRENCH BLOCKS - 3.6 N/mm <sup>2</sup>
EXTERNAL WALL	102.5mm - FACING BRICK (min. 20 N/mm <sup>2</sup> strength) Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
EXTERNAL WALL - PER	102.5mm - FACING BRICK (min. 20 N/mm <sup>2</sup> strength) 100mm - 3.6 N/mm <sup>2</sup> AGGREGATE BLOCK for Pier Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)

### M&E KEY

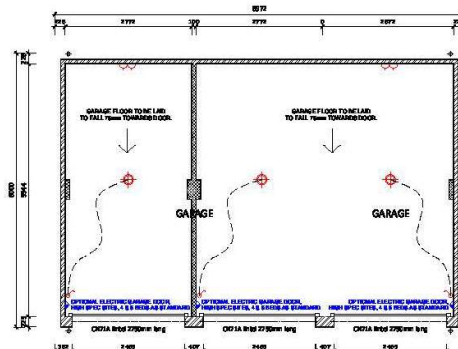
SYMBOL	DESCRIPTION
	LOW LEVEL SINGLE 13AMP SOCKET
	LOW LEVEL TWIN 13AMP SOCKET
	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (4 & 5 RESS ON 1)
	EXTERNAL DOUBLE 13AMP SOCKET (4 & 5 RESS ON 1)
	BATTERY HOLDER - LOW ENERGY
	LIGHT SWITCH
	7kW ELECTRIC VEHICLE CHARGER (OPTIONAL)
	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE / 2 WAY CONSUMER UNIT TO GARAGE

**BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS**



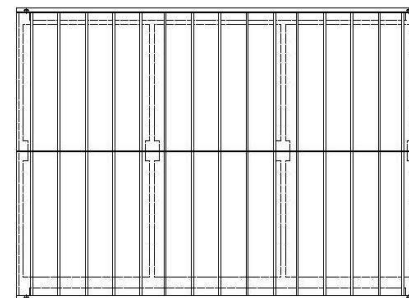
**SUBSTRUCTURE PLAN**

RWP positions dependent on top floor plan. See Details



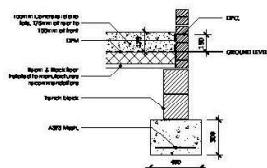
**GARAGE PLAN**

RWP positions dependent on top floor plan. See Details

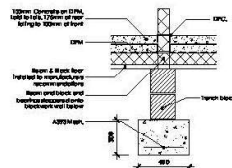


**ROOF PLAN**

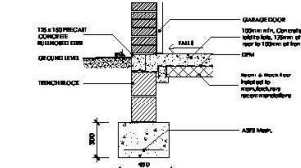
Pitch 3° Ridge of roof to be built to conform to the details



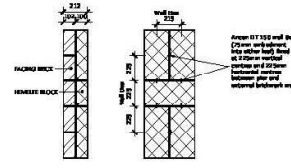
**SECTION B - B**



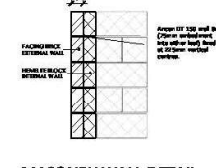
**SECTION C - C**



**GARAGE DOOR THRESHOLD DETAIL**



**MASONRY PIER DETAIL**



**MASONRY WALL DETAIL**

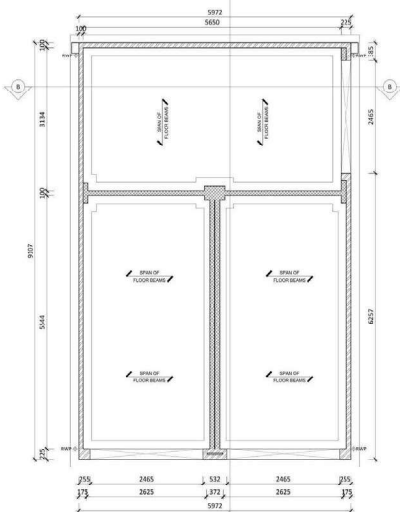
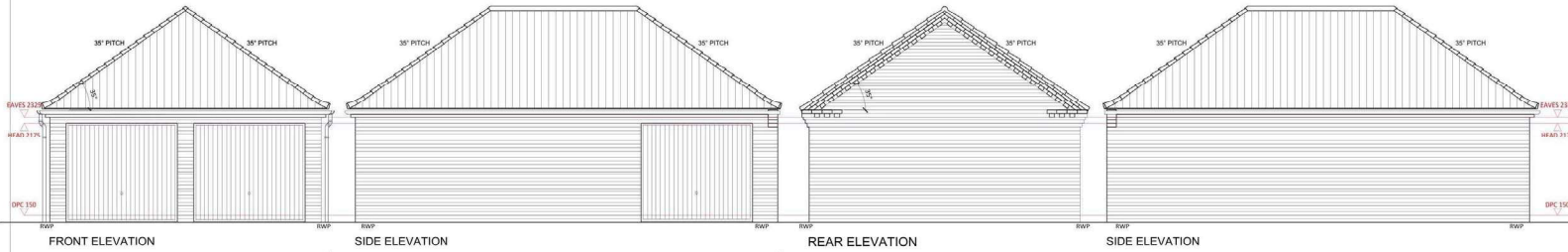
ASSOCIATED PLOTS:  
363/364



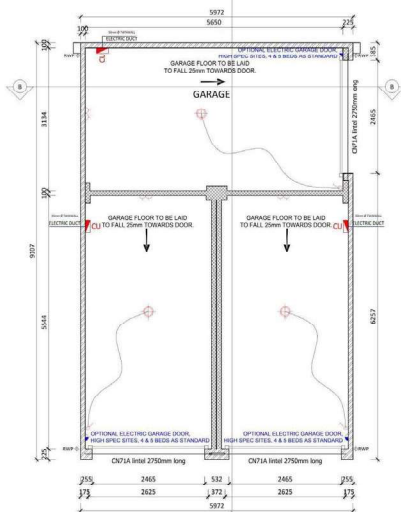
1 Goodson Road, Lincoln Gateway Business Park, Spelling, Lincs, PE12 8PY T: 01405 480280

PROJECT:	Proposed Residential Meadows Phase 3 - Northern
HOUSE TYPE:	Triple Shared Garage 3
DRAWING:	FLOOR PLANS & ELEVATIONS
SCALE:	1:500A1
DATE:	SEPT.2022
REVISION:	/
DRAWING No.:	137 - T563 - 015

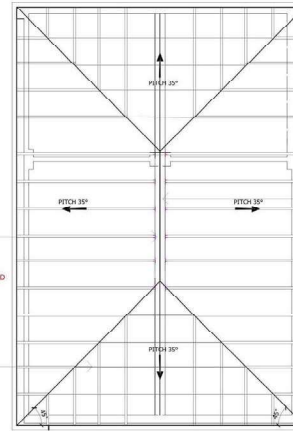
# TRIPLE SHARED GARAGE 4



**SUBSTRUCTURE PLAN**  
Roof positions dependent on roof spans. See Elevations



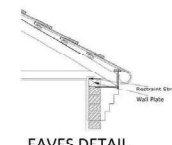
**GARAGE PLAN**  
Roof positions dependent on roof spans. See Elevations



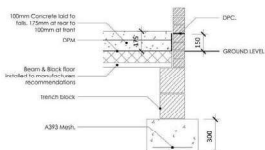
**ROOF PLAN**  
Design of roof trusses to be subject to confirmation by truss specialist.

SEPARATE MONITORS REQUIRED TO ENSURE FIRE RESISTANCE IS MET

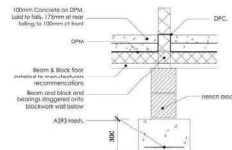
**BEFORE BUILDING - CHECK FOR ANY SALES EXTRAS SUCH AS PERSONNEL DOORS**



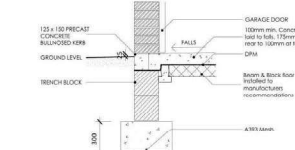
**CAVES DETAIL**



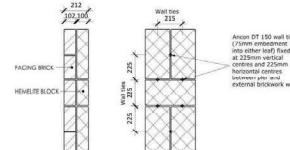
**SECTION B - B**



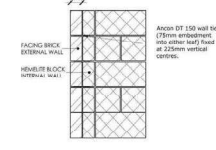
**SECTION C - C**



**GARAGE DOOR THRESHOLD DETAIL**



**MASONRY PIER DETAIL**



**MASONRY WALL DETAIL**

ASSOCIATED PLOTS:  
451/452/453

**NOTES:**

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT DETAIL SHEETS, GENERAL SPECIFICATION AVAILABLE FROM ASHWOOD HOMES, RECOMMENDATIONS, SAP RATINGS & ACCREDITED DETAILS.
- FOR FOUNDATIONS, BLOCKWORK STRENGTHS, STEEL BEAMS, PADSTONE AND MOVEMENT JOINTS REFER TO ENGINEERS DETAILS AND SPECIFICATIONS.
- ALL MANUFACTURERS AND CONSTRUCTION DETAILS MUST BE APPROVED PRIOR TO WORK COMMENCING.
- ANY LINTELS TO EXTERNAL OPENINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS INCLUDING CAVITY TRAYS OVER. ALL LINTELS TO BE INSULATED AS MANUFACTURERS DETAILS.
- ENERGY EFFICIENT LIGHT FITTINGS TO BE PROVIDED IN ACCORDANCE WITH PART L 2006. DEDICATED CFL FITTINGS TO ACCEPT LIGHT FITTINGS OF GREATER THAN 40 LUMENS PER CIRCUIT WATT.

**ABBREVIATIONS:**

RWP = RAINWATER PIPE  
MJ = MOVEMENT JOINT

**WALL LEGEND**

- FOUNDATION WALL: 315 CONCRETE TRENCH BLOCKS - 3 & 4/1000/7
- EXTERNAL WALL: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) Internal face of brickwork to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)
- EXTERNAL WALL - PIER: 102.5mm - FACING BRICK (min. 20 N/mm<sup>2</sup> strength) 100mm - 3.8N/mm<sup>2</sup> AGGREGATE BLOCK for Pier Internal face of masonry to be sealed with Thompson's water seal (or similar approved by Ashwood Homes)

**MBE KEY**

SYMBOL	DESCRIPTION
○	LOW LEVEL SINGLE 13AMP SOCKET
○	LOW LEVEL TWIN 13AMP SOCKET
⚡	EXTERNAL SWITCHED FUSE SPUR FOR GARAGE DOOR (A & B BEES ONLY)
⚡	EXTERNAL DOUBLE 13AMP SOCKET (A & B BEES ONLY)
⊕	BATTERY HOLDER - LOW ENERGY
⊕	LIGHT SWITCH
⊕	7KW ELECTRIC VEHICLE CHARGER (OPTIONAL)
⊕	8 WAY CONSUMER UNIT TO GARAGE HOME OFFICE/ 2 WAY CONSUMER UNIT TO GARAGE

Rev.	Date	Description
A	22.03.24	Roof pitch changed



1 Goodson Road, Lincs Gateway Business Park, Spalding, Lincs, PE12 6FY T: 01406 490590

PROJECT:	Proposed Residential Development at Holbeach Meadows Phase 3 - Northern
HOUSE TYPE:	Triple Shared Garage 4
DRAWING:	FLOOR PLANS & ELEVATIONS
SCALE:	1:250/8A1
DATE:	SEPT.2022
DRAWING No:	137 - TSG4 - 020
DRAWN BY:	JC
REVISION:	A





GROUND FLOOR

4 Bed 1560Sqm/144.92Sqm



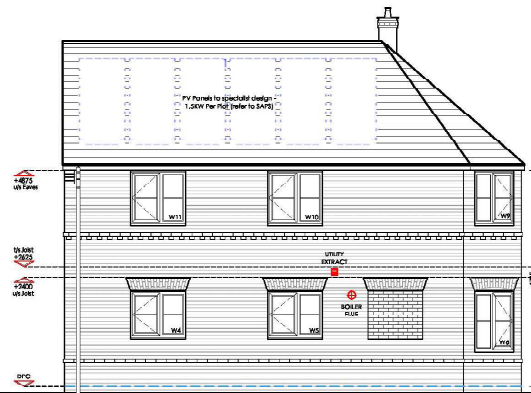
FIRST FLOOR



CGI



FRONT ELEVATION



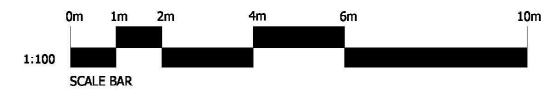
SIDE ELEVATION



SIDE ELEVATION



HOUSE TYPE:	Stamford (1560 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Stamford - 001 - A





GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



SIDE ELEVATION

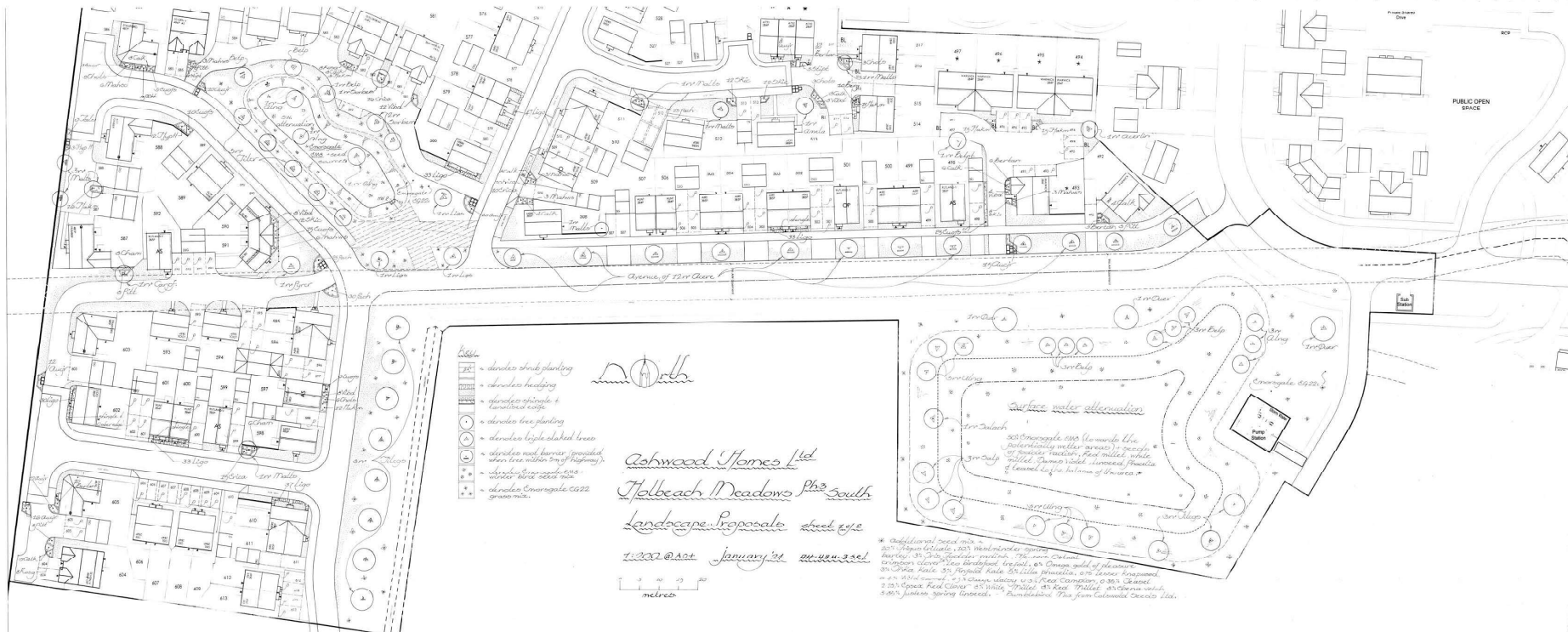


REAR ELEVATION



HOUSE TYPE:	Coronation(1560 FT <sup>2</sup> )
DRAWING TITLE:	DESIGN SHEET
DRAWING NUMBER:	Coronation - 001 - A



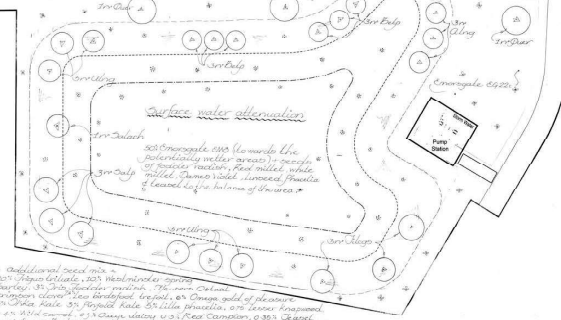
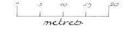


- denotes shrub planting
- denotes hedging
- denotes drainage & kerbside edge
- denotes tree planting
- denotes light shaded trees
- denotes road barriers (provided where tree within 5m of highway)
- denotes fence detail note
- denotes Stonegate CG22 ground level



*Ashwood Homes Ltd*  
*Halbeach Meadows Phase South*  
 Landscape Proposal sheet 02

1/200 @ A3 January '01 *www.ashwoodhomes.co.uk*



\* Detailed level detail note.  
 500mm concrete 150mm wide U-beds in concrete.  
 150mm x 300mm x 300mm concrete. The main channel.  
 150mm x 300mm x 300mm concrete. The main channel.  
 3m x 3m x 3m. Potentially 15m x 15m. 15m x 15m. 15m x 15m.  
 15m x 15m. 15m x 15m. 15m x 15m. 15m x 15m.  
 15m x 15m. 15m x 15m. 15m x 15m. 15m x 15m.  
 15m x 15m. 15m x 15m. 15m x 15m. 15m x 15m.  
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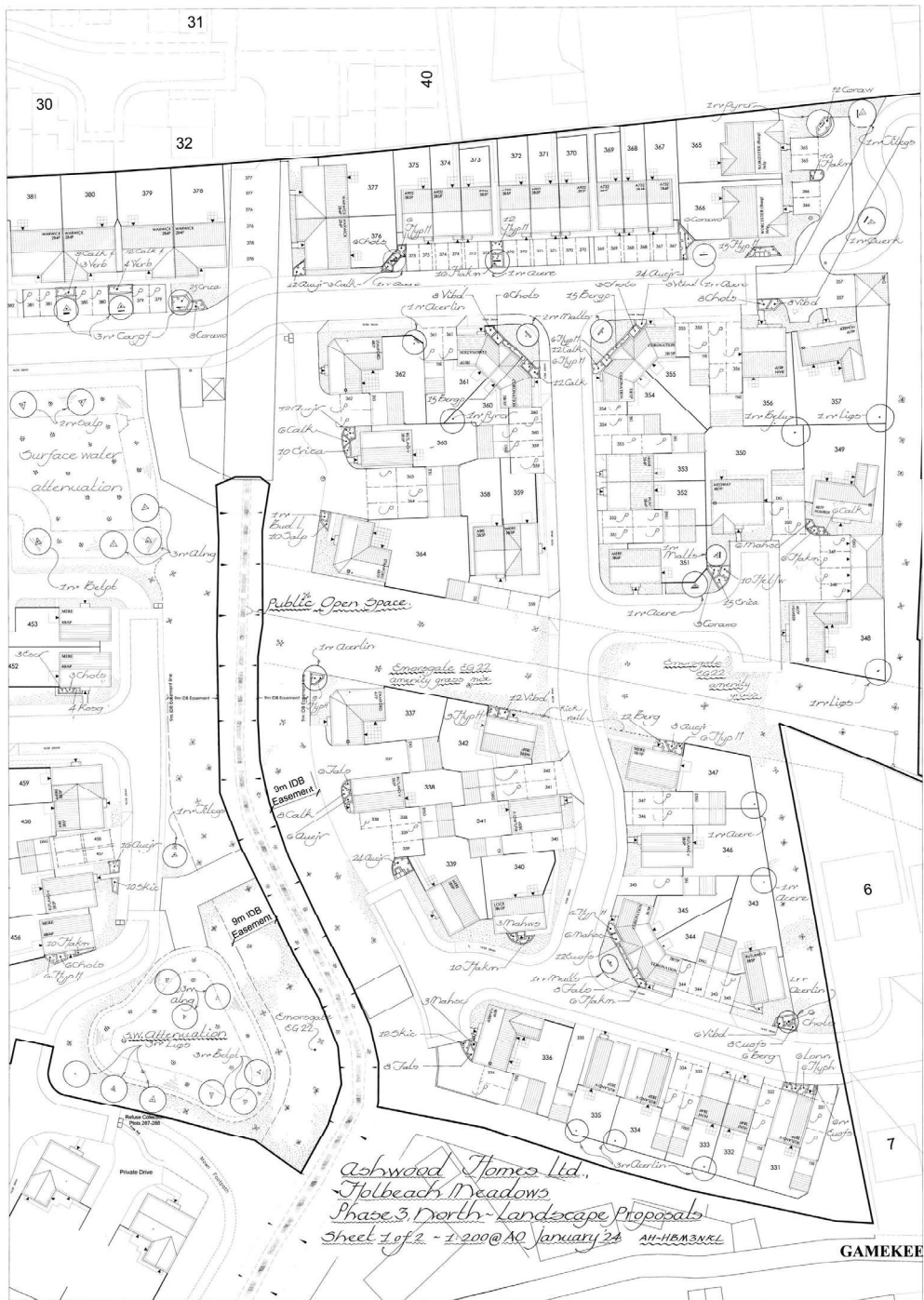


*Ashwood Homes Ltd*  
*Holbeach Meadows*  
*Phase 3 South*  
*Landscape Proposals*

*Sheet 2 of 2 1:200 @ A0*

*January 21 RH WEM 354*  
*Metro*





Ashwood Homes Ltd  
Tolbeach Meadows  
Phase 3 North Landscape Proposals  
Sheet 1 of 2 - 1:200 @ A0 January 24 AN-HBM/3/21

GAMEKEE



RESERVED MATTERS NORTH SITE

Plot Schedule table for NORTH SITE with columns Plot No and House Type. Includes legend for RENTED, SHARED OWNERSHIP, and FIRST HOMES.

Plot Schedule table for NORTH SITE with columns Plot No and House Type. Includes legend for RENTED, SHARED OWNERSHIP, and FIRST HOMES.

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Plot Schedule table for NORTH SITE with columns Plot No and House Type. Includes legend for RENTED, SHARED OWNERSHIP, and FIRST HOMES.

House Type Schedule - Open Market (RM North) table showing counts for various house types like A538, A732, etc.

House Type Schedule - Open Market (RM South) table showing counts for various house types like A538, A732, etc.

OVERALL HOUSE TYPE SCHEDULES

House Type Schedule - Rented table showing counts for A538, A575, A732, A902.

House Type Schedule - Shared Ownership table showing counts for A732 (DEE), WARWICK, A902 (AIRE).

House Type Schedule - First Homes table showing counts for A538 (GLEN), A732 (DEE), A902 (AIRE), WORCESTER.

House Type Schedule - Open Market (Overall) table showing totals for all house types.

House Type Schedule - Rented table showing counts for A538, A575, A732, WARWICK, A902, A1120.

House Type Schedule - Shared Ownership table showing counts for A732 (DEE), WARWICK, A902 (AIRE).

House Type Schedule - First Homes table showing counts for A538 (GLEN), A732 (DEE), A902 (AIRE), WORCESTER.

RESERVED MATTERS SOUTH SITE

Plot Schedule table for SOUTH SITE with columns Plot No and House Type. Includes legend for RENTED, SHARED OWNERSHIP, and FIRST HOMES.

Plot Schedule table for SOUTH SITE with columns Plot No and House Type. Includes legend for RENTED, SHARED OWNERSHIP, and FIRST HOMES.

