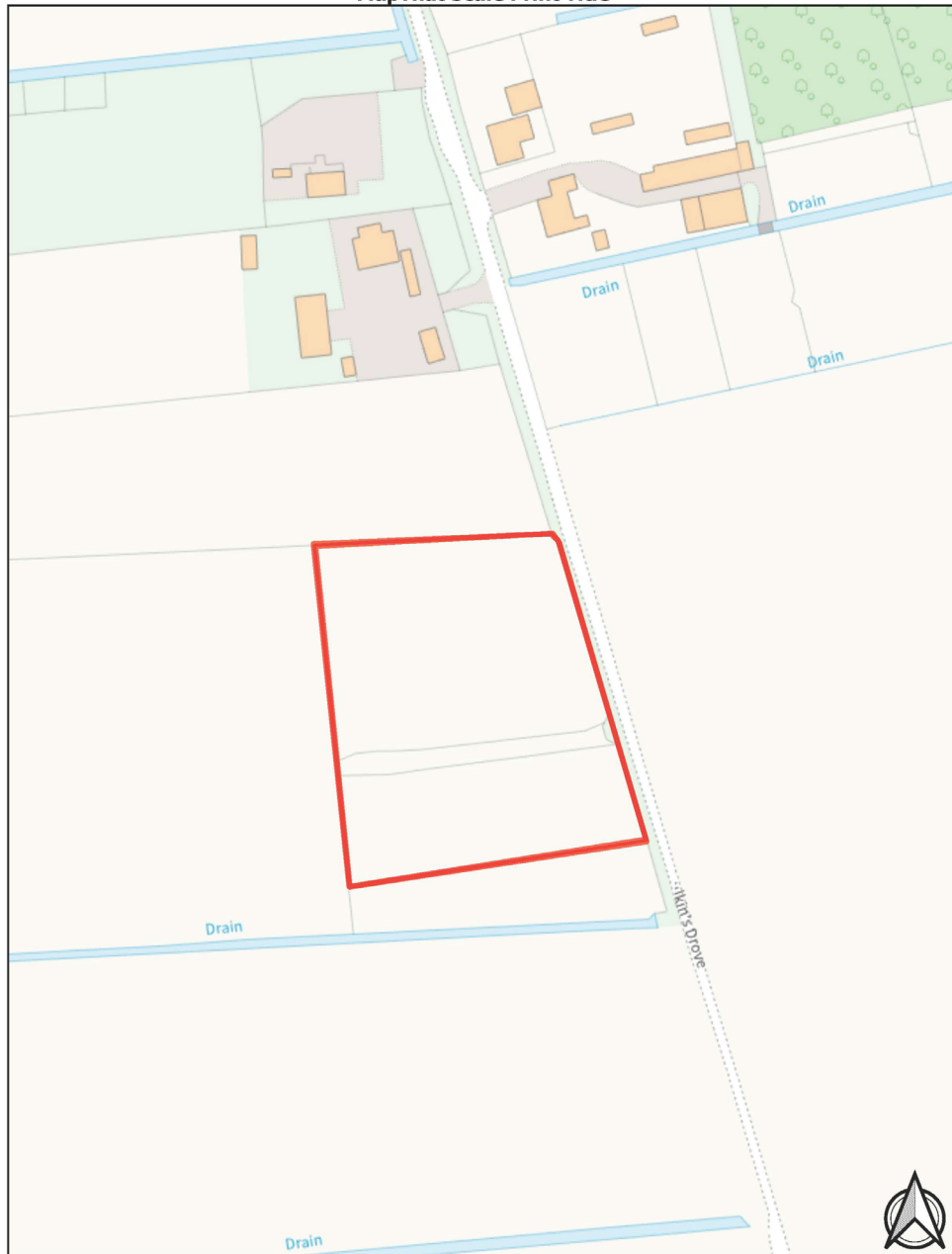
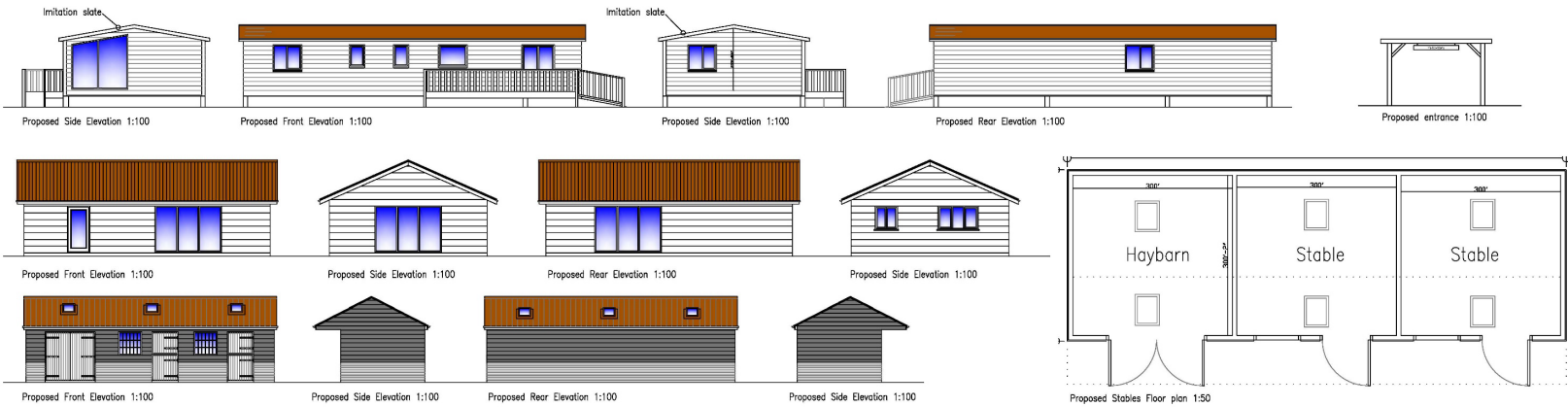


Welcome to the Planning Committee

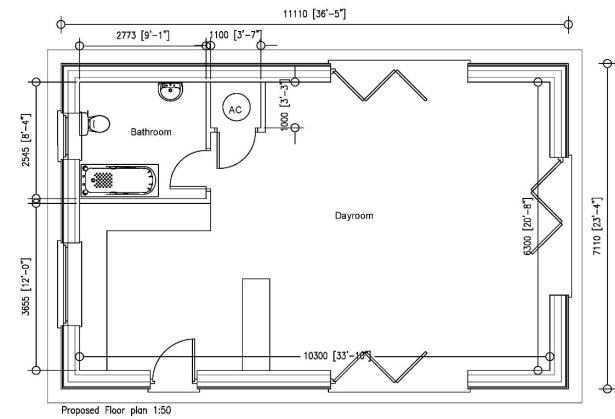
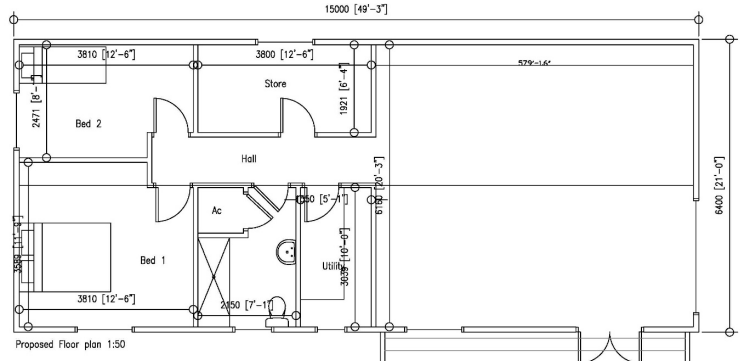
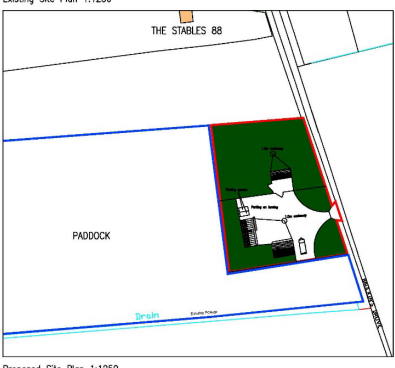
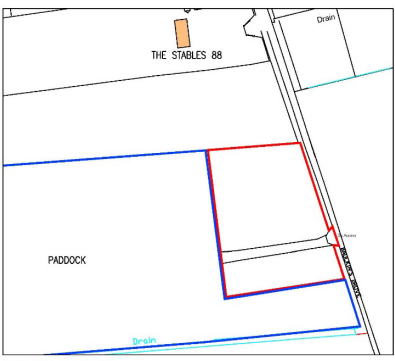
MapThat Scale Print Title



MAP SCALE 1:1250
CREATED DATE: 29/11/2024
PHOTOGRAPHIC COPY
LIABLE TO DISTORTION
IN SCALE



General Notes:
 -Dimensions on all drawings are shown in "mm".
 -The contractor/sub-contractor and supplies must verify all dimensions before commencement of any works on site.
 -This drawing is to be read in conjunction with any relevant engineers and specialist sub-contractor drawings and specifications.



Reference: PL01
 Pages: 1

Scale: as shown

Project: Proposed traveller plot for disabled couple with stable and day room

Site Address: Land South of The Stables
 Baulkins Drove
 Sutton st James

Client: Mr and Mrs West
 Land South of The Stables
 Baulkins Drove
 Sutton st James