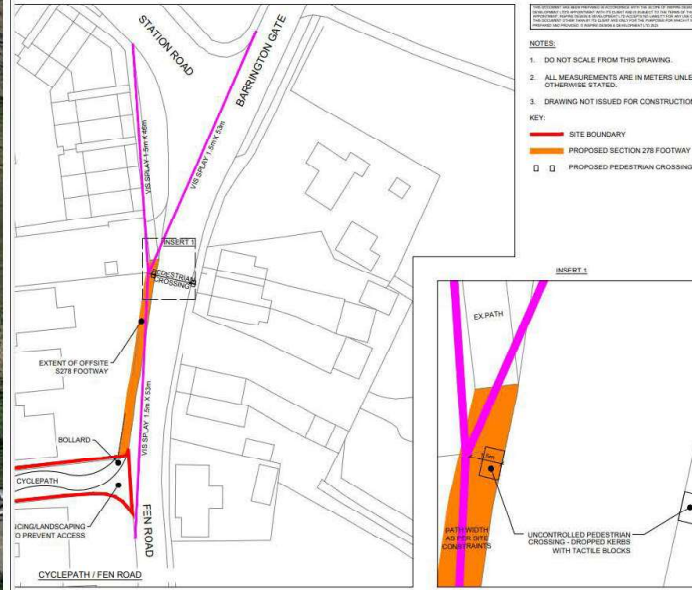
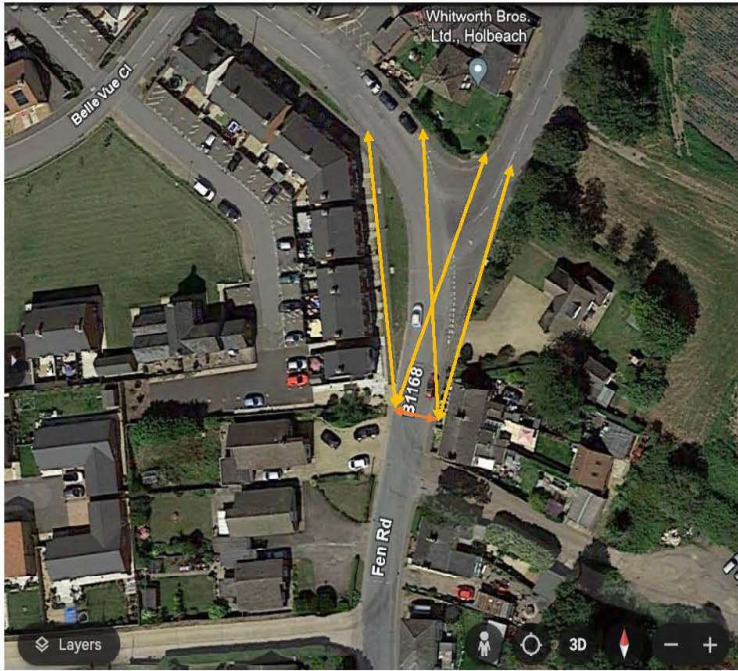
Plot Schedule table for SOUTH SITE with columns Plot No and House Type. Includes legend for RENTED, SHARED OWNERSHIP, and FIRST HOMES.

Plot Schedule table for SOUTH SITE with columns Plot No and House Type. Includes legend for RENTED, SHARED OWNERSHIP, and FIRST HOMES.

Revision table with columns Rev, Date, Description. Shows updates to latest size plans.



Project information box containing drawing title 'House Type Schedules Phase 3', scale NTSB/1, date NOVEMBER 2023, and drawing number 137-HS-10.











































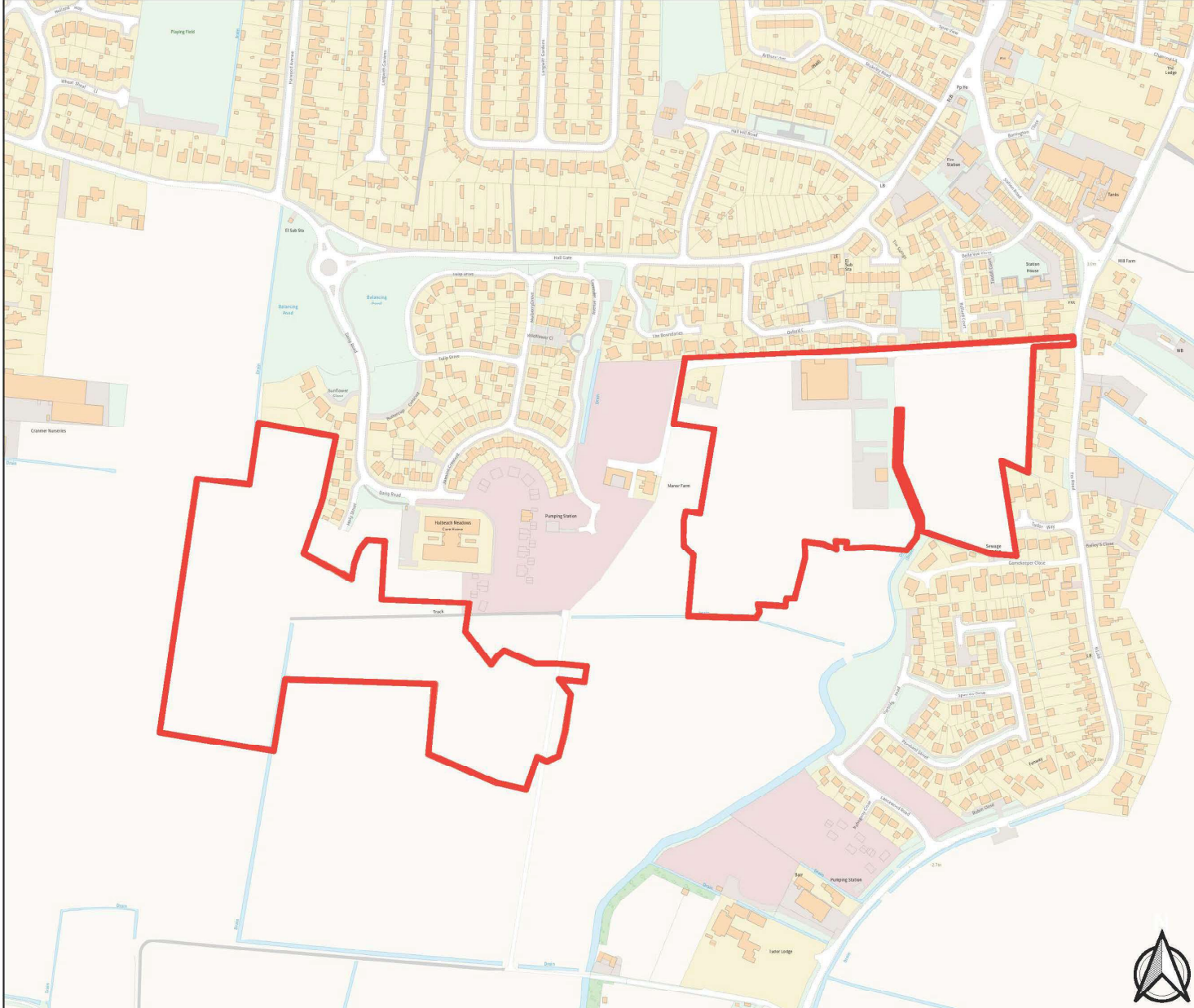








MapThat Scale Print Title

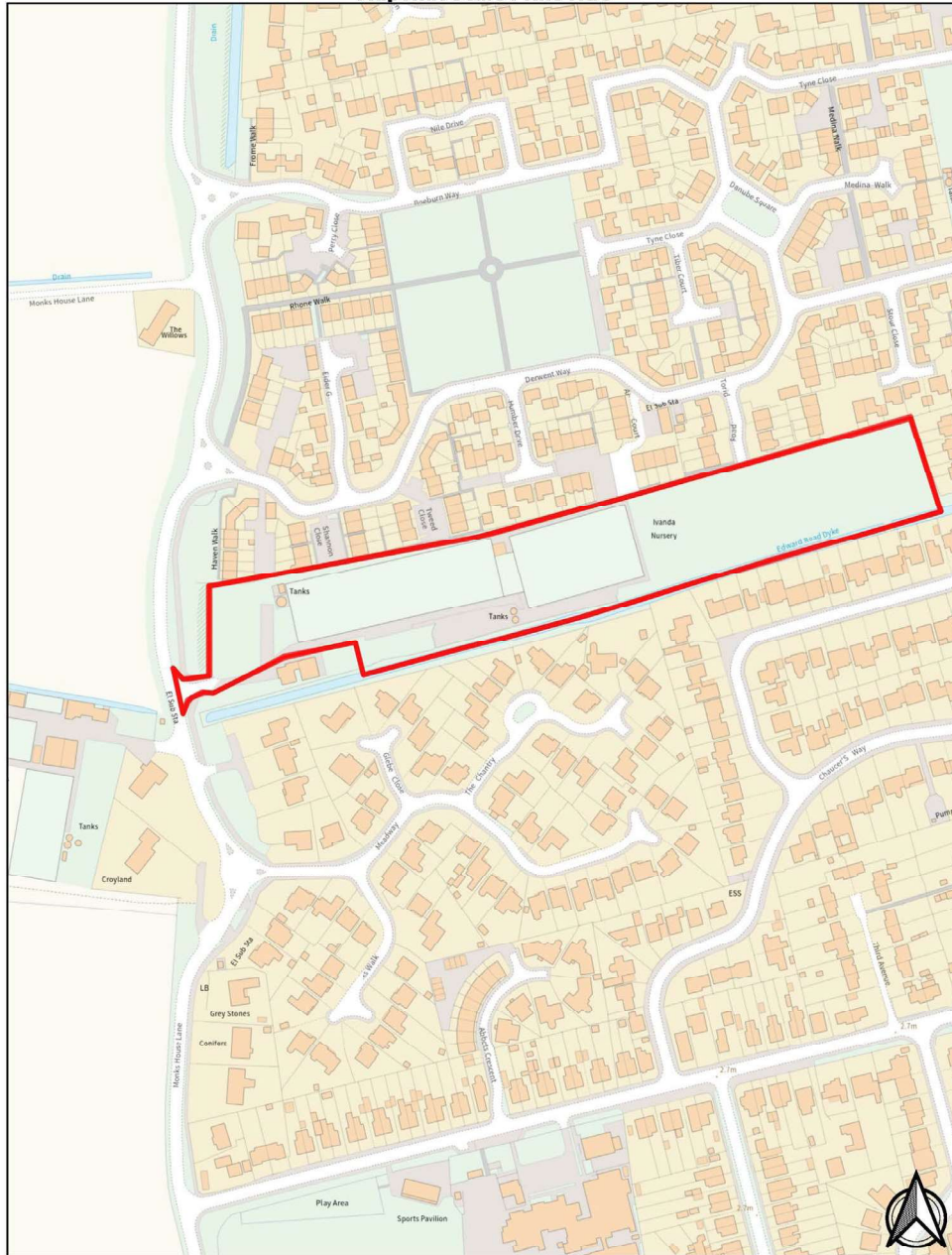


**MAP SCALE 1:** 5000  
**CREATED DATE:** 24/04/2024  
**PHOTOGRAPHIC COPY**  
**LIABLE TO DISTORTION**  
**IN SCALE**





MapThat Scale Print Title



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MAP SCALE 1:2500  
CREATED DATE: 01/02/2024  
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LIABLE TO DISTORTION  
IN SCALE





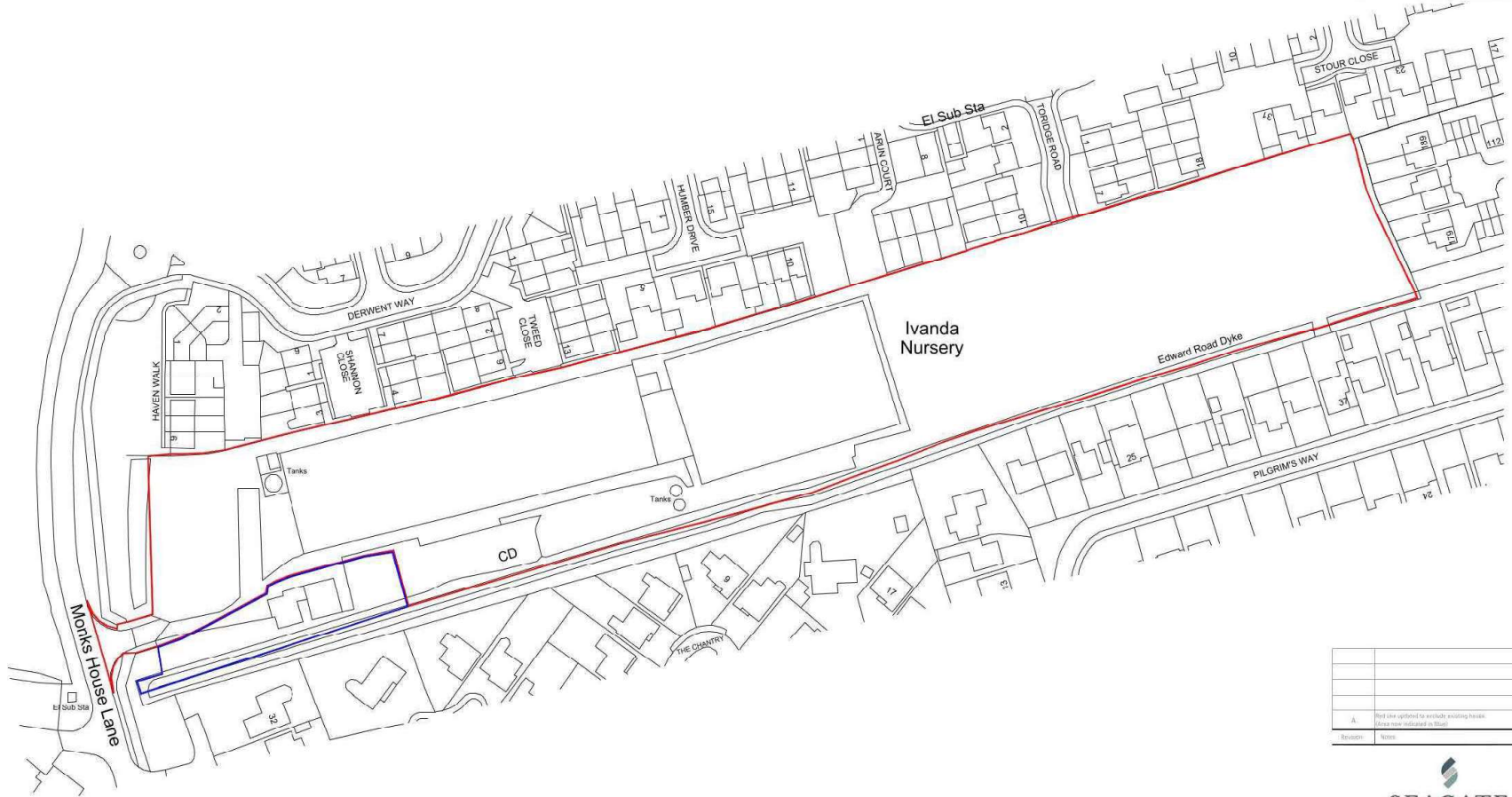
# MONKS HOUSE LANE, SPALDING

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Do not trade plans - use figures or give dimensions where given. Any deviation from the drawing is to be reported to the originator immediately.  
 # IN COLLET ASK



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A	Not the updated to exclude existing assets (see the attached in blue)	23.02.2023 (MD)
Revision:	Notes	Date



Project:  
**PROPOSED RESIDENTIAL DEVELOPMENT,  
 OFF MONKS HOUSE LANE, SPALDING, Lincs.**

Drawing:  
**LOCATION PLAN**

Drawn: MD Date: 20.09.2022

Status: PLANNING Scale: 1:1250 @ A3

Drawing Number:  
**MHL-SH-LP-LP-1000 A**

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 IF IN DOUBT ASK!



# MONKS HOUSE LANE, SPALDING

**LEGEND**

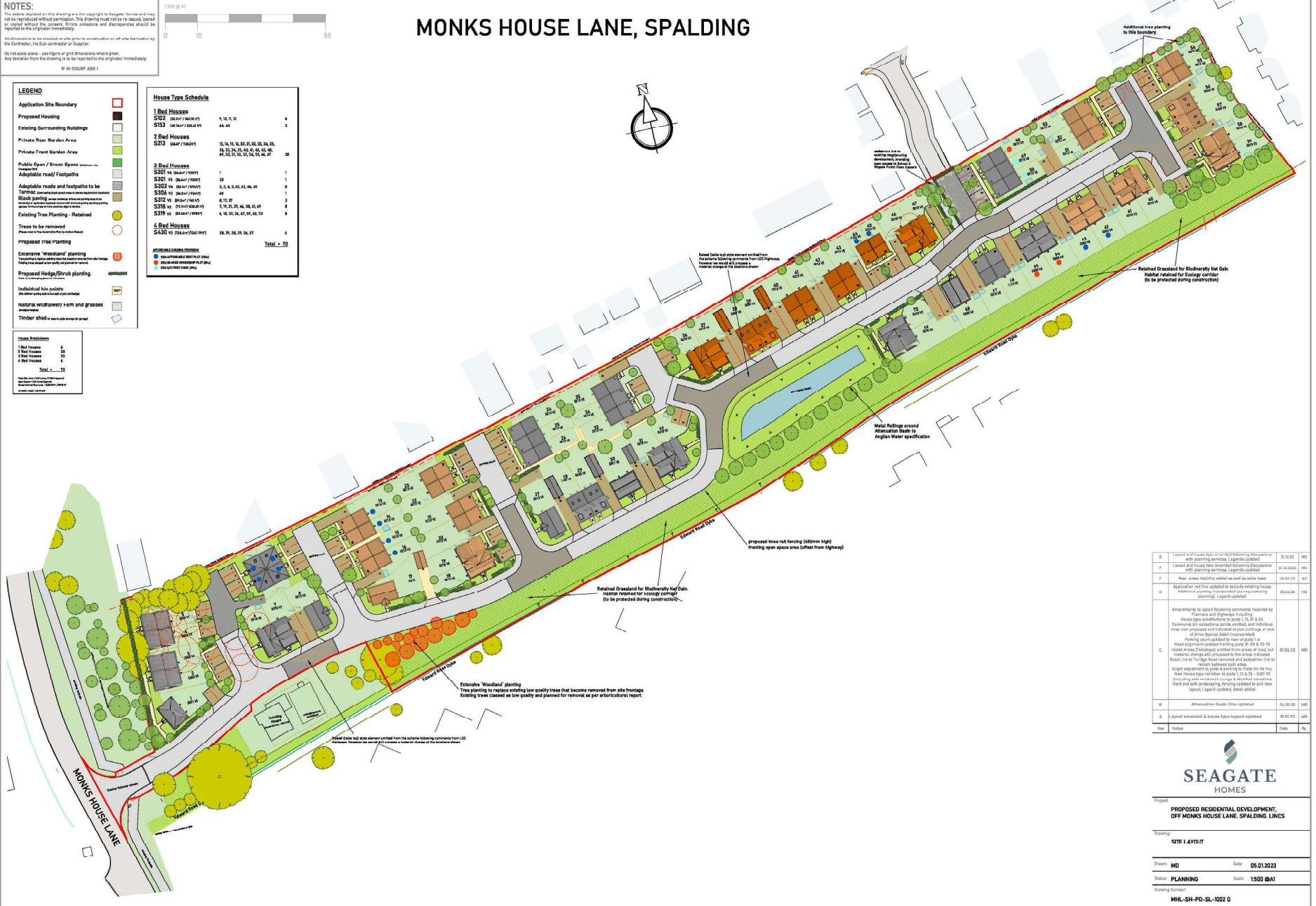
- Application Site Boundary
- Proposed Housing
- Existing Surrounding Buildings
- Private Rear Garden Area
- Private Front Garden Area
- Public Open / Green Space
- Adoptable road/ Footpaths
- Adoptable roads and footpaths to be T1/T10C
- Block paving
- Existing Tree Planting - Retained
- Trees to be removed
- Proposed Tree Planting
- Extensive 'Woodland' planting
- Proposed Hedge/Screen planting
- Individual bin units
- NATURAL VEGETATION - fern and grasses
- Timber shed

**House Type Schedule**

House Type	Count	Total
<b>1 Bed Houses</b>		
S102	4	4
S152	4	4
<b>2 Bed Houses</b>		
S213	20	20
<b>3 Bed Houses</b>		
S303	1	1
S301	1	1
S302	1	1
S305	1	1
S312	2	2
S318	4	4
S319	6	6
<b>4 Bed Houses</b>		
S430	4	4
<b>Total</b>	<b>70</b>	<b>70</b>

**House Schedule**

House Type	Count	Total
1 Bed Houses	8	8
2 Bed Houses	10	10
4 Bed Houses	4	4
<b>Total</b>	<b>22</b>	<b>22</b>



Item	Description	Date	By
D	Layout and House Type Schedule	21.11.23	MD
F	Layout and House Type Schedule	16.10.2024	MD
E	House Type Schedule	16.10.2024	MD
D	Application of Form related to Ecology and Biodiversity	20.12.2024	MD
C	Amendments to layout following comments received by Planning and Highways including: House type amendments to plots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70.	01.06.23	MD
B	Alternative House Type Schedule	04.01.2024	MD
A	Layout amended to house type layout	10.01.2024	MD
Rev	Notes	Issue	By



**SEAGATE HOMES**

Project: **PROPOSED RESIDENTIAL DEVELOPMENT, OFF MONKS HOUSE LANE, SPALDING, Lincs**

Drawing: **SITE LAYOUT**

Drawn: **MD** Date: **05.01.2023**

Scale: **PLANNING** Scale: **1:500 @A1**

Drawing Number: **MHL-SH-PD-SL-1002 G**

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 IF IN DOUBT ASK!

- Proposed City view**
- 1.8m Close-boarded Timber Fencing
  - 1.8m Facing Brick Wall
  - Hoop top black metal railings -
  - 0.45m Timber Knee Rail Fencing
  - 1.2m Timber post and rail fence
- LEGEND**
- Application Site Boundary
  - Proposed Housing
  - Existing Surrounding Buildings
  - Private Rear Garden Area
  - Private Front Garden Area
  - Public Open / Green Space
  - Adoptable road / Footpaths
  - Slab Footpaths
  - Private Driveways
  - Adoptable roads and footpaths to be
  - Terminals
  - BLOCK PAVING
  - Existing Tree Planting
  - Proposed Tree Planting
  - Extensive Woodland planting
  - Proposed Hedge
- Proposed City view**
- 1.8m Close-boarded Timber Fencing
  - 1.8m Facing Brick Wall
  - Hoop top black metal railings -
  - 0.45m Timber Knee Rail Fencing
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  - Private Rear Garden Area
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  - Slab Footpaths
  - Private Driveways
  - Adoptable roads and footpaths to be
  - Terminals
  - BLOCK PAVING
  - Existing Tree Planting
  - Proposed Tree Planting
  - Extensive Woodland planting
  - Proposed Hedge

# MONKS HOUSE LANE, SPALDING



TREES	REF	SPECIES	DEPTH	MAX HEIGHT
A1	Acacia (Blackthorn Street)	80-100mm	2m	
Ac	Alder (Campanula / Red Maple)	80-100mm	2m	
Ap	Apple (Potted / New)	80-100mm	2m	
As	Aspen (Potted / New)	80-100mm	2m	
Aw	Alder (Potted / New)	80-100mm	2m	
Ba	Birch (Potted / New)	80-100mm	2m	
Ca	Cherry (Potted / New)	80-100mm	2m	
Co	Cornus (Potted / New)	80-100mm	2m	
Cr	Crabapple (Potted / New)	80-100mm	2m	
Dk	Dark Mulch (DM)			
Na	Natural (Potted / New)			
Of	Off Site Land			
Tim	Timber			

NOTE: Where medium sized tree identified, tree supplier to confirm availability to reach 300mm dia within 30m before order. They will be supplied to suit the requirement otherwise.

REF	DETAILS	DATE	BY
X1	Details updated following housing layout changes	02.01.2024	WJK
A1	Additional trees proposed, retained ecological enhancement, added bark mulch & sandy bases.	08.12.23	WJK
C	Additional trees and planting incorporated as per planning request and amended BNG & Biodiversity net gain scheme.	08.09.23	AC
B	Hedgehog highway added, wider/longer access path proposed. Existing trees made larger, retained grassland area added on site lower reach.	15.05.23	ACT
A	New green building added as well as extra trees	15.05.23	ACT



## PROPOSED RESIDENTIAL DEVELOPMENT, OFF MONKS HOUSE LANE, SPALDING, Lincs

Drawn: **WJK** Date: **02.01.2024**

Scale: **PLANNING** Date: **1:200 @A1**

Drawing Number: **MHL-SH-LEWE-AR-1005 D**

**NOTES:**  
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 To not use space - use figure or grid dimensions where given. Any deviation from the drawing is to be reported to the originator immediately.  
 IF IN DOUBT ASK!