Southfork Farm
 Seadyke Bank
 Murrow
 Cambridgeshire
 PE13 4SD

T: 07891175649
 E: info.alexandradesign@gmail.com

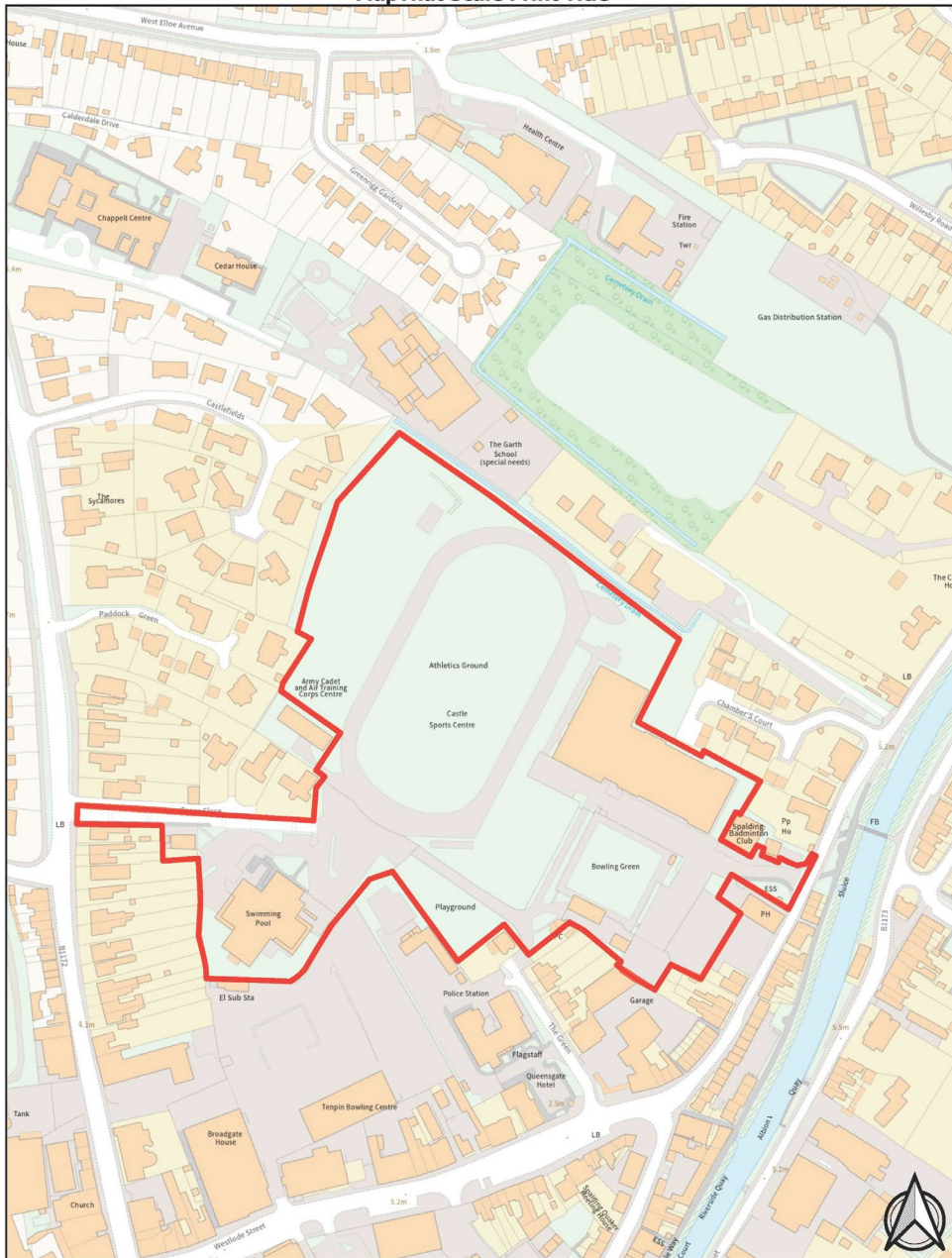








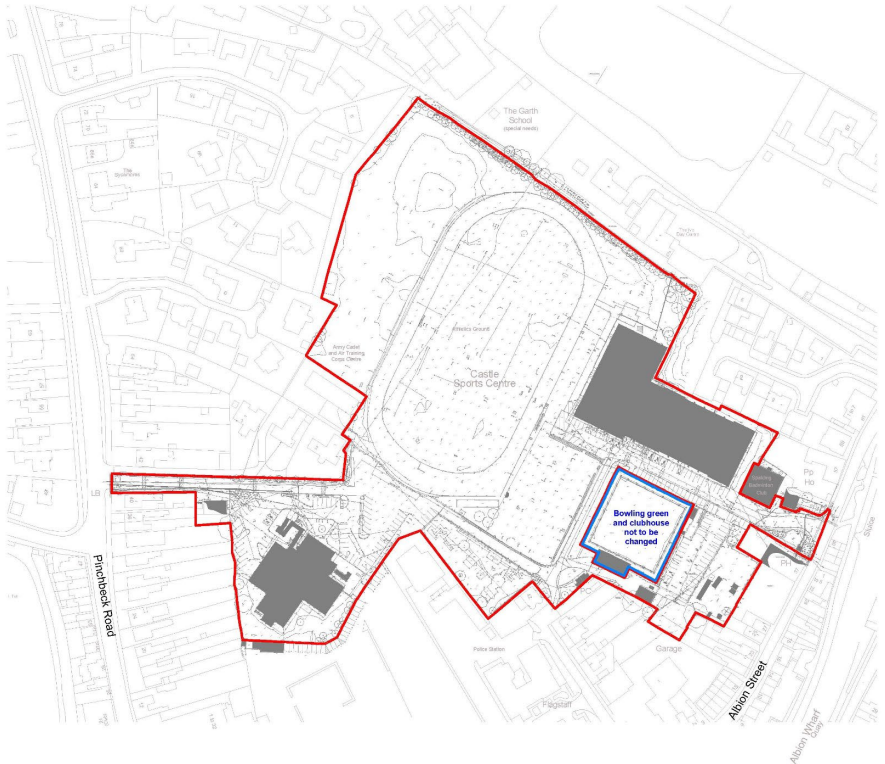
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- No. Note
- 1 All dimensions to be verified on site by GENERAL CONTRACTOR prior to any work, setting out or site change being proposed.
 - 2 Copyright SAUNDERS BOSSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSSTON LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent.
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 - 5 Change has not been surveyed and any pipe locations and below ground storage tanks are indicated.
 - 6 It is assumed that all works will be carried out by a competent contractor who will be working under appropriate, for an approved method statement.

KEY


- Site Boundary —
- Site Within Ownership —
- Existing Leisure Wet Side Parking = 94
- Existing Leisure Dry Side Parking = 62



1 0100 Existing Location Site Plan - H&WH
1:1250



| | | | | |
|-----|----------------------------|----------|-----|----|
| POD | Planning Issue | 13.05.24 | BH | DR |
| POI | Pre Application Submission | 23.02.24 | BH | DR |
| RE | Revision | | CRS | DR |



Saunders Boston Architects

Eastern Gate House, 110 Newmarket Road, Cambridge CB2 3BA, 01223 817778, info@saundersboston.co.uk

The Company: The Galloway Way, 2nd Floor, PO Box 149, 10001 9807, www.saundersboston.co.uk

Client: Willmott Dixon

Job: South Holland Health & Wellbeing Hub

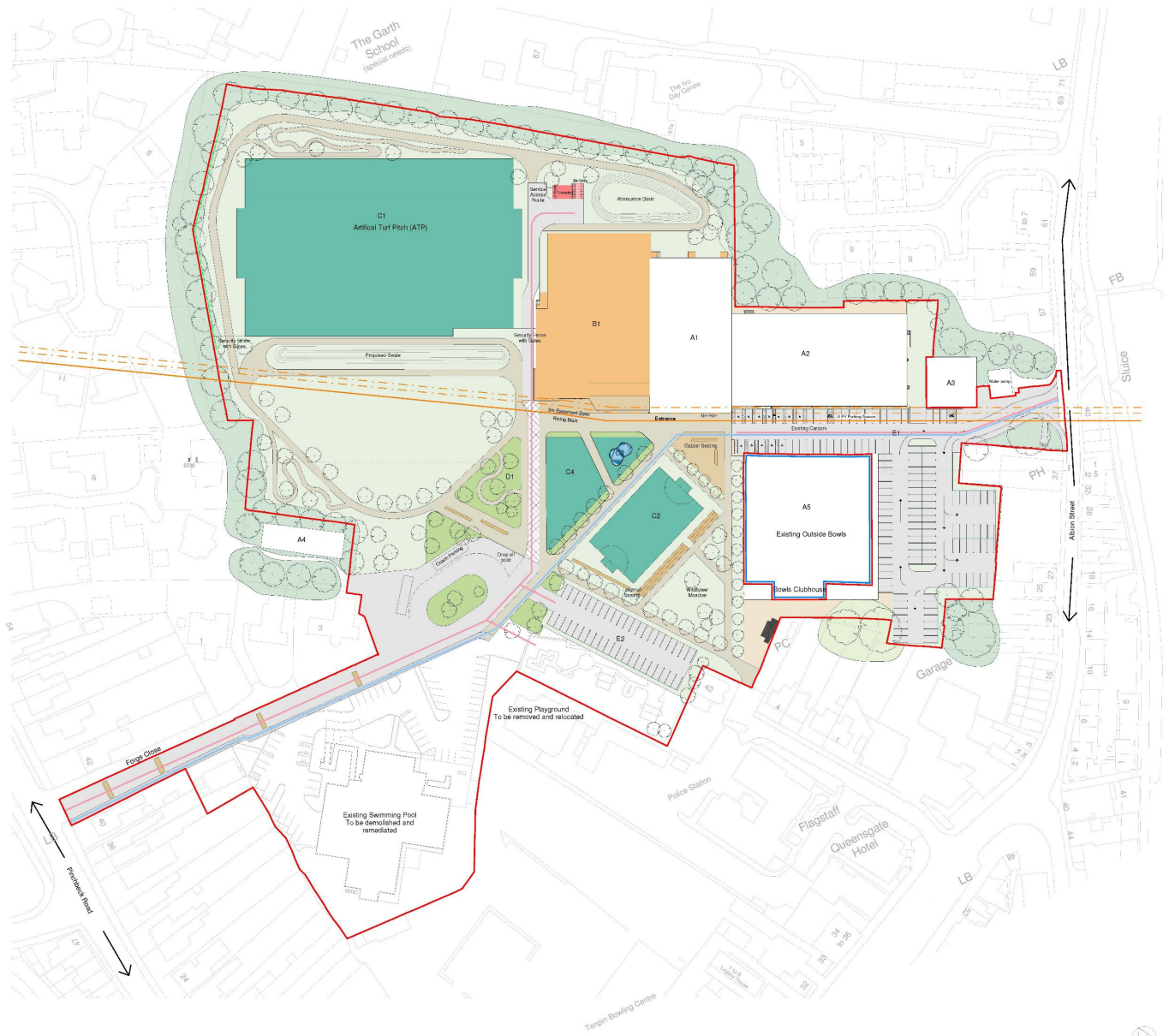
Drawing: Existing Location Site Plan - H&WH

Date: 13/09/23

Revision: P02

| | | | | | | | | | |
|---------------------------------|-------------|------------------------|----------------|------------------------|----------------|-----------|-----------|-------------|--------------|
| PLANNING | | Drawn: BH | Date: 13/09/23 | Project: M00514-SBA-01 | Originator: BH | Zone: -01 | Leaf: -00 | Sheet: DR-A | Number: 0100 |
| SEA Project Code: M00514 | Checked: ML | SAFETY Code: S3 | | | | | | | |

- 1. All dimensions are in metres unless otherwise stated.
- 2. All dimensions are to the centre of the line unless otherwise stated.
- 3. All dimensions are to the centre of the line unless otherwise stated.
- 4. The site is shown as a plan view and does not show the ground level.
- 5. The site is shown as a plan view and does not show the ground level.
- 6. The site is shown as a plan view and does not show the ground level.
- 7. The site is shown as a plan view and does not show the ground level.
- 8. The site is shown as a plan view and does not show the ground level.
- 9. The site is shown as a plan view and does not show the ground level.
- 10. The site is shown as a plan view and does not show the ground level.

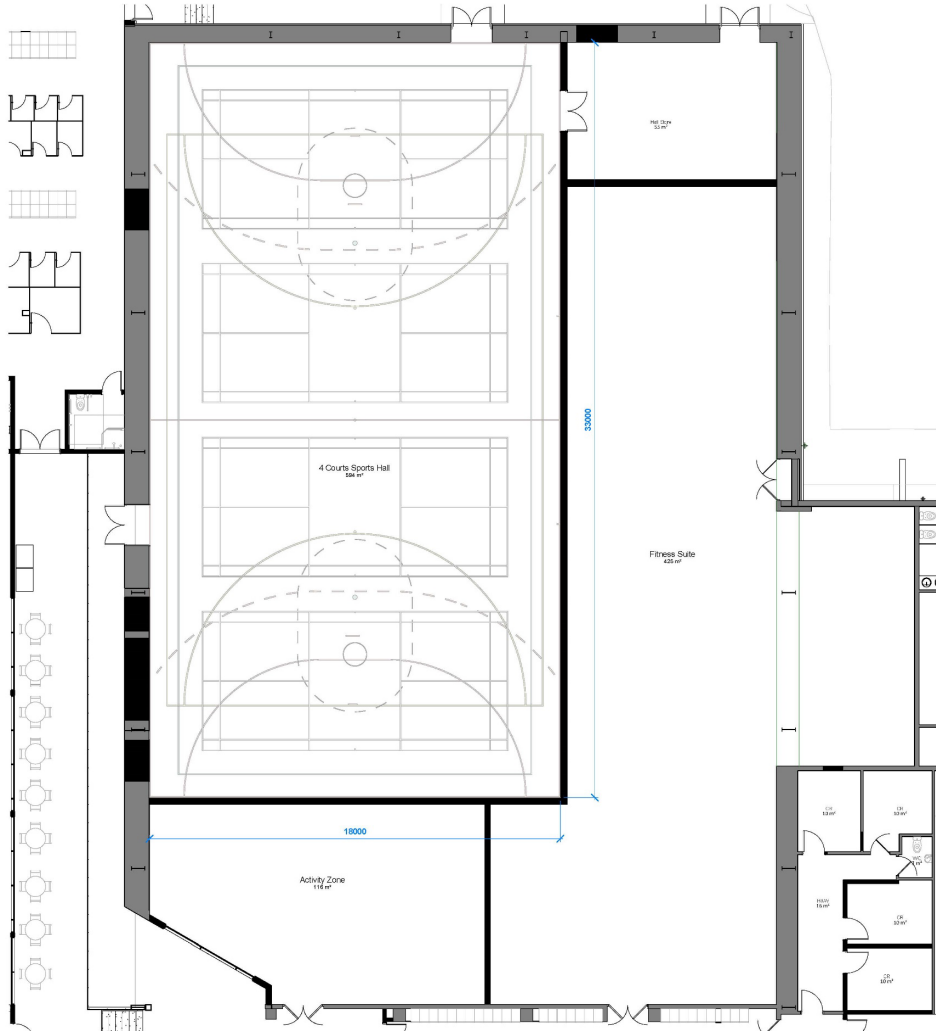


- Legend**
- A-1 EXISTING LEISURE CENTRE
 - A-2 EXISTING BOWLS CLUB
 - A-3 EXISTING BADMINTON CLUB
 - A-4 AIR GAGETS
 - A-5 EXISTING BOWLS GREEN
 - A-6 EXISTING SWIMMING POOL
 - B-1 EXTENSION TO LEISURE CENTRE / HUB
 - C-1 ATP
 - C-2 MULTI USE GAMES AREA
 - C-3 SPLASH PAD
 - C-4 OUTDOOR PLAY
 - D-1 HEALTH & WELLBEING GARDEN
 - E-1 EXISTING AND EXTENDED PUBLIC CAR PARK
 - E-2 PROPOSED ATP PARKING
 - CYCLE / PEDESTRIAN ROUTES
 - VEHICLE ROUTES
 - THE TRAILS - Cycle / Running route
 - ACOUSTIC FENCE - Refer to Labo sports drawing for further detail.
 - SITE BOUNDARY
 - SITE WITHIN OWNERSHIP
- Proposed Health and Wellbeing and ATP Parking = 178

1 0104 Proposed Site Plan - H&W

| | | | |
|--|--|---|---|
| | | Willmot Dixon South Holland Health & Wellbeing Hub Site Proposed Site Plan - H&W | |
| Date: 09/18/23 Drawn: BH Checked: UL | Date: 09/18/23 Drawn: BH Checked: UL | Scale: 1:500 @A0 Project: M00514-SBA-00-00-DR-A-0104 | Sheet: P05 Title: M00514-SBA-00-00-DR-A-0104 |

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 - 6 Coverage has not been surveyed and initial pipe locations and below ground storage tanks are indicated.
 - 7 No responsibility of works will be carried out by a competent contractor who will be working where appropriate, to an approved method statement.



33000x18000 Sports Hall Layout.

Badminton - 4 courts - community/club/premier level
 Sport England Dims - 13400x6100 (Community Min height= 6700, Club Min height= 7500, premier Min height= 9000)
 Drawn Dims - 13400 x 6100

Basketball - community level
 Sport England Dims - Length min = 2600, preferred = 2800, Width min = 1400 / preferred = 1500
 Drawn Dims - 28000x15000

Futsal - community level
 Sport England Dims - Length min = 25000, max = 3100, Width min = 1500 / max = 1600
 Drawn Dims - 30660x16000

Netball - community level
 Sport England Dims - 30500x15250, Height = 7500
 Drawn Dims - 15250x30500
 Sport England Run Off Dims - Min = 1500
 Drawn Run Off Dims - Baseline 1250 (-250), Side line 1375 (-125)

Volleyball - training/community/club level
 Sport England Dims - 18000x9000, Height = 7000
 Drawn Dims - 18000x9000

Five-a-side Football - community/club/premier/international level
 Sport England Dims - Min = 25000x16500, Max = 50000x35000
 Drawn Dims - 25000x16500

Handball - community level
 Sport England Dims - Min = 33000x18000, Max = 40000x2000, height 7000
 Drawn Dims - 33000x18000

Korfbal - community level
 Sport England Dims - Min 31000x15500, Max 40000x20000, Height 7000-9000
 Drawn Dims - 31000x15500

Fitness suite = 425m²
 85 Stn at 1 per 6m²
 106 Stn at 1 per 4m²

1 Proposed Sports Hall Layout
 1:100

P01 Planning Issue 05.11.24 CD BH
 No. Revision Date CHK Auth



Saunders Boston Architects

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PLANNING

| | | | |
|------------------|---------|----|----------|
| SEA Project Code | Drawn | CD | Date |
| M00514 | Checked | BH | 05.11.24 |

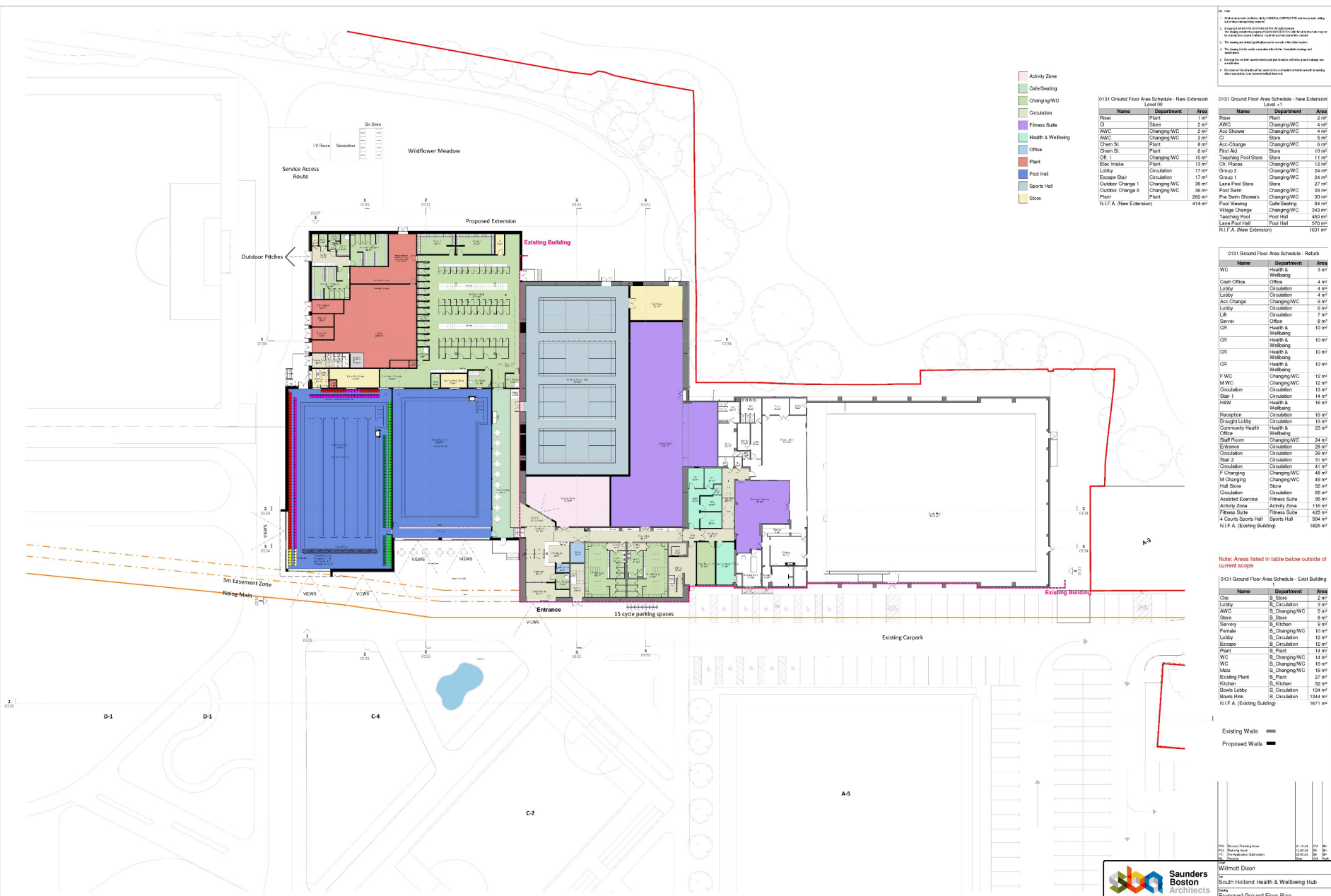
Client: Willmott Dixon

Site: South Holland Health & Wellbeing Hub

Drawing: Sports Hall Layout

| | |
|-----------|------------|
| Scale | Revision |
| 1:100 @A1 | P01 |

| | | | | | |
|---------------|-----------------------|-------------|-------|------|-------------|
| Project | Original | Zone | Level | Task | File Number |
| M00514 | SBA-02-00-DR-A | 3017 | | | |



- Activity Zone
- Cafe/Seating
- Changing/WC
- Circulation
- Fitness Suite
- Health & Wellbeing
- Office
- Pool Hall
- Sports Hall
- Store

0131 Ground Floor Area Schedule - New Extension Level 00

| Name | Department | Area |
|--------------------------|-------------|--------------------|
| Riser | Plant | 1 m ² |
| CI | Store | 2 m ² |
| AWC | Changing/WC | 2 m ² |
| AWC | Changing/WC | 3 m ² |
| Chem St | Plant | 8 m ² |
| Chem St | Plant | 10 m ² |
| OR 1 | Changing/WC | 13 m ² |
| Elec Intake | Plant | 17 m ² |
| Lobby | Circulation | 17 m ² |
| Escape Stair | Circulation | 17 m ² |
| Outdoor Change 1 | Changing/WC | 36 m ² |
| Outdoor Change 2 | Changing/WC | 36 m ² |
| Plant | Plant | 260 m ² |
| N.I.F.A. (New Extension) | | 414 m ² |

0131 Ground Floor Area Schedule - New Extension Level +1

| Name | Department | Area |
|--------------------------|--------------|---------------------|
| Riser | Plant | 2 m ² |
| AWC | Changing/WC | 4 m ² |
| AWC | Changing/WC | 4 m ² |
| CI | Store | 5 m ² |
| Acc Change | Changing/WC | 6 m ² |
| Flat A2 | Store | 19 m ² |
| Heating Pool Store | Store | 11 m ² |
| Ch. Rises | Changing/WC | 12 m ² |
| Group 2 | Changing/WC | 24 m ² |
| Group 1 | Changing/WC | 24 m ² |
| Lane Pool Store | Store | 27 m ² |
| Riser Swm | Changing/WC | 28 m ² |
| Pis Swm Showers | Changing/WC | 30 m ² |
| Pool Heating | Cale Heating | 84 m ² |
| Village Change | Changing/WC | 343 m ² |
| Teaching Pool | Pool Hall | 492 m ² |
| Lane Pool Hall | Pool Hall | 572 m ² |
| N.I.F.A. (New Extension) | | 1631 m ² |