- Proposed GH via**
- 1.8m Close-boarded Timber Fencing
  - 1.8m Facing Brick Wall
  - Hoop top black metal railings - 2.0m
  - 0.45m Timber Knee Rail Fencing
  - 1.2m Timber post and rail fence
  - Bat Box (0.4m above ground, not above window)
  - Hedgehog Boxes (to be installed in line with the edge of the driveway)
  - Hedgehog Highway (to be installed in line with the edge of the driveway)
  - House Sparrow Box (on 2m above ground)
  - House Martin Box (to be installed in line with the edge of the driveway)
  - Swift Box (to be installed in line with the edge of the driveway)
  - Log Pile (to be installed in line with the edge of the driveway)
  - Sandy Bank (to be installed in line with the edge of the driveway)
  - Dark Mulch (50mm)
  - Natural willow/terram and grasses
  - Off Site Land (to be installed in line with the edge of the driveway)
  - Timber shed (to be installed in line with the edge of the driveway)

# MONKS HOUSE LANE, SPALDING



- LEGEND**
- Application Site Boundary
  - Proposed Housing
  - Existing Surrounding Buildings
  - Private Rear Garden Area
  - Private Front Garden Area
  - Public Open / Green Space
  - Adaptable road/ Footpaths
  - Slab Footpaths
  - Private Driveways
  - Adaptable roads and footpaths to be Tarmac
  - Black asphalt (to be installed in line with the edge of the driveway)
  - Existing Tree Planting
  - Proposed Tree Planting
  - Extensive 'Woodland' planting
  - Proposed Hedge



REF	SPECIES	HEIGHT	POF	SIZE	DENSITY
Ac	Alder (Betula pubescens)	10-15m	2m	3m	2/ha
As	Alder (Betula pubescens)	10-15m	2m	3m	2/ha
Fr	Fraxinus excelsior	10-15m	2m	3m	2/ha
Ma	Malva sylvestris	1.5-2m	2m	3m	2/ha
Me	Medicago lupulina	1.5-2m	2m	3m	2/ha
Sc	Scirpus cespitosus	1.5-2m	2m	3m	2/ha
Co	Corchus sativus	1.5-2m	2m	3m	2/ha
Tr	Trifolium pratense	1.5-2m	2m	3m	2/ha
So	Soberbia arvensis	1.5-2m	2m	3m	2/ha
St	Stachys arvensis	1.5-2m	2m	3m	2/ha
Di	Diarrhena sp.	1.5-2m	2m	3m	2/ha
Ch	Chenopodium sp.	1.5-2m	2m	3m	2/ha
Ca	Calluna vulgaris	1.5-2m	2m	3m	2/ha
Co	Corchus sativus	1.5-2m	2m	3m	2/ha
St	Stachys arvensis	1.5-2m	2m	3m	2/ha
Di	Diarrhena sp.	1.5-2m	2m	3m	2/ha
Ch	Chenopodium sp.	1.5-2m	2m	3m	2/ha
Ca	Calluna vulgaris	1.5-2m	2m	3m	2/ha

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Ma	Malva sylvestris	1.5-2m	2m	3m	2/ha
Me	Medicago lupulina	1.5-2m	2m	3m	2/ha
Sc	Scirpus cespitosus	1.5-2m	2m	3m	2/ha
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Sc	Scirpus cespitosus	1.5-2m	2m	3m	2/ha
Co	Corchus sativus	1.5-2m	2m	3m	2/ha
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REF	SPECIES	HEIGHT	POF	SIZE	DENSITY
Ac	Alder (Betula pubescens)	10-15m	2m	3m	2/ha
As	Alder (Betula pubescens)	10-15m	2m	3m	2/ha
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Ma	Malva sylvestris	1.5-2m	2m	3m	2/ha
Me	Medicago lupulina	1.5-2m	2m	3m	2/ha
Sc	Scirpus cespitosus	1.5-2m	2m	3m	2/ha
Co	Corchus sativus	1.5-2m	2m	3m	2/ha
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St	Stachys arvensis	1.5-2m	2m	3m	2/ha
Di	Diarrhena sp.	1.5-2m	2m	3m	2/ha
Ch	Chenopodium sp.	1.5-2m	2m	3m	2/ha
Ca	Calluna vulgaris	1.5-2m	2m	3m	2/ha



PROPOSED RESIDENTIAL DEVELOPMENT,  
 OFF MONKS HOUSE LANE, SPALDING Lincs

Project: Landscaping, External Works and Ecological Layout  
 2/3

Drawn: WK Date: 02.01.2024

Status: PLANNING Scale: 1:200 BAI

Drawing Number: MHL-SH-LEWE-AR-1006 D

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- LEGEND**
- Application Site Boundary
  - Proposed Housing
  - Existing Surrounding Buildings
  - Private Rear Garden Area
  - Private Front Garden Area
  - Public Open / Green Space
  - Adaptable road / footpaths
  - Site footpaths
  - Private Driveways
  - Adaptable roads and footpaths to be Tarmac
  - Block paving
  - Existing Tree Planting
  - Proposed Tree Planting
  - Extensive 'Woodland' planting
  - Proposed Hedge

- Proposed Shrub**
- 1.8m Close-boarded Timber Fencing
  - 1.8m Facing Brick Wall
  - Hoop top black metal railings - 2x10mm
  - 0.45m Timber Knee Rail Fencing
  - 1.2m Timber post and rail fence
  - Bat Box (2m x 10cm x 10cm, not shown without the bat house, see the plan of ecological enhancement scheme 10)
  - Hedgehog Box (see details in consultation with the scheme of ecological enhancement scheme 10)
  - Hedgehog highway (see details in consultation with the scheme of ecological enhancement scheme 10)
  - House Sparrow Box (see details in consultation with the scheme of ecological enhancement scheme 10)
  - House Martin Box (see details in consultation with the scheme of ecological enhancement scheme 10)
  - Swift Box (see details in consultation with the scheme of ecological enhancement scheme 10)
  - Long Pole (see details in consultation with the scheme of ecological enhancement scheme 10)
  - Sandy Bank (see details in consultation with the scheme of ecological enhancement scheme 10)
  - Bark Mulch (BM)
  - Natural wildflower / Fern and grasses (see details in consultation with the scheme of ecological enhancement scheme 10)
  - Off Site Land (see details in consultation with the scheme of ecological enhancement scheme 10)
  - Timber shed (see details in consultation with the scheme of ecological enhancement scheme 10)

# MONKS HOUSE LANE, SPALDING



REF	SPECIES	QTY	HT	DIAM
TR01	Acacia (Silver Wattle)	100	2m	50mm
TR02	Acacia (Corymbosa / Field Maple)	100	2m	50mm
TR03	Betula (Silver Birch)	100	2m	50mm
TR04	Malva (Flowering Cherry)	100	2m	50mm
TR05	Malva (Rudolph)	100	2m	50mm
TR06	Salix (Salix caprea / Willow)	100	2m	50mm
TR07	Salix (Salix purpurea / Willow)	100	2m	50mm
TR08	Salix (Salix viminalis / Willow)	100	2m	50mm
TR09	Salix (Salix elaeagnifolia / Willow)	100	2m	50mm
TR10	Salix (Salix purpurea / Willow)	100	2m	50mm
TR11	Salix (Salix purpurea / Willow)	100	2m	50mm
TR12	Salix (Salix purpurea / Willow)	100	2m	50mm
TR13	Salix (Salix purpurea / Willow)	100	2m	50mm
TR14	Salix (Salix purpurea / Willow)	100	2m	50mm
TR15	Salix (Salix purpurea / Willow)	100	2m	50mm
TR16	Salix (Salix purpurea / Willow)	100	2m	50mm
TR17	Salix (Salix purpurea / Willow)	100	2m	50mm
TR18	Salix (Salix purpurea / Willow)	100	2m	50mm
TR19	Salix (Salix purpurea / Willow)	100	2m	50mm
TR20	Salix (Salix purpurea / Willow)	100	2m	50mm
TR21	Salix (Salix purpurea / Willow)	100	2m	50mm
TR22	Salix (Salix purpurea / Willow)	100	2m	50mm
TR23	Salix (Salix purpurea / Willow)	100	2m	50mm
TR24	Salix (Salix purpurea / Willow)	100	2m	50mm
TR25	Salix (Salix purpurea / Willow)	100	2m	50mm
TR26	Salix (Salix purpurea / Willow)	100	2m	50mm
TR27	Salix (Salix purpurea / Willow)	100	2m	50mm
TR28	Salix (Salix purpurea / Willow)	100	2m	50mm
TR29	Salix (Salix purpurea / Willow)	100	2m	50mm
TR30	Salix (Salix purpurea / Willow)	100	2m	50mm
TR31	Salix (Salix purpurea / Willow)	100	2m	50mm
TR32	Salix (Salix purpurea / Willow)	100	2m	50mm
TR33	Salix (Salix purpurea / Willow)	100	2m	50mm
TR34	Salix (Salix purpurea / Willow)	100	2m	50mm
TR35	Salix (Salix purpurea / Willow)	100	2m	50mm
TR36	Salix (Salix purpurea / Willow)	100	2m	50mm
TR37	Salix (Salix purpurea / Willow)	100	2m	50mm
TR38	Salix (Salix purpurea / Willow)	100	2m	50mm
TR39	Salix (Salix purpurea / Willow)	100	2m	50mm
TR40	Salix (Salix purpurea / Willow)	100	2m	50mm
TR41	Salix (Salix purpurea / Willow)	100	2m	50mm
TR42	Salix (Salix purpurea / Willow)	100	2m	50mm
TR43	Salix (Salix purpurea / Willow)	100	2m	50mm
TR44	Salix (Salix purpurea / Willow)	100	2m	50mm
TR45	Salix (Salix purpurea / Willow)	100	2m	50mm
TR46	Salix (Salix purpurea / Willow)	100	2m	50mm
TR47	Salix (Salix purpurea / Willow)	100	2m	50mm
TR48	Salix (Salix purpurea / Willow)	100	2m	50mm
TR49	Salix (Salix purpurea / Willow)	100	2m	50mm
TR50	Salix (Salix purpurea / Willow)	100	2m	50mm

REF	SPECIES	HEIGHT	POST SIZE	DENSITY
SH01	Berberis (Thunbergii / Barberry)	150-300mm	3L	SHD
SH02	Yucca (Yucca filamentosa)	300-400mm	3L	4x12
SH03	Malva (Malva sylvestris)	100-200mm	3L	SHD
SH04	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH05	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH06	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH07	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH08	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH09	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH10	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH11	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH12	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH13	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH14	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH15	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH16	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH17	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH18	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH19	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH20	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH21	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH22	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH23	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH24	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH25	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH26	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH27	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH28	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH29	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH30	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH31	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH32	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH33	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH34	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH35	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH36	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH37	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH38	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH39	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH40	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH41	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH42	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH43	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH44	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH45	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH46	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH47	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH48	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH49	Yucca (Yucca filamentosa)	300-400mm	3L	SHD
SH50	Yucca (Yucca filamentosa)	300-400mm	3L	SHD

REF	SPECIES	HEIGHT	POST SIZE	DENSITY
H01	Carpeinus (Hornbeam Hedging)	0.4-0.6m	2L	4x10x4
H02	Prunus (Prunus spinosa / Blackthorn)	0.8-1m	2L	SHD