0131 Ground Floor Area Schedule - Refurb

| Name | Department | Area |
|------------------------------|--------------------|---------------------|
| WC | Health & Wellbeing | 3 m ² |
| Cash Office | Office | 4 m ² |
| Lobby | Circulation | 4 m ² |
| Acc Change | Changing/WC | 6 m ² |
| Lobby | Circulation | 6 m ² |
| Lift | Circulation | 7 m ² |
| Server | Office | 8 m ² |
| CR | Health & Wellbeing | 10 m ² |
| CR | Health & Wellbeing | 10 m ² |
| CR | Health & Wellbeing | 10 m ² |
| CR | Health & Wellbeing | 10 m ² |
| F WC | Changing/WC | 12 m ² |
| F WWC | Changing/WC | 12 m ² |
| Circulation | Circulation | 13 m ² |
| Stair 1 | Circulation | 14 m ² |
| WC | Health & Wellbeing | 16 m ² |
| Reception | Circulation | 16 m ² |
| Drainage Lobby | Circulation | 16 m ² |
| Commons Health | Health & Wellbeing | 22 m ² |
| Staff Rooms | Changing/WC | 24 m ² |
| Entrance | Circulation | 28 m ² |
| Circulation | Circulation | 29 m ² |
| Stair 2 | Circulation | 31 m ² |
| Circulation | Circulation | 41 m ² |
| F Changing | Changing/WC | 48 m ² |
| M.Changing | Changing/WC | 49 m ² |
| Hall Store | Circulation | 55 m ² |
| Circulation | Circulation | 85 m ² |
| Assisted Exercise | Fitness Suite | 95 m ² |
| Activity Zone | Activity Zone | 116 m ² |
| Fitness Suite | Fitness Suite | 425 m ² |
| N.Gymnastics Hall | Sports Hall | 594 m ² |
| N.I.F.A. (Existing Building) | | 1825 m ² |

Note: Areas listed in table below outside of current scope

0131 Ground Floor Area Schedule - Exist Building

| Name | Department | Area |
|------------------------------|---------------|--------------------|
| CI | Store | 2 m ² |
| Lobby | B_Circulation | 3 m ² |
| AWC | B_Changing/WC | 6 m ² |
| Store | B_Store | 6 m ² |
| Servancy | B_Kitchen | 9 m ² |
| Female | B_Changing/WC | 10 m ² |
| Lobby | B_Circulation | 12 m ² |
| Escape | B_Circulation | 12 m ² |
| Plant | B_Plant | 14 m ² |
| WC | B_Changing/WC | 14 m ² |
| WC | B_Changing/WC | 16 m ² |
| Male | B_Changing/WC | 19 m ² |
| Existing Plant | B_Plant | 27 m ² |
| Kitchen | B_Kitchen | 52 m ² |
| Bowls Lobby | B_Circulation | 124 m ² |
| Bowls Hk | B_Circulation | 134 m ² |
| N.I.F.A. (Existing Building) | | 971 m ² |

- Existing Walls
- Proposed Walls

2 0131 Proposed Ground Floor Plan

Scale 1:200
0 2 4 6 8 10m 20m

Saunders Boston
ARCHITECTS

1100 South Street
Boston, MA 02111
Tel: 617.552.3300
www.saundersboston.com

Willmott Dixon
12 South Holland Health & Wellbeing Hub
Boston
Proposed Ground Floor Plan

DATE: 23/02/24
DRAWN: BH
CHECKED: LL

PLANNING
M00514

Scale: 1:200 @A0
P03
M00514-SBA-02-00-CR-A-0131

1. All dimensions are in feet and inches (F'-IN) unless otherwise noted.
2. All dimensions are rounded to the nearest foot and inch.
3. The design is based on the information provided by the client.
4. The design is based on the information provided by the client.
5. The design is based on the information provided by the client.
6. The design is based on the information provided by the client.
7. The design is based on the information provided by the client.
8. The design is based on the information provided by the client.
9. The design is based on the information provided by the client.
10. The design is based on the information provided by the client.

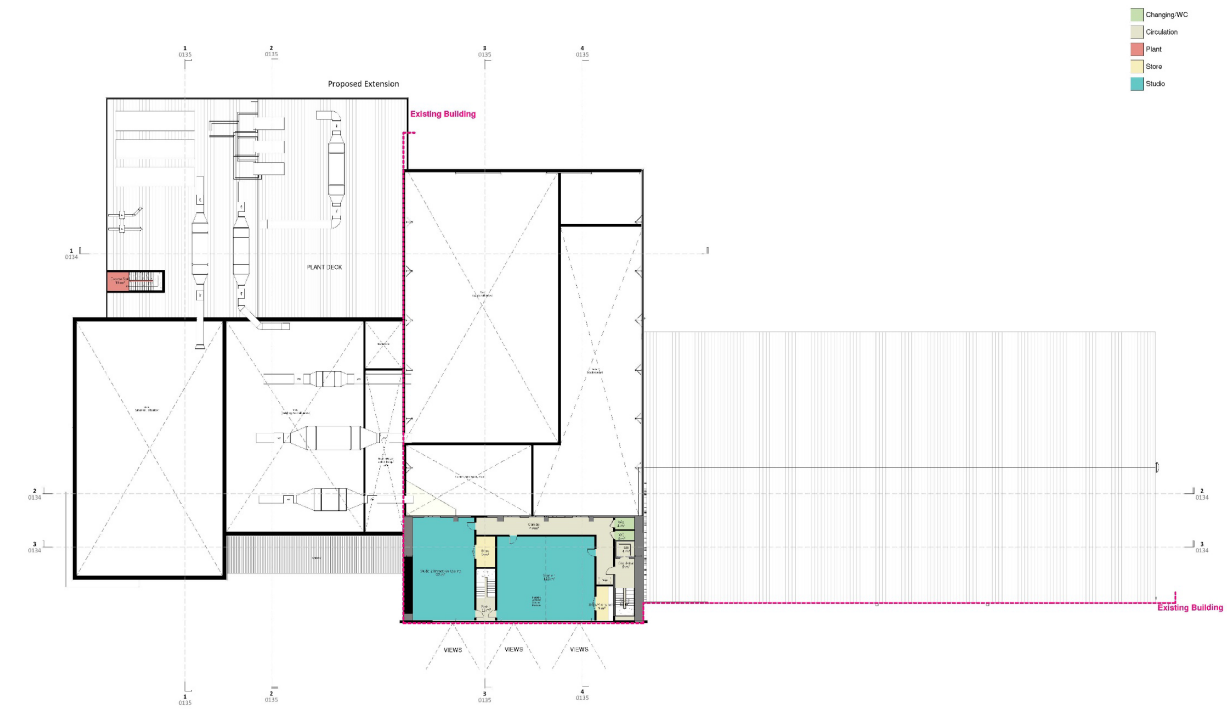
0132 First Floor Area Schedule - Plurb

| Name | Department | Area |
|------------------------------|-------------|--------------------|
| WC | Changing WC | 3 m ² |
| WC | Changing WC | 4 m ² |
| LR | Circulation | 4 m ² |
| Circulation | Circulation | 9 m ² |
| Store | Store | 9 m ² |
| Store | Store | 9 m ² |
| Stair 2 | Circulation | 10 m ² |
| Stair 1 | Circulation | 15 m ² |
| Corridor | Circulation | 40 m ² |
| Studio 2 Immersive | Studio | 97 m ² |
| Studio 1 | Studio | 125 m ² |
| N.I.F.A. (Existing Building) | | 235 m ² |

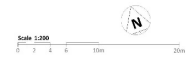
0132 First Floor Area Schedule - New Extension
Deck Level

| Name | Department | Area |
|--------------------------|------------|-------------------|
| Escape Stair | Plant | 16 m ² |
| N.I.F.A. (New Extension) | | 16 m ² |

Existing Walls
Proposed Walls



3 0132 Proposed First Floor Plan
1:200



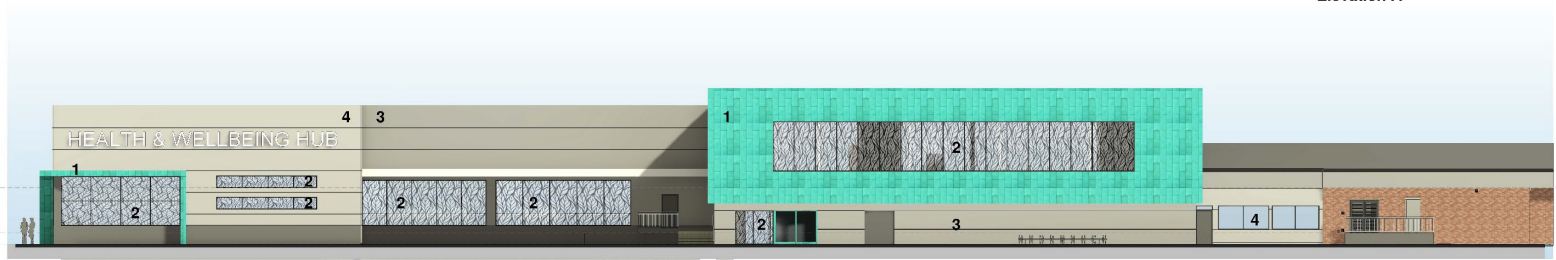
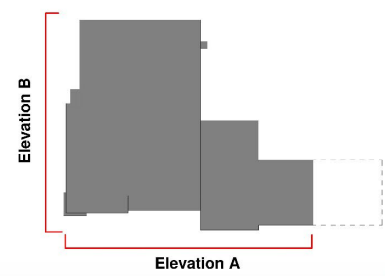
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Tel: 617.552.1100
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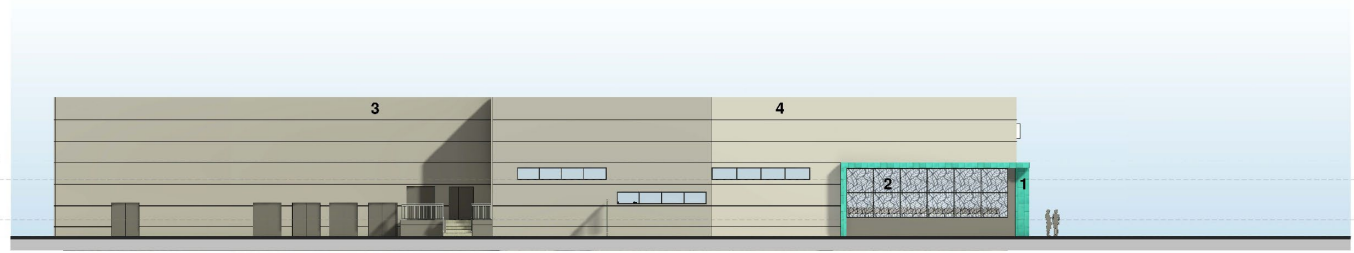
Willcott Dixon
SA
South Holland Health & Wellbeing Hub
Store
Proposed First Floor Plan

| | | | |
|----------|----------------|------------|-----------------------------------|
| PLANNING | Date: 23/02/24 | Sheet: P03 | Title: M00514-SDA-02-01-DR-A-0132 |
| M00514 | SA | SA | SA |

1. All elevations are to be drawn in accordance with the current standards of the architectural profession.
2. All elevations are to be drawn in accordance with the current standards of the architectural profession.
3. All elevations are to be drawn in accordance with the current standards of the architectural profession.
4. All elevations are to be drawn in accordance with the current standards of the architectural profession.
5. All elevations are to be drawn in accordance with the current standards of the architectural profession.



1 0136 Proposed Elevation A
1:100



2 0136 Proposed Elevation B
1:100

Scale 1:100
0 1 2 3 4 5 6

Saunders Boston Architects
115 South Street, Boston, MA 02109
Tel: 617.552.3300
Fax: 617.552.3301
www.saundersboston.com

Willmet Dixon
22 South Holland Health & Wellbeing Hub
Box
Proposed Elevations 1 of 2

| | | | | |
|-----|----------|------|------|------|
| REV | DATE | BY | CHK | APP |
| 1 | 15/02/23 | W.D. | W.D. | W.D. |
| 2 | 15/02/23 | W.D. | W.D. | W.D. |
| 3 | 15/02/23 | W.D. | W.D. | W.D. |

PLANNING
1:100 @A0
P03

M00514
S3
M00514-SBA-02-ZZ-DR-A-0136

Elevation C

Elevation D



- 1. All elevations are to be shown in 3D/4D. All elevations are to be shown in 3D/4D.
- 2. All elevations are to be shown in 3D/4D. All elevations are to be shown in 3D/4D.
- 3. All elevations are to be shown in 3D/4D. All elevations are to be shown in 3D/4D.
- 4. All elevations are to be shown in 3D/4D. All elevations are to be shown in 3D/4D.
- 5. All elevations are to be shown in 3D/4D. All elevations are to be shown in 3D/4D.

Materials



1. Weathered Copper Coloured Panel



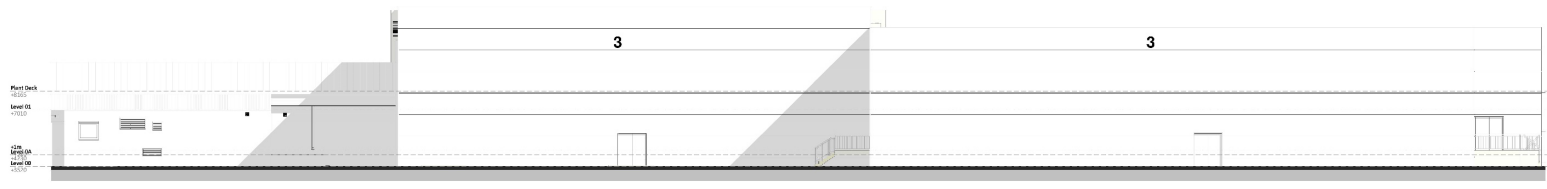
2. Glass with manifestation



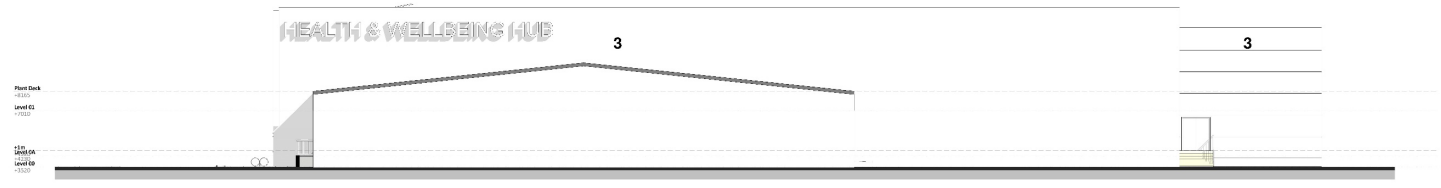
3. Cladding Panel - Dark Grey



4. Cladding Panel - Light Grey



3 0137 Proposed Elevation C
1:100



4 0137 Proposed Elevation D
1:100



| | |
|--|---|
| <p>Saunders Boston Architects</p> <p>100 State Street, Boston, MA 02109 781.552.1234 www.saundersboston.com</p> | <p>Willmet Dixon 22 South Holland Health & Wellbeing Hub Proposed Elevations 2 of 2</p> |
| | <p>PLANNING 1:100 @A0 P03</p> |
| <p>MO0514 ML S3</p> | <p>11/03/23 S3</p> |

| | | | | |
|-----|-----------------------|------|----------|----------------|
| NO. | Revised/Change/Issued | BY | DATE | DESCRIPTION |
| 01 | Issue for Review | W.D. | 11/03/23 | Initial Design |
| 02 | Issue for Review | W.D. | 11/03/23 | Final Design |







THE SHIP & BION INN

CASTLE
SPORTS CENTRE
Gym
Group Exercise
Sports Hall
Personal Training
Indoor Bowls
Cafe/Bar
Functions & Events

No Parking





THE SHIP ALBION INN

CASTLE
SPORTS CENTRE

| | |
|----------------|--------------------|
| Gym | Personal Training |
| Group Exercise | Indoor Bowls |
| Sports Hall | Cafe/Bar |
| | Functions & Events |

LEICESTERSPORTS.COM
01753 742128







← CASTLE BOWLS CLUB ←



← CASTLE BOWLS CLUB →















NTRE

LeisureCentre.com

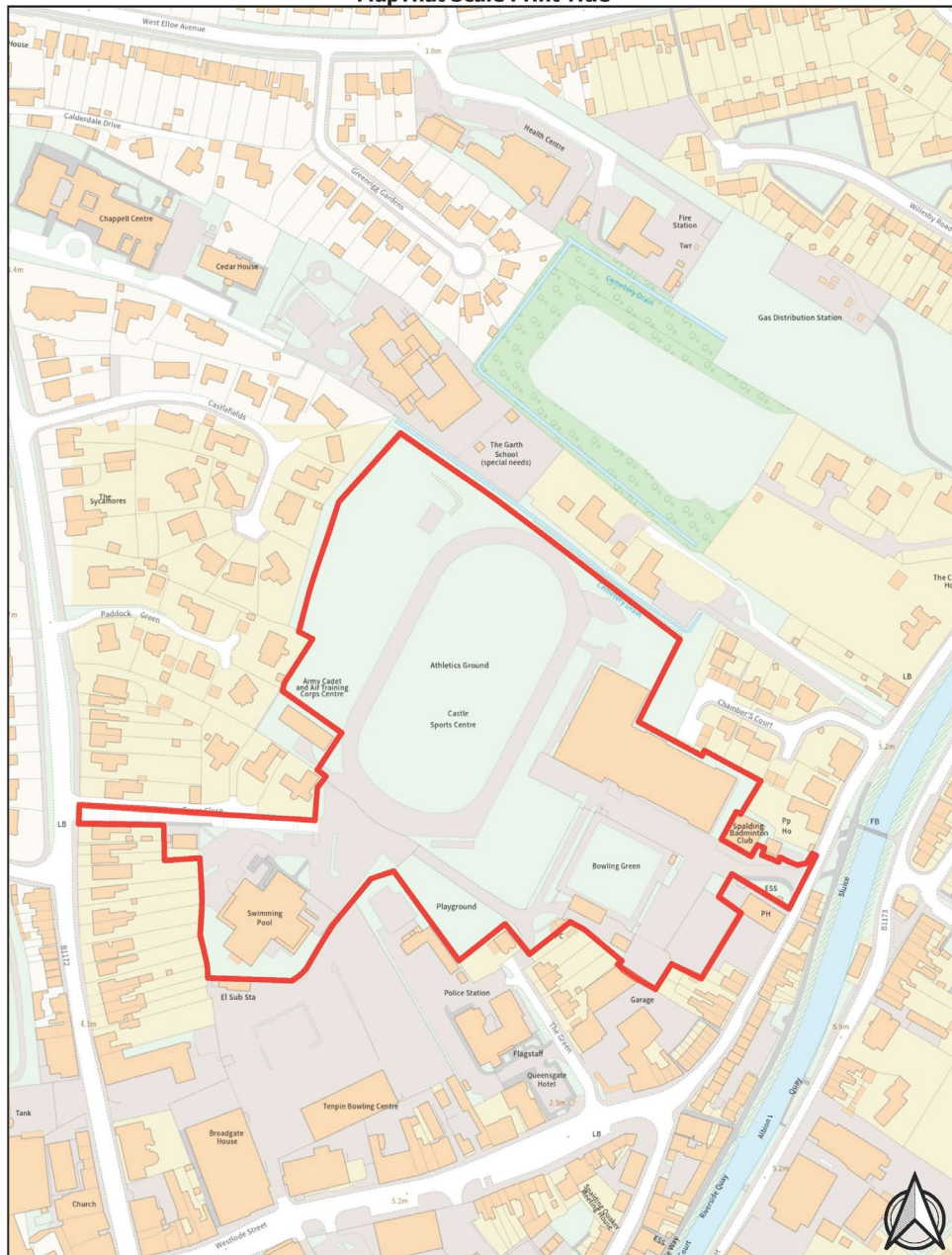








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IN SCALE

MapThat Scale Print Title



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CREATED DATE: 02/12/2024
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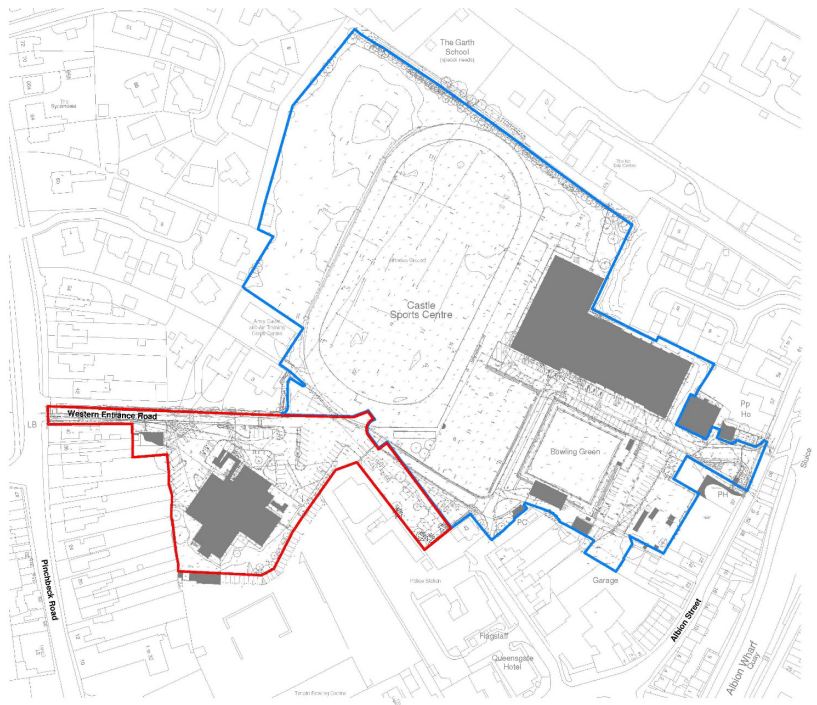
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 - 5 This drawing is to be read in conjunction with all other Consultants drawings and specifications.
 - 6 Drainage has not been surveyed and any pipe locations and below ground storage tanks are indicative.
 - 7 No guarantee of works will be carried out by a competent contractor who will be working where appropriate, to an approved method statement.