REV	DATE	BY
D	02.01.24	WK
C	08.12.23	WK
B	08.09.23	AC
A	15.03.23	AC

**SEAGATE HOMES**

PROPOSED RESIDENTIAL DEVELOPMENT,  
OFF MONKS HOUSE LANE, SPALDING, LINGS

Drawing: Landscaping, External Works and Ecological Layout 3/3

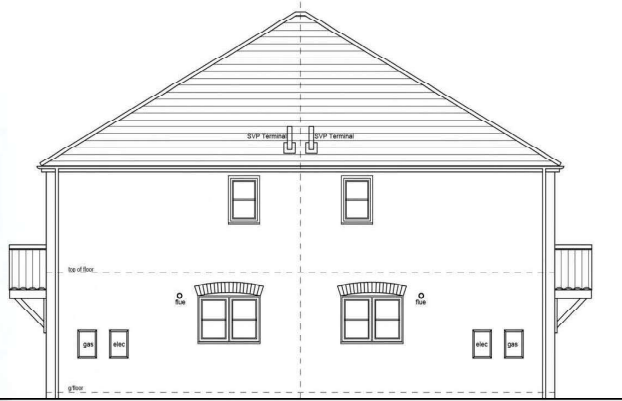
Drawn: WK Date: 02.01.2024

Scale: 1:200 @A1

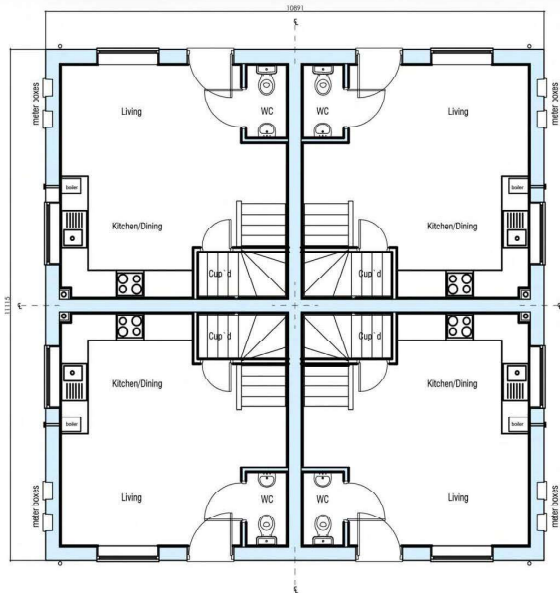
Drawing Number: MHL-SH-LW-AR-1007 D



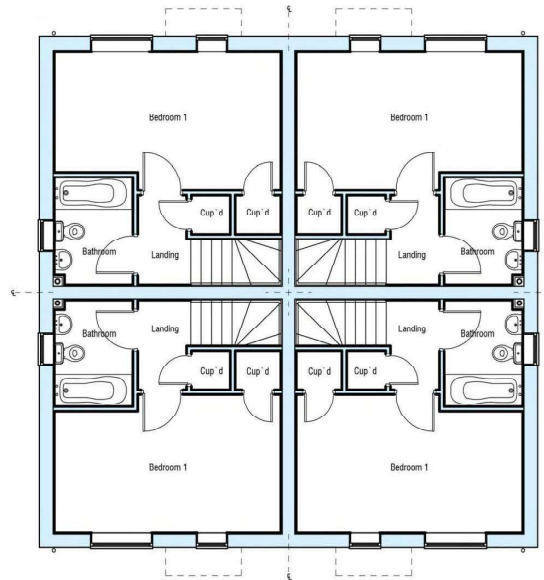
Front & Rear Elevations



Side Elevations



Ground Floor Plan



First Floor Plan

# Type S102

## Floor Plans & Elevations

S102 - 01 A - Plans & Elevations

1:100 @A3

April 2022

MD

Rev A - Minor amends to elevations 28.6.22



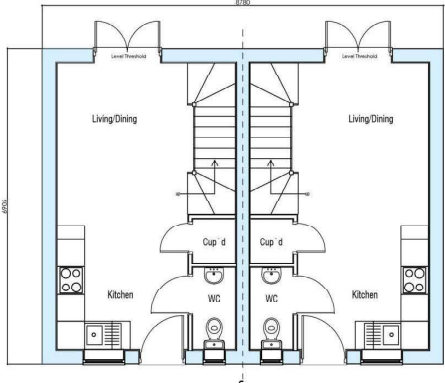


Front Elevation

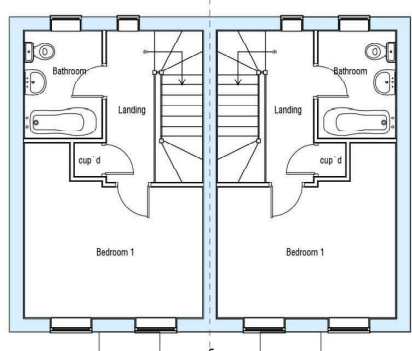
Right Side Elevation

Rear Elevation

Left Side Elevation



Ground Floor Plan



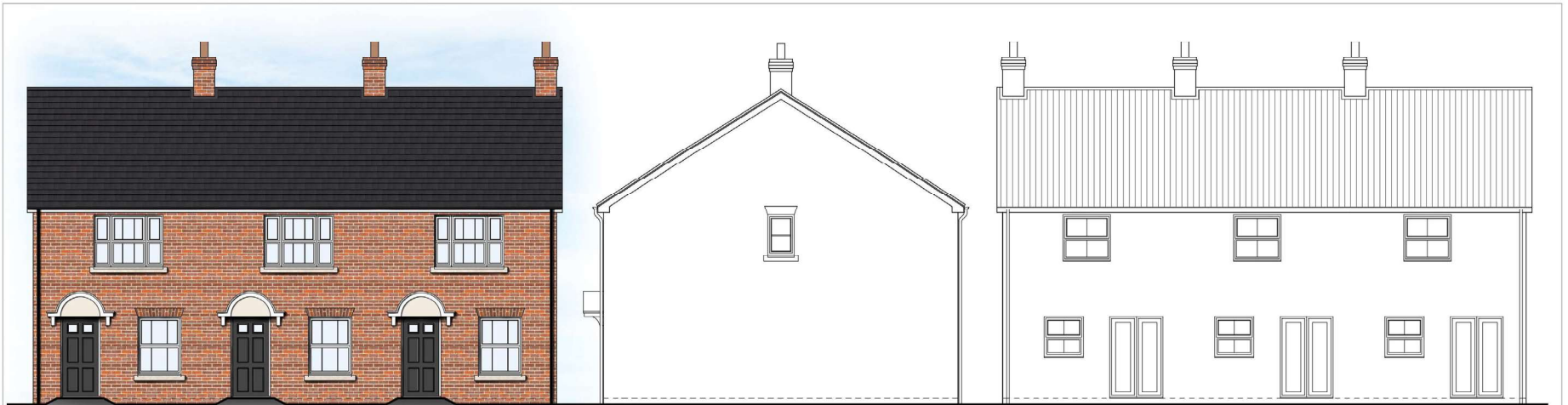
First Floor Plan

# House Type S153 V2 (Semi Detached)

## Floor Plans & Elevations

S153 V2 - 02 - Plans & Elevations 1:100 @A3 Dec 2023 MD





Front Elevation

Right Side Elevation

Rear Elevation

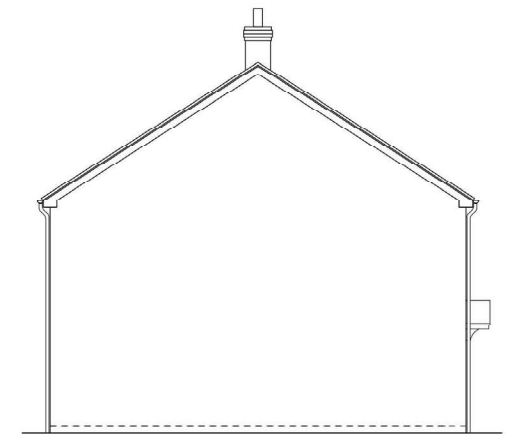


Ground Floor Plan

Total Floor Area - 69.94 m<sup>2</sup> / 752.84 ft<sup>2</sup>



First Floor Plan



Left Side Elevation

# House Type S213 V3 (Terrace)

## Floor Plans & Elevations

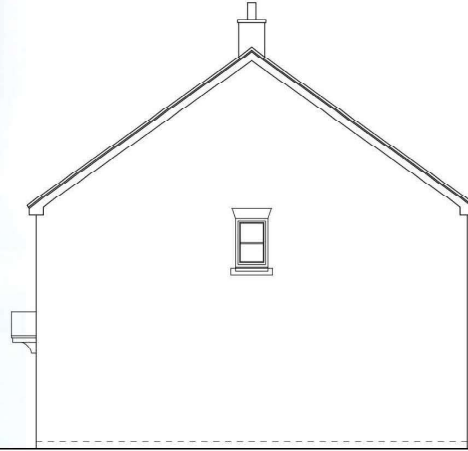
S213V3- 01 - Plans & Elevations (Terrace Version) 1:100 @A3 November 2023 APS







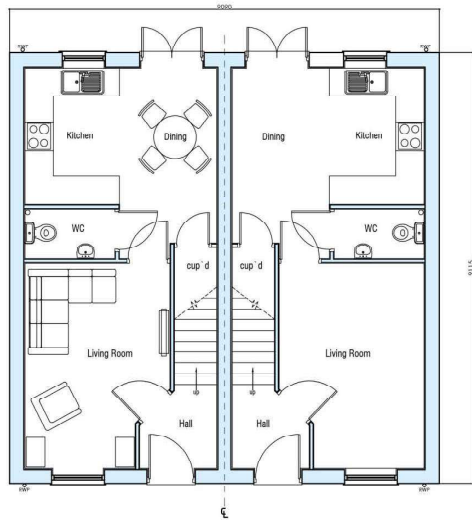
Front Elevation



Right Side Elevation

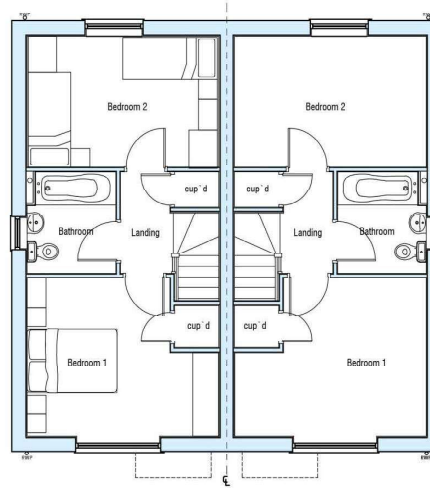


Rear Elevation

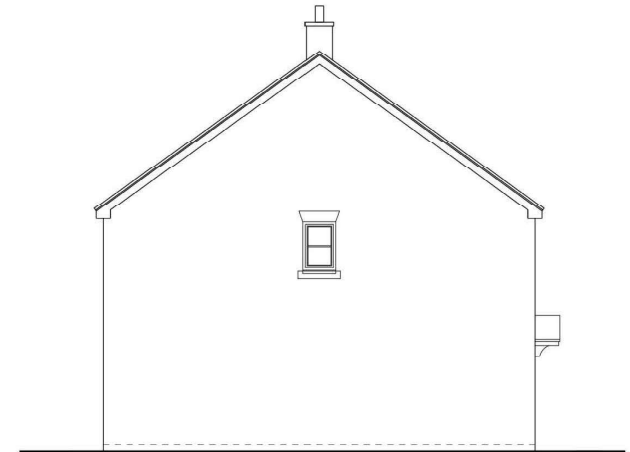


Ground Floor Plan

Total Floor Area - 69.94 m<sup>2</sup> / 752.84 ft<sup>2</sup>



First Floor Plan



Left Side Elevation

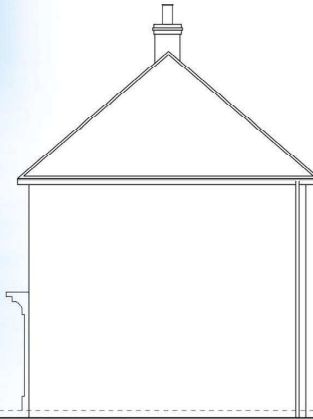
# House Type S213 V3

## Floor Plans & Elevations

S213V3- 01 - Plans & Elevations 1:100 @A3 October 2023 MD



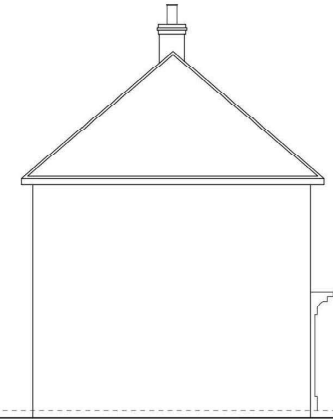
Front Elevation



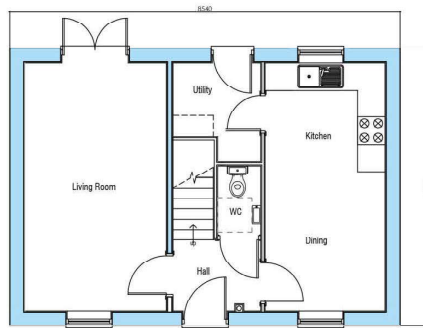
Side Elevation



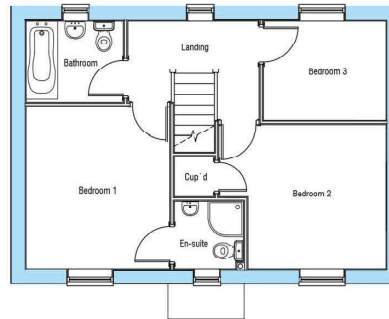
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