KEY

Site Boundary —

Masterplan Site Boundary —



Existing Location Site Plan

1 : 1250

| | | | | |
|------|---|------|-----|-----|
| A. | Revised to suit planning consultants comments | ytb | SL | WC |
| Rev. | Reason | Date | CHK | APP |

Saunders Boston Architects

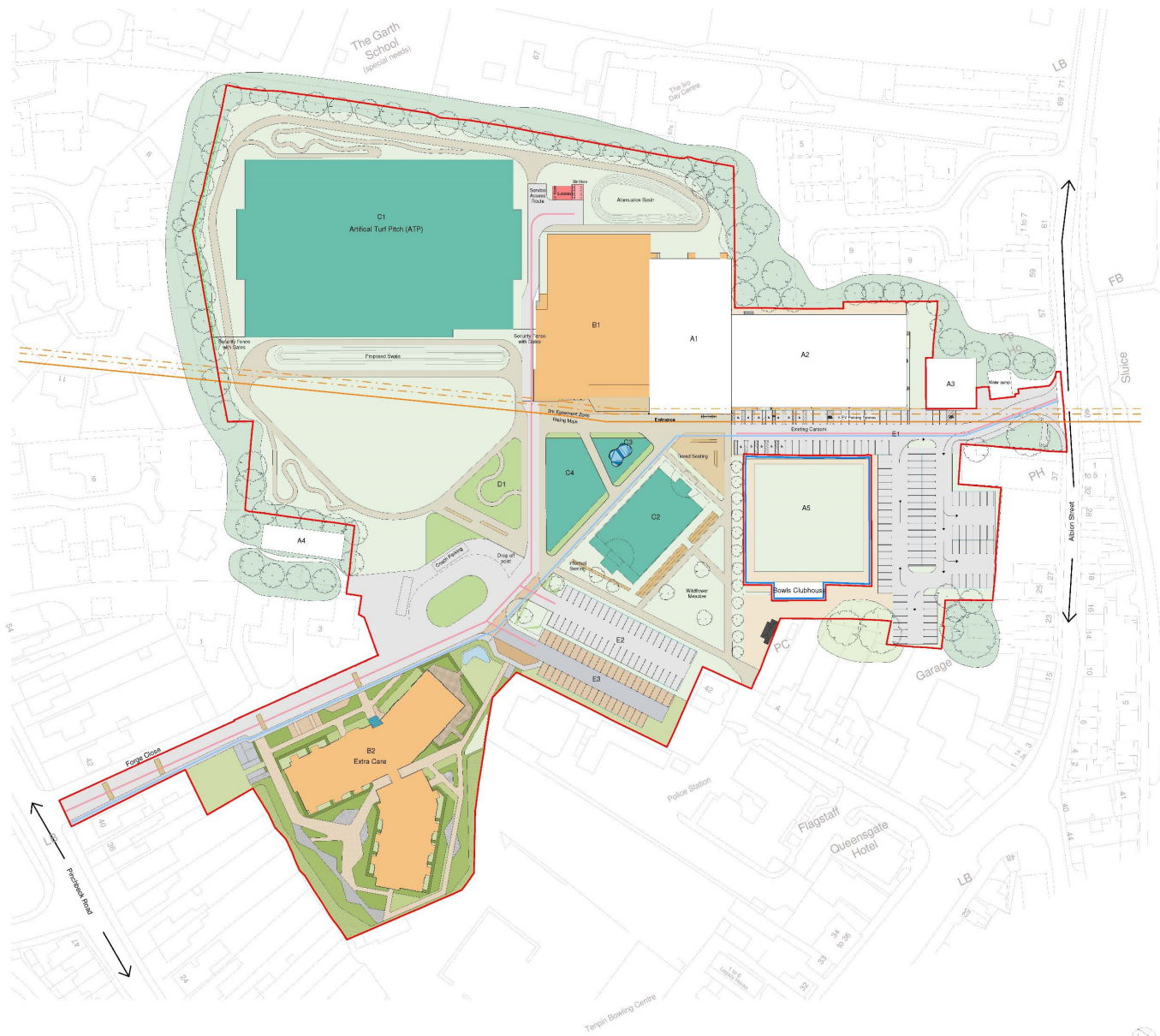
Eastern Park House, 119 Haverhill Road, Cambridge CB3 9BA, UK
T: 01223 367872, F: 01223 367873, E: info@saundersboston.co.uk

The Shard, 1 The Shard, King's Place, 75 Abchurch Lane, London EC4A 3DF, UK
T: 020 7467 4000, F: 020 7467 4001, E: info@saundersboston.co.uk

| | | | |
|------------------|-----------------------------|----------|-------|
| SBA Project Code | Drawn | NJ | Date |
| 2066 | Checked | SL | ytb |
| Client | Willmott Dixon | | |
| Job | South Holland Extra Care | | |
| Drawing | Existing Site Location Plan | | |
| Scale | Reason | | |
| As indicated @A1 | | A | |
| Project | Original | Zone | Level |
| 2066 | -SBA-XX-00-DR-A-0101 | | |

1. All dimensions are in metres unless otherwise stated.
2. All dimensions are to be confirmed at the time of construction.
3. All dimensions are to be confirmed at the time of construction.
4. The site is shown as a general indicative masterplan and is not intended to be used for detailed design or construction.
5. The site is shown as a general indicative masterplan and is not intended to be used for detailed design or construction.
6. The site is shown as a general indicative masterplan and is not intended to be used for detailed design or construction.
7. The site is shown as a general indicative masterplan and is not intended to be used for detailed design or construction.
8. The site is shown as a general indicative masterplan and is not intended to be used for detailed design or construction.

- Legend**
- A-1 EXISTING LEISURE CENTRE
 - A-2 EXISTING BOWLS CLUB
 - A-3 EXISTING BADMINTON CLUB
 - A-4 AIR CADETS
 - A-5 EXISTING BOWLS GREEN
 - B-1 EXTENSION TO LEISURE CENTRE / HUB
 - B-2 EXTRA CARE
 - C-1 ATP
 - C-2 MULTI USE GAMES AREA
 - C-3 SPLASH PAD
 - C-4 OUTDOOR PLAY
 - D-1 HEALTH & WELLBEING GARDEN
 - E-1 EXISTING AND EXTENDED CAR PARK
 - E-2 PROPOSED ATP PARKING
 - E-3 EXTRA CARE PARKING
 - Blue line CYCLE / PEDESTRIAN ROUTES
 - Brown line VEHICLE ROUTES
 - Yellow line THE TRAILS - Cycle / Running route
 - Green dashed line ACOUSTIC FENCE - Refer to Libb sports drawing for further detail.
 - Red line EXTENT OF INDICATIVE MASTERPLAN BOUNDARY
 - Blue line SITE WITHIN OWNERSHIP
- Proposed Health and Wellbeing and ATP Parking = 178
Proposed Extra Care Parking = 42



1 0103 Indicative Masterplan




| | | |
|---|--|--|
| <p>Saunders Boston Architects</p> | | <p>Willmott Dixon 25 South Holland Health & Wellbeing Hub Site Indicative Masterplan</p> |
| <p>DATE: 11/13/23 DRAWN BY: BH CHECKED BY: UL</p> | <p>SCALE: 1:500 @A0 DATE: 11/13/23 DRAWN BY: BH CHECKED BY: UL</p> | <p>PROJECT: M00514-SBA-00-00-CR-A-0103</p> |

- Key: Scale
1. All dimensions to be verified on site by CH2MHILL CORP. (Access) prior to any work, setting out or other design being commenced.
 2. Changes not to be made: check to figure dimensions only.
 3. All drawings SUBJECT TO REVISIONS AND TO BE MADE AS REQUIRED.
 4. This drawing is to be made in conjunction with all other drawings to design and construction.
 5. Changes have not been surveyed and a typical pipe layout and the ground drainage rate are indicated.
 6. The construction of all works will be carried out by a competent contractor who will be working under the supervision of an approved method statement.



Indicative Site View - Pinchbeck Road

A: Revision: Location: 21.05.24 SL: DL: Author: Name: Date: Drawn: Checked: Approved:


| | |
|--|--|
|  Saunders Boston Architects | |
| London: 100 Broad Street, London EC2R 2EJ, UK Tel: +44 (0)20 7324 2424 Email: info@saundersboston.co.uk | |
| The Grounds, The Colonnade, City Square The City, London EC2A 4PU, UK Tel: +44 (0)20 7324 2424 Email: london@saundersboston.co.uk | |
| EIR Project Code: 2066 | Drawn: SL Checked: DH Date: 21.05.24 |
| By: Willmott Dixon | |
| For: South Holland Extra Care | |
| Drawing: Indicative Site View - Pinchbeck Road | |
| Code: @A1 | Revision: A |
| Project: 2066 -SBA-XX-ZZ-DR-A-0522 | |

- No. Note
1. All dimensions to be checked on site by GENERAL CONTRACTOR prior to any work, setting out or deep drainage being prepared.
 2. Drawings not to be scaled. Check all figure dimensions only.
 3. © copyright SAUNDERS BOSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSTON LIMITED. It is allowed and may not be reproduced or copied in whole or in part without their prior written consent.
 4. This drawing and related specifications are for use only in the stated location.
 5. This drawing is to be read in conjunction with all other Consultants drawings and specifications.
 6. Drainage has not been surveyed and any laid pipe locations and below ground drainage runs are indicative.
 7. It is assumed that all levels will be checked out by a competent contractor who will be working where appropriate, to an approved method statement.



Indicative Site View - Eastern Corner

No. Revision Date CHK JWB

| | | | | | | | |
|---|--|-------|----|-------|---------|----|--|
|  Saunders Boston Architects | | | | | | | |
| <small>100 Station Road, 110 Newmarket Road, Colchester, Essex, CO1 1JL Tel: 0206 246227 www.saundersboston.co.uk</small> | | | | | | | |
| <small>The Old Rectory, The Old Rectory, Weymouth, Dorset, DT9 9JL Tel: 01305 246227 www.saundersboston.co.uk</small> | | | | | | | |
| SBA Project Code: | <table border="1"> <tr> <td>Drawn</td> <td>SL</td> <td>Date:</td> </tr> <tr> <td>Checked</td> <td>DH</td> <td></td> </tr> </table> | Drawn | SL | Date: | Checked | DH | |
| Drawn | SL | Date: | | | | | |
| Checked | DH | | | | | | |
| Client: | Willmott Dixon | | | | | | |
| Site: | South Holland Extra Care | | | | | | |
| Drawing: | Indicative Site View - Eastern Corner | | | | | | |
| Scale: | @A1 | | | | | | |
| Project: | 2066 -SBA-XX-ZZ-DR-A-0523 | | | | | | |

MapThat Scale Print Title

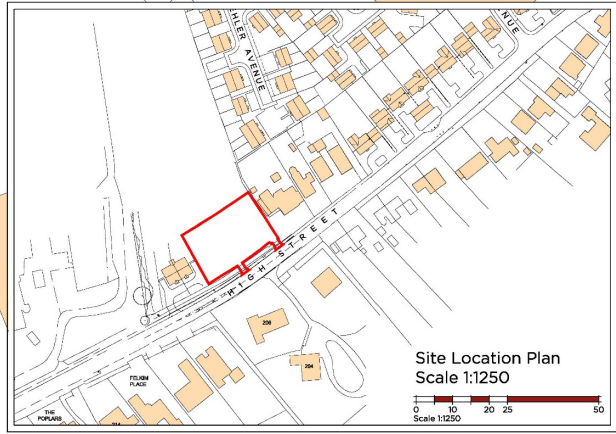


MAP SCALE 1:2000
CREATED DATE: 02/12/2024
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IN SCALE

MapThat Scale Print Title



MAP SCALE 1:1250
CREATED DATE: 29/11/2024
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IN SCALE



Site Location Plan
 Scale 1:1250

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 E.info@seven22.co.uk - T.07799 585277

PROJECT
 RESIDENTIAL DEVELOPMENT
 HIGH ROAD
 WESTON
 SPALDING
 PE12 6JU

CLIENT
 HIGHGROVE HOMES (SPALDING) LTD

TITLE
 SITE LOCATION & EXISTING SITE LAYOUT

DRAWING NO.
 095 501

| | | |
|------------------------------|------------------|-----|
| SCALE 1:1250 & 1:200 @ A1 | DATE AUG 2024 | REV |
|------------------------------|------------------|-----|

Legend

- Proposed Hedge 
- S.No. Phormium 
- Proposed Tree 
- Golden Gravel 
- Buff Paving 'Brett Quorndon' 
- Grass 
- Itstock Built In Bat Box 
- Manthorpe Swift Nest Brick 
- Boundary Type A 
- Boundary Type B 
- Existing Level 
- Proposed Level 
- Proposed Surface Water to Soakaways 
- Proposed Foul Drainage Layout 
- Kilgester Biocdic Domestic Sewage Treatment Plant 

| REV DATE | NOTES |
|--------------|---|
| A 07/10/2024 | F.F.L. AMENDED TO 3.725, PROPOSED LEVELS ADJUSTED ACCORDINGLY. FOUL DRAINAGE LAYOUT AMENDED TO INDICATE CONNECTION TO MAINS IN LIEU OF BIODISC. |



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| | | |
|--|-------------------|----------|
| PROJECT RESIDENTIAL DEVELOPMENT HIGH ROAD WESTON SPALDING PE2 6JU | | |
| CLIENT HIGHGROVE HOMES (SPALDING) LTD | | |
| TITLE PROPOSED SITE LAYOUT | | |
| DRAWING NO. 095 P01 | | |
| SCALE 1:200 @ A1 | DATE JULY 2024 | REV A |



| Hedging | | |
|------------------------------------|---------------|----------------|
| Species Name | Specification | Density |
| Prunus laurocerasus 'Rotundifolia' | 90-220 (BR) | 2-3m Staggered |

| Planting | | |
|-------------------------|---------------|-------------|
| Species Name | Specification | Density |
| Phormium 'Amazing Reef' | 80cm St. Pot | S.No. Total |

| Trees | | |
|------------------------------|--------------|--------------------------------|
| Species Name | Abbreviation | Specification |
| Prunus Serrulata 'Amanogawa' | Prn/Amano | 15-2m Feathered 15-20litre |
| Betula pendula, alba | B-Pend | 3m high Standard, 8-10cm girth |

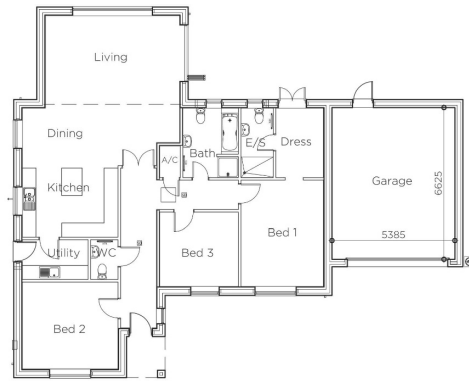
- NOTES:**
- All planting & landscape operations to comply with Landscape Specification: BS4400(189) - Recommendations for General Landscape Operations and BS3095: Pt 1 (1995) Specification for Nursery Stock Trees and Shrubs. All container sizes shown are minimums acceptable - all plants to be supplied to sizes indicated.
 - All ornamental shrubs to be planted at regular spacings in rows set diagonally to the edge of the bed.
 - All ornamental shrub beds and hedges to be provided with coarse grade bark mulch minimum 75mm deep.
 - Topsoil to be 450mm deep in all shrub areas, 100mm deep in all grass areas. Tree pits to be 750 x 500mm filled with topsoil.
 - Provide 250mm wide gravel margin with timber edge, where grass abuts building, 300mm deep, 3rd on Terrain.
- IMPLEMENTATION**
Landscape work to be undertaken in the first planting season following completion of the building works.



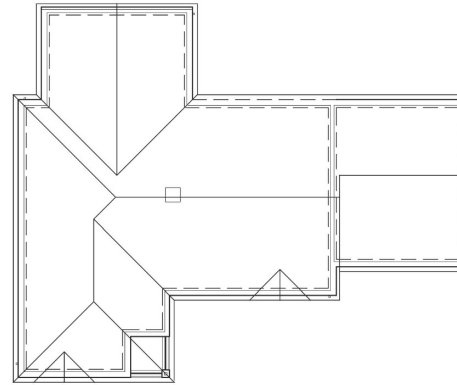
East Elevation



East Elevation



Ground Floor Plan



Roof Plan



West Elevation



South Elevation

MATERIALS



VANDERSANDEN, WICKFORD
 FACING BRICK



CREST BRICK SLATE & TILE LTD,
 DOUBLE PANTILE
 COLOUR, ANTHRACITE GREY

BRICKWORK BELOW DPC LEVEL
 TO BE, RED ENGINEERING

WINDOWS; CREAM U-PVC
 STYLE AS INDICATED ON DRAWINGS

BLACK SOFFITS AND FASCIAS

BLACK PVC-U RAINWATER GOODS



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PROJECT
 RESIDENTIAL DEVELOPMENT
 HIGH ROAD
 WESTON
 SPALDING
 PE12 6JU

CLIENT
 HIGHGROVE HOMES (SPALDING) LTD

TITLE
 PROPOSED PLANS & ELEVATIONS (PLOT 1)

DRAWING No.
 095 P02

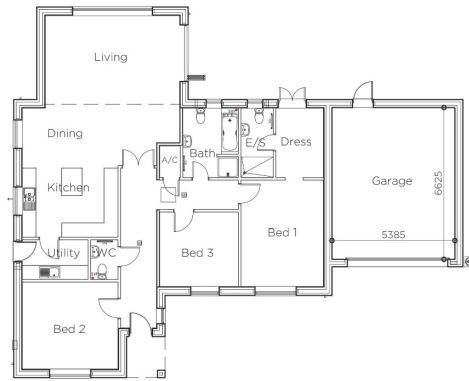
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| SCALE 1:100 @ A1 | DATE JULY 2024 | REV |
|---------------------|-------------------|-----|



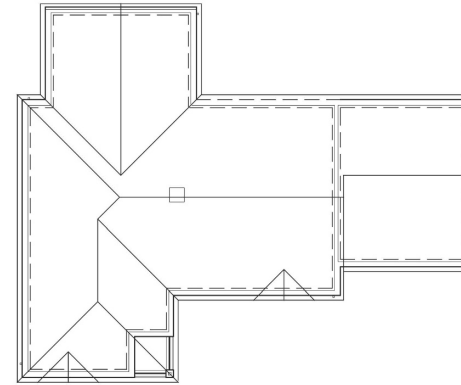
East Elevation



East Elevation



Ground Floor Plan



Roof Plan



West Elevation



South Elevation

MATERIALS



VANDERSANDEN, WICKFORD
 FACING BRICK



CREST BRICK SLATE & TILE LTD,
 DOUBLE PANTILE
 COLOUR, CAYENNE RED

BRICKWORK BELOW DPC LEVEL
 TO BE, RED ENGINEERING

WINDOWS; CREAM U-PVC
 STYLE AS INDICATED ON DRAWINGS

BLACK SOFFITS AND FASCIAS

BLACK PVC-U RAINWATER GOODS



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PROJECT
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 HIGH ROAD
 WESTON
 SPALDING
 PE12 6JU

CLIENT
 HIGHGROVE HOMES (SPALDING) LTD

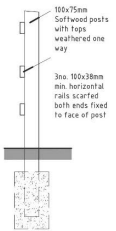
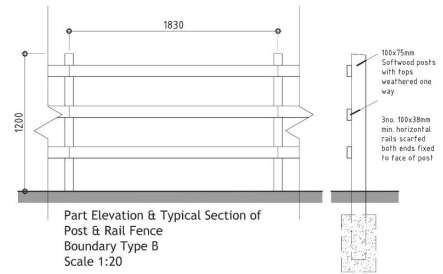
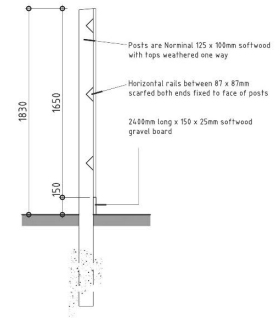
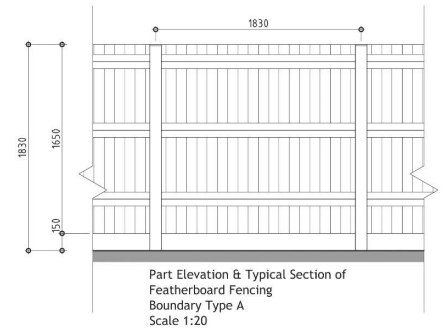
TITLE
 PROPOSED PLANS & ELEVATIONS (PLOT 2)

DRAWING No.
 095 P03

| | | |
|---------------------|-------------------|-----|
| SCALE 1:100 @ A1 | DATE JULY 2024 | REV |
|---------------------|-------------------|-----|



Street Scene Sectional Elevation 'A-A' to High Road



| | | |
|---|------------------|----------|
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| PROJECT RESIDENTIAL DEVELOPMENT HIGH ROAD WESTON SPALDING PE12 6JU | | |
| CLIENT HIGHGROVE HOMES (SPALDING) LTD | | |
| TITLE PROPOSED SECTIONAL ELEVATION & BOUNDARY TREATMENTS | | |
| DRAWINGS No. 095 PQ4 | | |
| SCALE 1:20 @ A1 | DATE AUG 2024 | REV A |













MapThat Scale Print Title



MAP SCALE 1:1250
CREATED DATE: 29/11/2024
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LEGEND

— SITE BOUNDARY

| | | |
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| | | |
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| | | |
| | | |

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|------|------|-------------|