# House Type - S301 V4

## Floor Plans & Elevations

HT - S301 V4 - Plans & Elevations 1:100 @A3 November 2023 MD





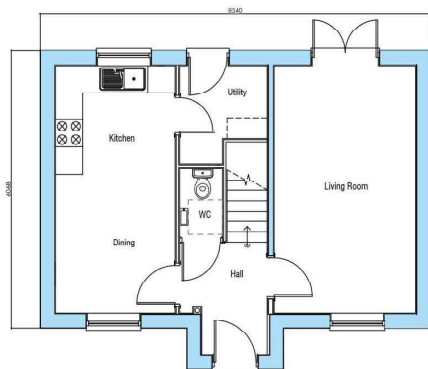
Front Elevation



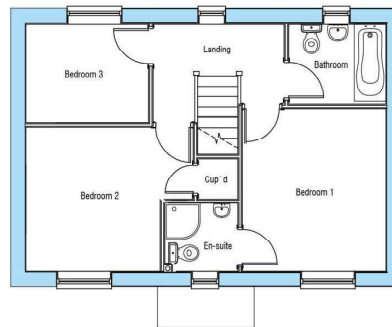
Side Elevation



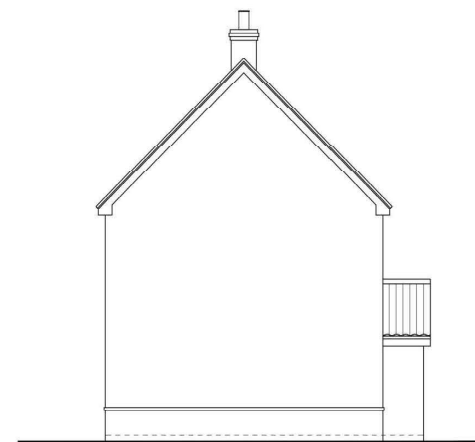
Rear Elevation



Ground Floor Plan



First Floor Plan



Side Elevation

# House Type - S301 V5

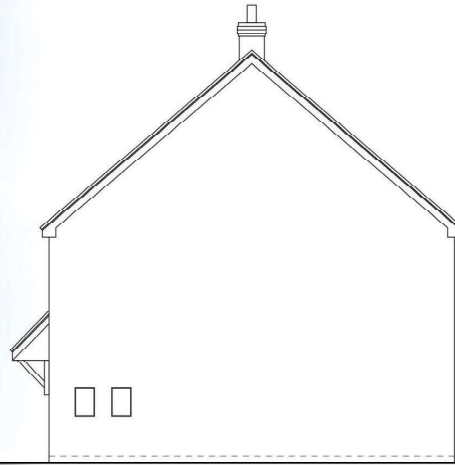
## Floor Plans & Elevations

HT - S301 V5 - Plans & Elevations 1:100 @A3 November 2023 MD

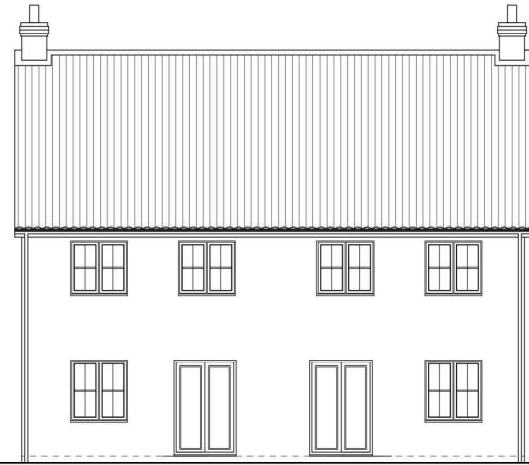




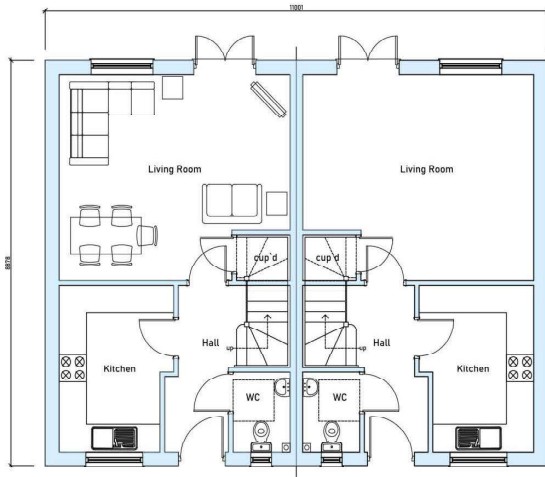
Front Elevation



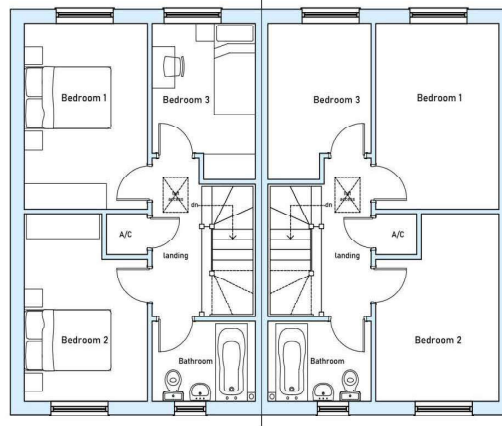
Side Elevation



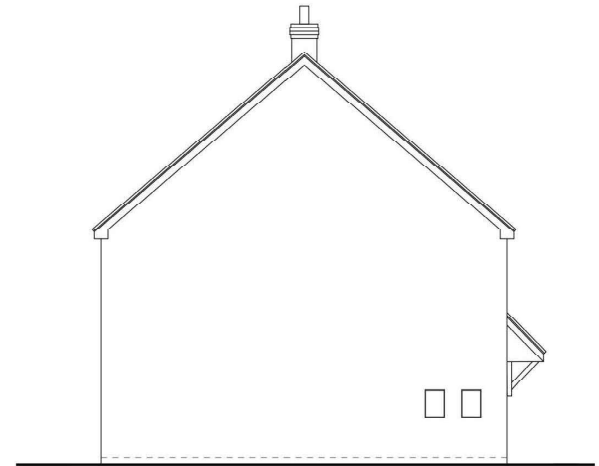
Rear Elevation



Ground floor plan  
(83.71m<sup>2</sup> / 901.08m<sup>2</sup>)



First floor plan



Side Elevation

# House Type - S303V4

## Floor Plans & Elevations

S303V4 - 01 - Plans & Elevations 1:100 @A3 November 2023 MD





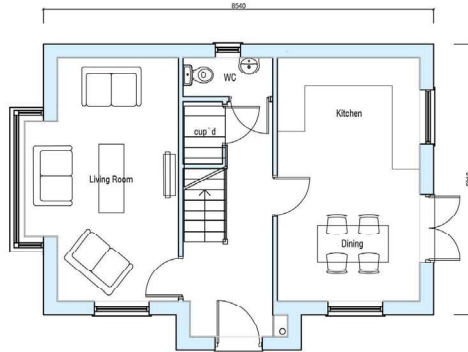
Front Elevation



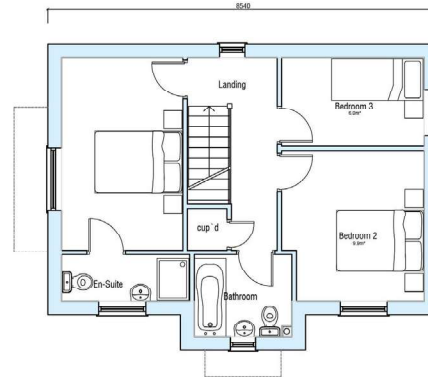
Front /Side Elevation



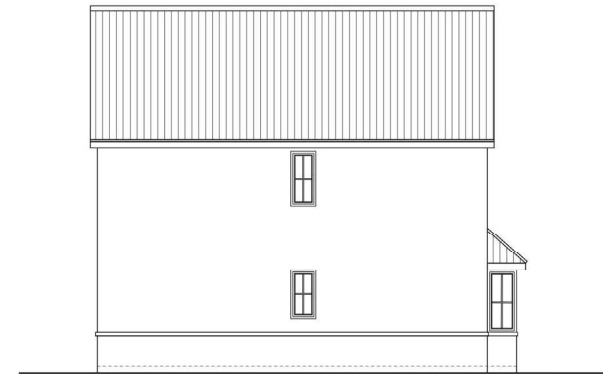
Rear Elevation



Ground Floor Plan  
Total Floor Area - 89.34m<sup>2</sup> / 961.65ft<sup>2</sup>



First Floor Plan



Side Elevation

# House Type - S312 V2

## Floor Plans & Elevations

HT - S312 V2 - 01 - Plans & Elevations 1:100 @A3 Nov 2023 MD





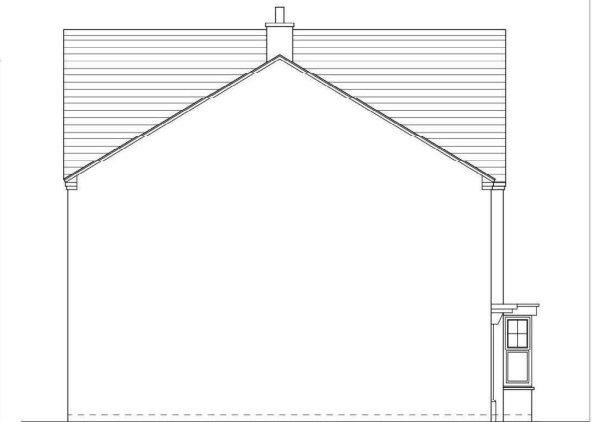
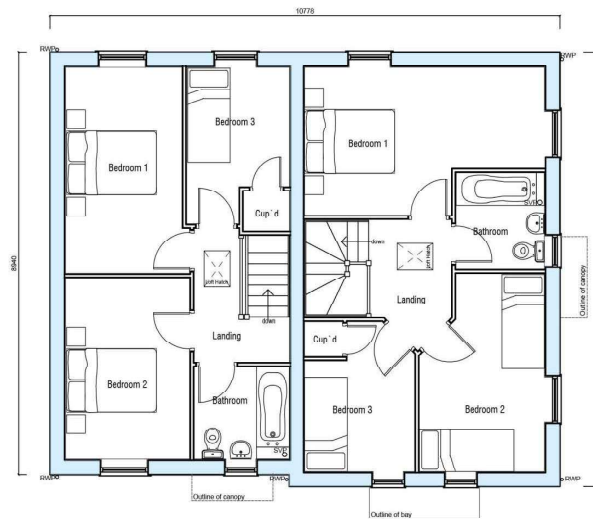
Front Elevation



Side/Front Elevation



Rear Elevation



Side Elevation

# House Type S318V2 & S319V2

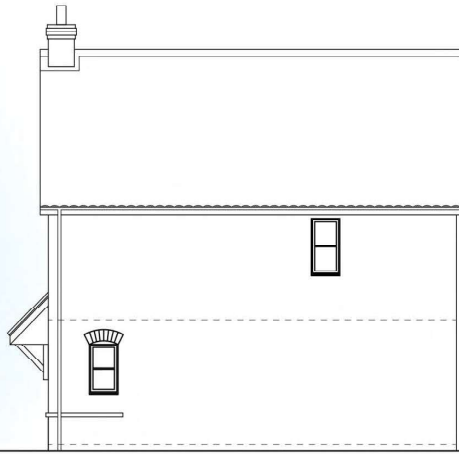
## Floor Plans & Elevations

S318V2 & S319V2 - 02 - Plans & Elevations 1:100 @A3 October 2023 MD





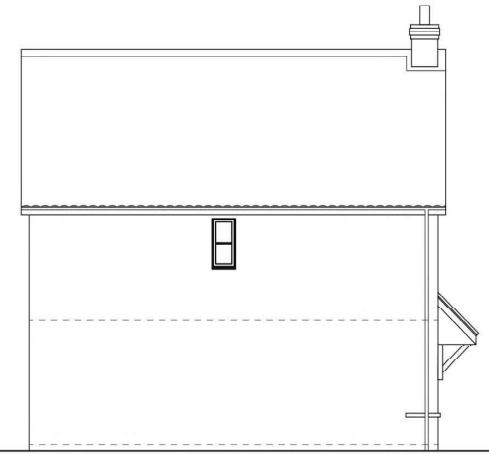
Front Elevation



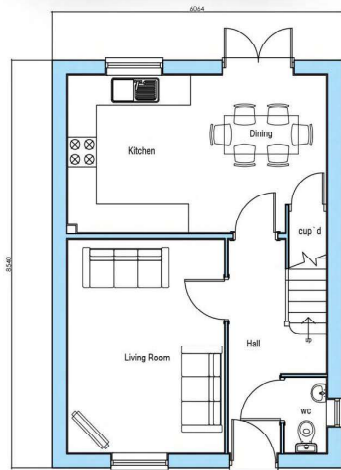
Side Elevation



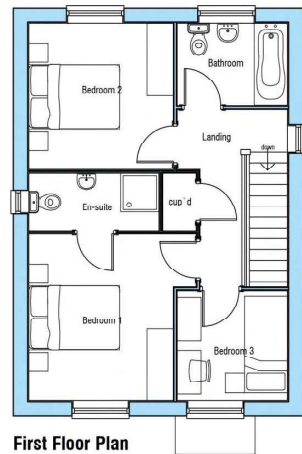
Rear Elevation



Side Elevation



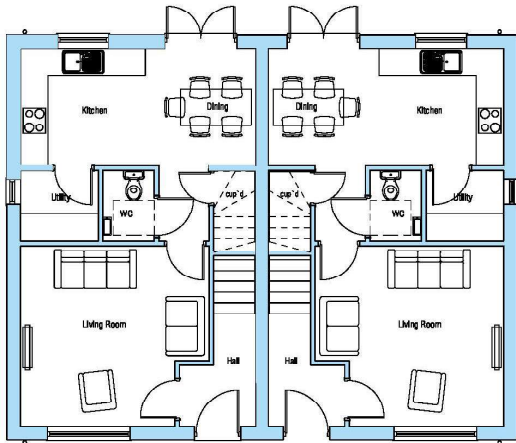
Ground Floor Plan



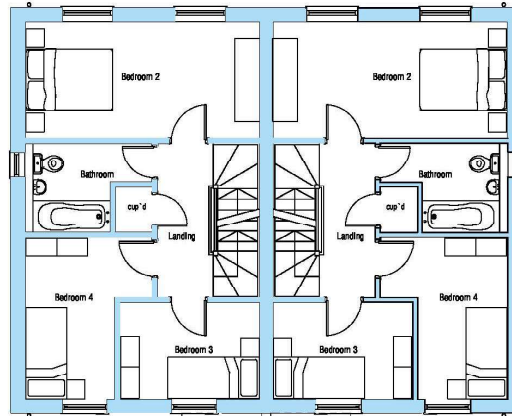
First Floor Plan

# House Type - S306 V3

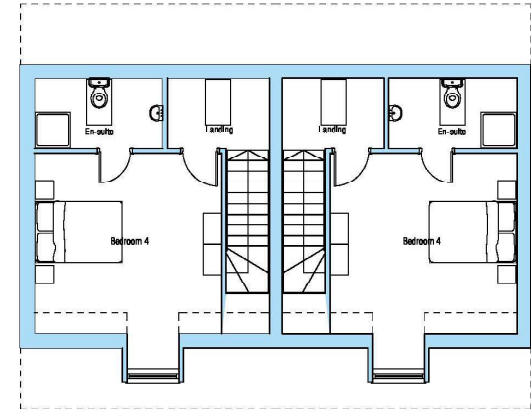
## Floor Plans & Elevations



Ground Floor Plan



First Floor Plan



Second Floor Plan

# House Type - S430 V3

## Floor Plans

HT - S430 V3 - 01 - Floor Plans 1:100 @A3 Nov 2023 MD







Front Elevation

Right Side Elevation



Rear Elevation

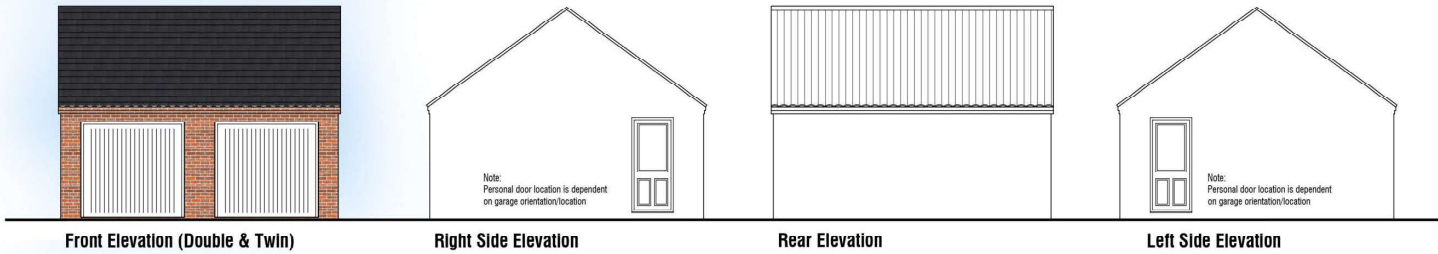
Left Side Elevation

# House Type - S430 V3

## Elevations

HT - S430 V3 - 02 - Elevations 1:100 @A3 Nov 2023 MD



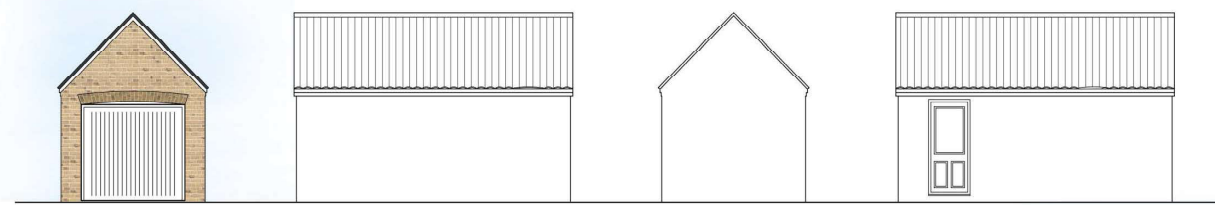


Front Elevation (Double & Twin)

Right Side Elevation

Rear Elevation

Left Side Elevation

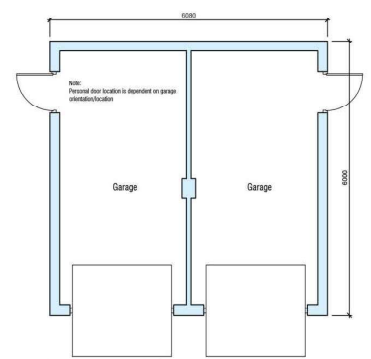


Front Elevation (Single)

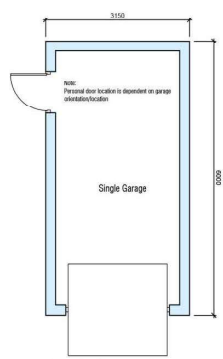
Right Side Elevation

Rear Elevation

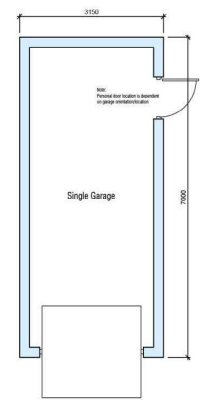
Left Side Elevation



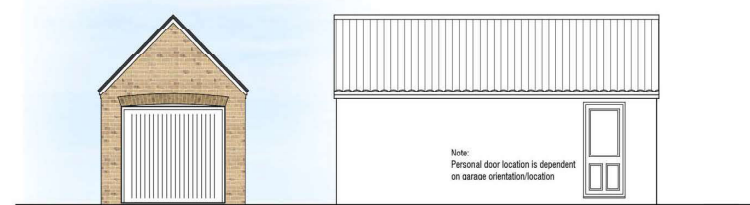
Twin Garage Plan



Single Garage Plan

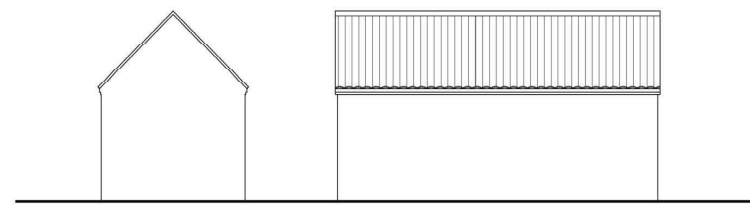


Single Garage Plan  
(accessible garage)



Front Elevation (Single)

Right Side Elevation



Rear Elevation

Left Side Elevation

# Garage Drawings

## Floor Plans & Elevations

Garages - 01 A - Plans & Elevations 1:100 @A3 Dec 2023 MD

Rev A - Accessible garage design added 21.12.23 MD



















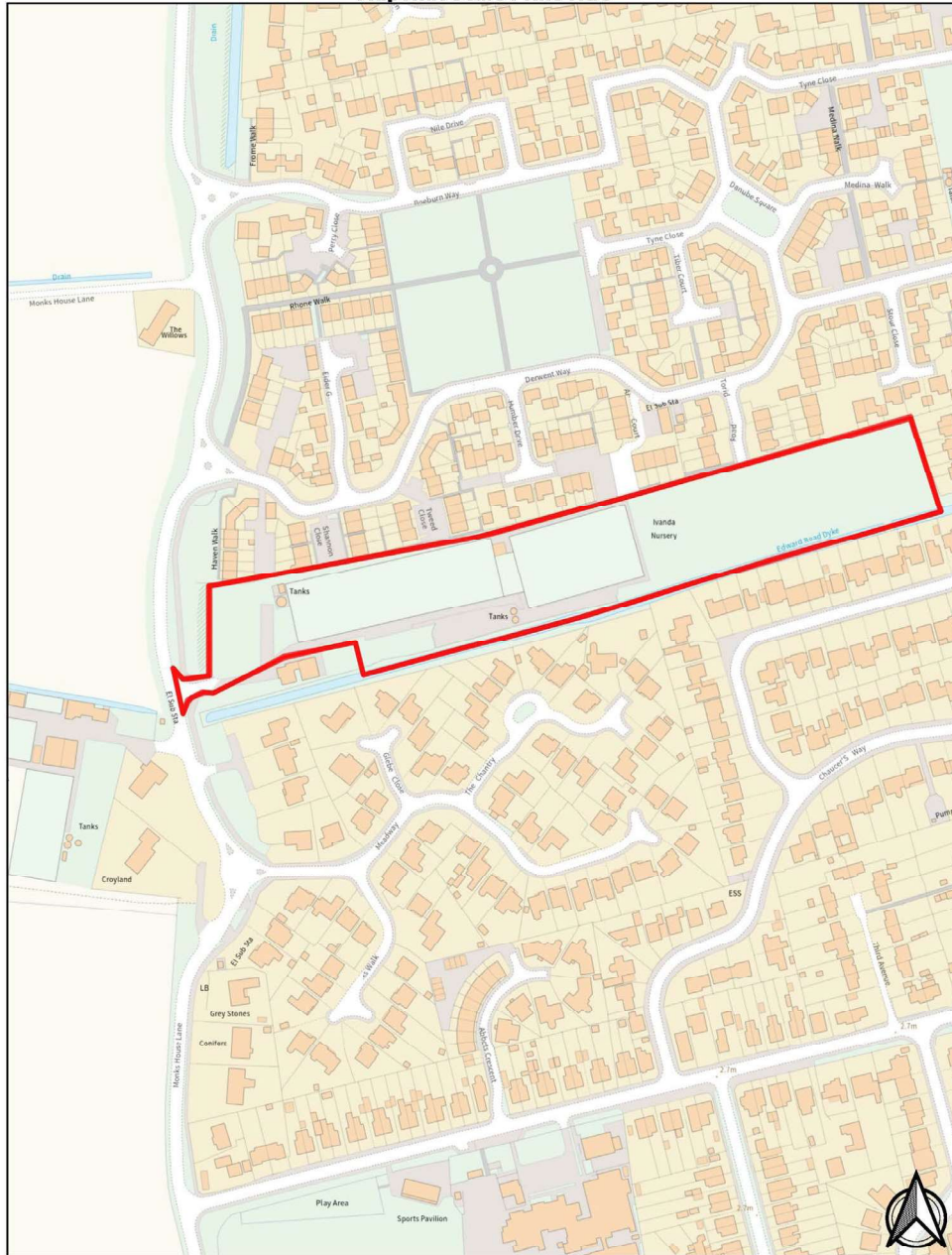








MapThat Scale Print Title



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**IN SCALE**