amp CLEAN ENERGY
 AMP CLEAN ENERGY
 1 DOVER STREET
 LONDON
 W1S 4LD

LAND AT CREASE DROVE, CROWLAND
 PETERBOROUGH, PE6 0GB

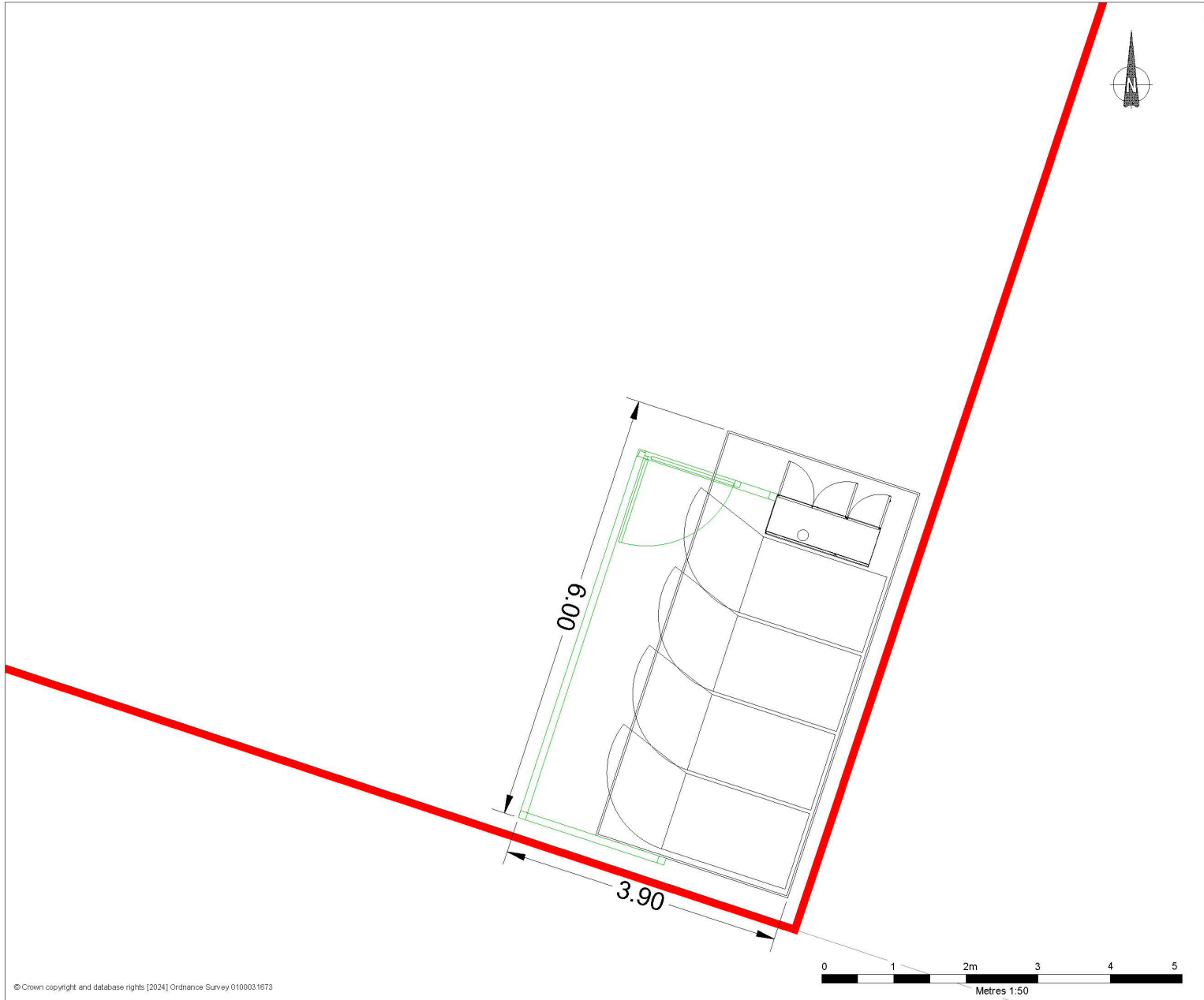
HARVESTER BOX
 BATTERY BOX BB-02810

LOCATION PLAN

PLAN 1

| | | | |
|-------|-------|------|----------|
| Scale | 1:500 | Date | 19/09/24 |
|-------|-------|------|----------|

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LEGEND

| | |
|--|---------------|
| | SITE BOUNDARY |
| | FENCELINE |

| REV. | DATE | DESCRIPTION |
|------|----------|-----------------------------------|
| A | 17/10/24 | SWAPPED BY/D UNIT FOR HUAMEI UNIT |



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 AMP CLEAN ENERGY
 1 DOVER STREET
 LONDON
 W1S 4LD

LAND AT CREASE DROVE, CROWLAND
 PETERBOROUGH, PE6 0GB

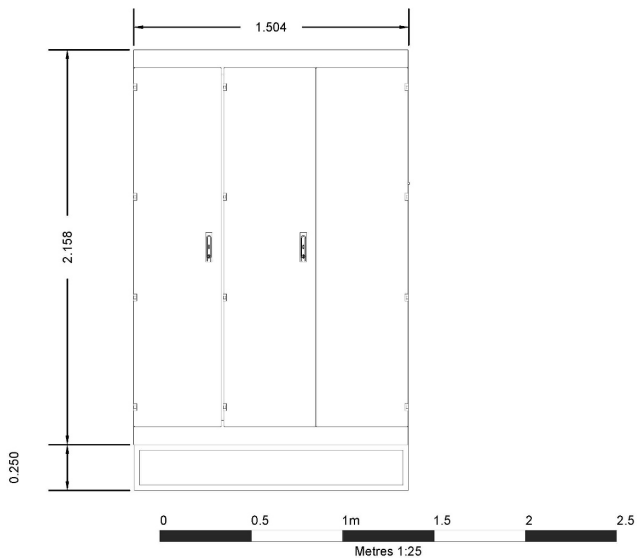
HARVESTER BOX
 BATTERY BOX BB-02810

SITE LAYOUT PLAN

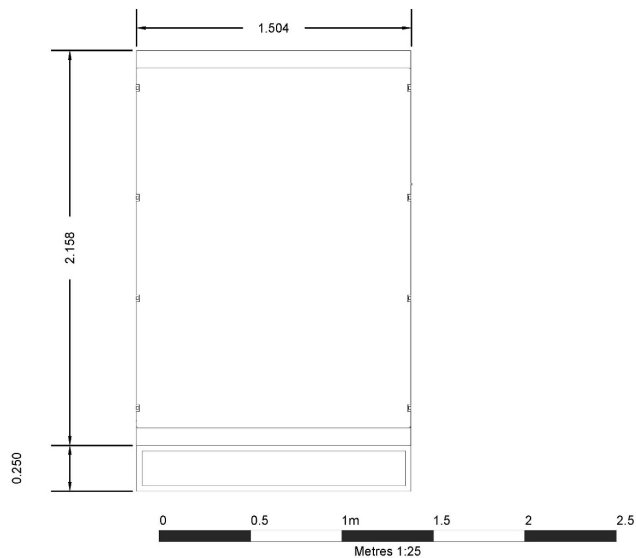
PLAN 2 ^{REV} A

Scale 1:50 Date 17/10/24

FRONT VIEW

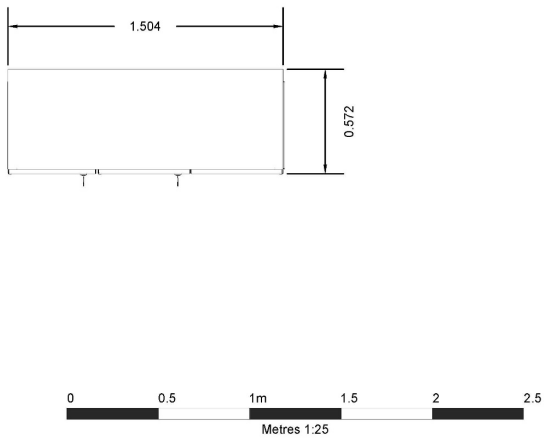


BACK VIEW

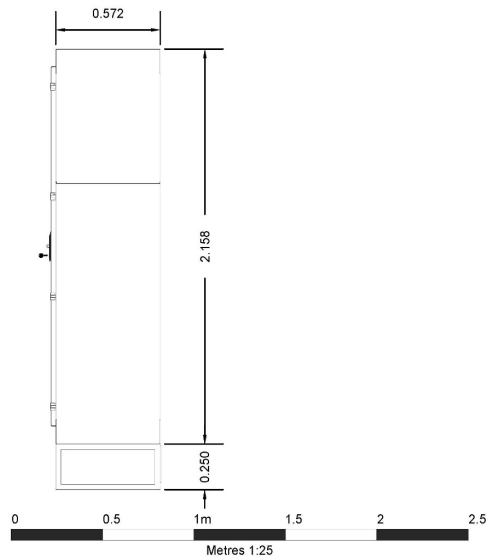


LEGEND

TOP VIEW



SIDE VIEW



**BATTERY
BOX**

amp CLEAN ENERGY
AMP CLEAN ENERGY
1 DOVER STREET
LONDON
W1S 4LD

200kW / 800kWh
MICRO ENERGY STORAGE UNIT

ELECTRICAL CABINET
EQUIPMENT

PLAN AND ELEVATIONS

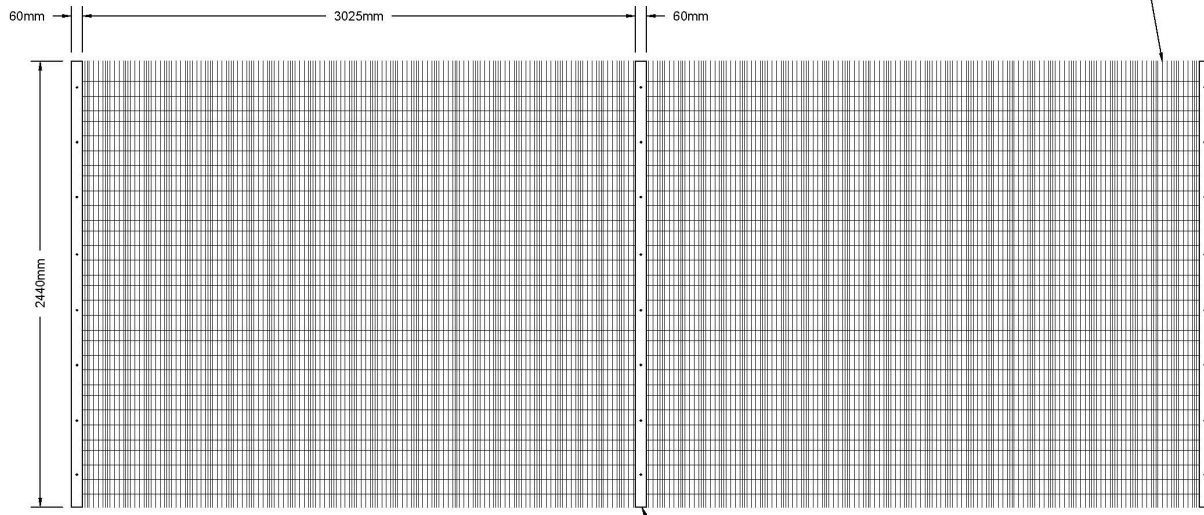
PLAN 5

Scale AS SHOWN Date SEP 2024

LEGEND

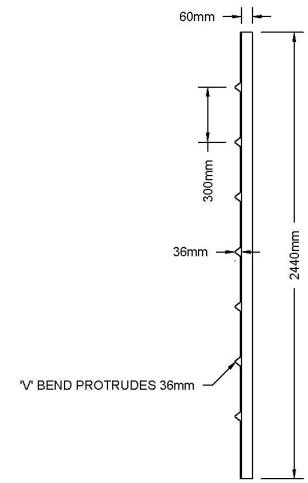
1. DETAILS SHOWN HAVE BEEN BASED UPON MANUFACTURER SPECIFICATIONS AND DIMENSIONS.
2. ALL DIMENSIONS ARE IN MILLIMETERS.

MESH SPACED BETWEEN 12.5mm AND 25mm VERTICAL
 MESH SPACED BETWEEN 30mm AND 80mm HORIZONTAL.
 MESH WIRE DIAMETER 3mm VERTICAL 4mm HORIZONTAL.

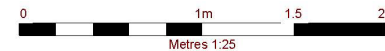


FRONT ELEVATION (2 NO. PANELS)

POST IS WELDED SQUARE TUBULAR WITH INSERTS FOR FIXING PANEL. 60mm x 60mm AND 2mm THICK.



SIDE ELEVATION



amp CLEAN ENERGY
 AMP Clean Energy
 1 Dover Street
 London
 W1S 4LD

200kW / 800kWh
 MICRO ENERGY STORAGE UNIT
 BATTERY BOX
 Plan depicting 2.4m high Paladin Fencing
PALADIN FENCE ELEVATIONS

PLAN 6

Scale AS SHOWN



**BATTERY
BOX**



AMP CLEAN ENERGY
1 DOVER STREET
LONDON
W1S 4LD

BATTERY BOX 3D IMAGE

PALADIN FENCING - PLAN 3

Date
SEPTEMBER 2024













